



Specific Plan

City of Simi Valley

April 2004

RUNKLE CANYON

SPECIFIC PLAN

Prepared for:

CITY OF SIMI VALLEY
Department of Environmental Services
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1.1 OVERVIEW

The Specific Plan Land Use Plan clusters the majority of Development in the Canyon floor area within the northern portion of Specific Plan Area. The residential Development concept for the community includes three distinct neighborhood types consisting of a senior's neighborhood, traditional single-family neighborhoods, and single-family estates. The Specific Plan allows for a mixture of housing types throughout the residential community, with an appropriate mix of one- and two-story homes to provide for the integration of the new community with the existing neighborhoods to the north.

The residential component of the Specific Plan consists of 461 dwelling units on 139.7 acres, or nine percent (9%) of the total acreage within the Specific Plan Area. Residential Development density ranges from 0.4 to 9.3 dwelling units per acre.

The total open space component of the Specific Plan consists of 1,455.8 acres, or ninety-one percent (91%) of the Specific Plan Area. The Specific Plan Land Use Plan provides for the preservation of and public access to this portion of the Specific Plan Area. The trail system coordinates access for both natural and improved recreational areas in conjunction with the City's Master Trail Plan.

1.1.1 Scope

The Runkle Canyon Specific Plan refines and implements the goals and objectives of the Simi Valley General Plan. The Specific Plan establishes the policy and regulatory framework for the future Development of the Specific Plan Area consistent with the General Plan, Municipal Code, Hillside Performance Standards, Tree Preservation Ordinance, and other City criteria. The figures contained within are representations of the Specific Plan. The Tentative Map and related documents will apply to Development of the Project pursuant to the Municipal Code and Specific Plan.

The Specific Plan Area encompasses 1,595.5 acres within the City in eastern Ventura County (Figure 1.1-1, Regional Location). The Specific Plan Area is primarily located at the southern end of Sequoia Avenue, south of Fitzgerald Road (Figure 1.1-2, Project Vicinity). As shown in Figure 1.1-3, Jurisdictional Boundary Map, the Specific Plan Area is located within the existing City limits. Prior to adoption of the Specific Plan, the northwestern and northeastern portions of the Specific Plan Area were located within the City's Sphere of Influence or contained within the City Urban Restriction Boundary.

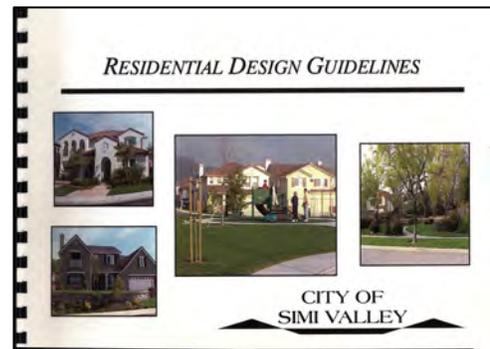
The Specific Plan balances the preservation of ninety-one percent (91%) of the Specific Plan Area as open space uses with the creation of residential neighborhoods for a variety of housing types, including senior housing that are accessible to existing employment opportunities and community services. The Specific Plan Land Use Plan provides for integration with the existing adjacent residential neighborhoods, circulation systems, and infrastructure along the northern boundary while affording additional public recreational opportunities for the City's residents.

1.1.2 Intent

The Runkle Canyon Specific Plan is the culmination of a comprehensive planning process that included consultation and coordination with: the City's planning, public works and other agencies' staffs; neighborhood group and individual meetings; professional planning and architectural consultants; and civil and environmental engineers. The intent of this planning process is summarized in the five components below. Specific goals and objectives, which implement these components, are set forth in Section 1.2.

1. Create a Specific Plan that is consistent with and implements the City's existing codes and guidelines.

This Specific Plan provides Project-specific implementation consistent with existing codes and guidelines. This Specific Plan creates land use and Development regulations which are consistent with the City's existing codes and guidelines. An example is the Runkle Canyon Implementation Guidelines (Appendix D), which are structured to complement the City's existing Residential Design and Landscape Design Guidelines.



The City's Residential Design Guidelines were approved in 2001.

2. Provides Open Space and Recreational areas, which fulfills the City's goals for the Runkle Canyon region of the General Plan.

The City's vision for Runkle Canyon provides a balance of Development and open space, by providing public recreational opportunities while using the area's physical features to frame the southeast limits of the City. The Specific Plan provides 1,150.6 acres of open space, which preserves a majority of the important environmental resources and scenic backdrops of the Runkle Canyon region. Recreational and other open space uses comprise 305 acres. The combination of these open space uses designates ninety-one percent (91%) of the Specific Plan Area as open space.



1,150.6 acres of Open Space are preserved.

3. Provide new housing opportunities which are designed to be sensitive to existing residents' inputs.

Each of the residential enclaves of the Specific Plan Area has been carefully planned with direct input from the adjacent neighborhood groups. Every effort has been made to produce a Plan which both addresses residents' concerns, and ensures new quality and diverse housing opportunities for the City.



Nearly 30 neighborhood meetings were held to gather local input and refine the Specific Plan.

4. Provide Senior Housing opportunities that are both innovative and affordable.

The Specific Plan establishes senior housing, both market rate and affordable, which is integrated into the Runkle Canyon neighborhoods. This location for senior housing is close to a Senior Recreation Facility, Neighborhood Park, and natural areas; as such it provides an ideal setting for senior living.



Senior housing is an important component of the Specific Plan.

5. Preserve the opportunity for the City to provide a Golf Course, that appropriately integrates with preserved Open Space areas.

Consistent with the General Plan, the Specific Plan preserves for future residents of Simi Valley the opportunity to enjoy natural resource areas. A potential Golf Course located in Runkle Canyon could be situated in a natural setting.



A potential Golf Course framed by Open Space could provide the City with recreational opportunities.

1.1.3 Historical Background

1. Runkle Ranch History

The original Runkle Ranch encompassed approximately 2,800 acres and was a prosperous cattle and farming operation that extended across the Simi Valley Floor. Additionally, sand and gravel mining operations were initiated in the Canyon and remained active into the 1980s.

In the 1950s, the Runkle Ranch was subdivided into six parcels. Four of these parcels constitute the Specific Plan Area. Various land use concepts for Development have been proposed throughout the years.

Following the original subdivision of Runkle Ranch, residential Development subdivisions of the Ranch began their progression from near Royal Avenue southwards along the present day Sequoia Avenue towards the Runkle Canyon Specific Plan Area. In the early 1960's, Digest Homes subdivided 372 lots in the area generally bound by Shenandoah Avenue, Acadia Street, Barnes Street, and Sequoia Avenue (Tract Nos. 1187 and 1188). During the mid-1970's, Moran Properties subdivided approximately 294 more lots in the area east of Sequoia Avenue, near Moreno Drive and Barnes Street (Tract No. 2414).

In the early 1980's, Great West Homes further subdivided approximately 152 lots in the area immediately north of the Runkle Canyon Specific Plan Area, including lots along: Appleton Road, Briar Hill Circle, Sequoia Avenue, High Point Place, Cinnabar Place, Fitzgerald Road and Hazelnut Court (Tract No. 3459). During the late 1990's, DMB/AEW Land Holdings, LLC recorded the "Madison County" subdivision (Tract No. 3467) located on the east and west sides of Sequoia Avenue, which contains such streets as Corto Street, Coastal Oak Drive, King Palm and Trabuco Oak Drives.

A number of existing residential neighborhood streets border the Runkle Canyon Specific Plan Area along its northern boundary. Several of these streets (Hazelnut Court, High Point Place, Cobbler Hill Court, Sequoia Avenue, Talbert Avenue, Comet Avenue, Sandy Avenue, and Watson Avenue) end with stub-outs and temporary fencing at the Runkle Canyon Specific Plan boundary, evidence that these streets were intended to extend into the Project site.

In 1999, GreenPark Runkle Canyon, LLC began the land assemblage necessary to formulate the Development and open space dedication concept of the Specific Plan. This Specific Plan Land Use Plan culminates a long planning process and results in the preservation of 1,150.6 acres of Open Space for Simi Valley.

2. Jurisdictional Evolution

A summary of the jurisdictional evolution of the land plans for the Runkle Ranch is described below.

Figure 1.1-5, Jurisdictional Timeline, more fully demonstrates the historical background of the progression of land use planning for the Runkle Canyon area, culminating with the Specific Plan.

a. 1964 – Unincorporated Ventura County Land Use Map

The 1964 County General Plan Map set no precise number of land use acres or homes. The map did not extend to the southern Specific Plan boundary, but allowed for the following:

- Single-family residential Development;
- Small commercial area at easterly corner of Fitzgerald Road (about 6-10 acres);
- Extension of Tapo Canyon Road;
- Elementary School (about 10 acres); and
- Open Space area.

b. 1972 – City of Simi Valley – Initial General Plan

Following the incorporation of the City in 1969, the General Plan called for the following:

- Extension of Tapo Canyon Road;
- Extension of Sequoia Avenue;
- A potential park at the Runkle Canyon Dam and Reservoir;
- High-density housing (about 6-10 acres) with only a small portion on the Project site in the vicinity of Fitzgerald Road and Sequoia Avenue;
- Convenience commercial node;
- Elementary school and a Neighborhood Park;
- Very low density housing east of Sequoia Avenue;
- Medium Density housing west of Sequoia Avenue; and
- Open Space.

c. 1980 – Revised General Plan

When the City revised its General Plan in 1980, it allowed for the following in the Runkle Canyon area:

- Small amount of medium density housing south of Watson Avenue;
- Low density housing east of Sequoia Avenue (about ½ mile south of Fitzgerald Road);
- Special purpose park (Runkle Canyon Dam and Reservoir);
- Light industrial designation where SP Milling Company (sand and gravel mining) was located; and
- Open Space.

d. 1984 – Amendment to City’s 1980 General Plan

In addition to the allocations provided for in the 1980 General Plan, the following refinements were made:

- To the 324 acres of the property at the south end of Comet Avenue:
 - 124 acres were designated with a residential estate land use calling for 1-acre minimum lots [only approximately 50-60 houses could be built due to the HPS already in place]; and
 - 200 acres were to remain Open Space.
- This map includes all of the adopted land uses of the 1980 General Plan and the 1984 April 2nd Amendment.

e. 1988 – Revised General Plan

The City set forth standards of what could be built in Runkle Canyon. The following was added to the General Plan in Appendix B, page 5:

- Defines the exact location of the Specific Plan Area consisting of 1,600 acres south of Fitzgerald Road and the Brandeis-Bardin Institute;
- The land use mix was approximately:
 - 150 acres: Residential Estate;
 - 210 acres: Medium (residential) Density;
 - 85 acres: Moderate Seniors Only (residential) Density;
 - 10 acres: Park; and
 - 1,148 acres: Open Space.
- For purposes of traffic modeling only, the Specific Plan Area was assumed to consist of approximately 700 dwelling units, with 250 of those for seniors;
- Runkle Canyon Dam and Reservoir, and adjoining water ponds shall be preserved as a public park or permanent open space;
- That the portion of Burro Flats (“Dry Lake”) which lies within the project boundary shall be preserved as public park or permanent public open space;
- That Sequoia Avenue shall be extended from Royal Avenue to Fitzgerald Road prior to the first phase of any residential Development;
- Residential Development south of Fitzgerald Road shall only occur with the provision of a secondary access through the property to the west to connect to Watson Avenue;
- Provide for potential future access to the Brandeis-Bardin property from Sequoia Avenue in the vicinity of Runkle Canyon Dam and Reservoir; and
- Development in Runkle Canyon shall include the construction of an 18-hole Golf Course. Priority for the location shall be given to the portion of the Runkle Canyon Channel south of Talbert and north of the Runkle Canyon Dam and Reservoir.

f. 1998 – Measure O

With the approval of public initiative "Measure O", the City adopted an urban growth boundary line denominated the Simi Valley City Urban Restriction Boundary (CURB) line.

g. 2000 – General Plan Amendment Pre-Screening PR-515:

Set forth that the 1,600-acre Runkle Canyon area should conform to the following guidelines:

- A maximum of 550 units in the Specific Plan;
- Thirty percent (30%) of the units for seniors, with 62 of these to be affordable senior units;
- No residential Development in the Dry Lake area;
- Comply with all requirements of the City's Hillside Performance Standards (including no ridgeline Development);
- Provide a minimum of 20 one-acre or larger estate lots;
- Provide standards for use in the Specific Plan, Planned Development Permit and Tentative Map to avoid construction-related impacts such as dust, noise, and hours of construction;
- Future construction to comply with pending new Setback standards and architectural Design Guidelines;
- The Specific Plan will include an 18-hole Golf Course;
- Provide as much recreational vehicle access/parking as possible;
- Provide adequate screening of any new water tank;
- Address the water pressure problem in the adjoining residential area;
- Provide a potential future road access from Sequoia Avenue to the Brandeis-Bardin property;
- Minimize traffic on Talbert Avenue through the potential use of an emergency access gate and a Sequoia Avenue address for the Golf Course clubhouse; and
- Show a detail design for the emergency access at the end of Watson Avenue.

This Specific Plan addresses the above guidelines received from City Council, as well as neighborhood and public agency input for the Runkle Canyon Specific Plan Area.

Figure 1.1-5, Jurisdictional Timeline, provides an overview of the historical progression of the Development proposals for the Specific Plan Area.

1.1.4 Land Use Concept

The Specific Plan Land Use Plan prescribes the sensitive conservation of resources and consists primarily of open space and residential uses, as described below.

Open Space Component

The total open space component of the Specific Plan consists of 1,455.8 acres, or ninety-one percent (91%) of the Specific Plan Area. The Specific Plan Land Use Plan provides for the preservation of and public access to this portion of the Specific Plan Area. The trail system coordinates access for both natural and improved recreational areas in conjunction with the City's Master Trail Plan.

The 1,455.8 acres of open space is divided as follows:

- 1) The Specific Plan provides for the preservation of 1,150.6 acres of Open Space. This includes Dry Lake, a unique feature of Runkle Canyon that is indicative of the City's overall natural character.
- 2) Improved open space areas, which include connections to existing recreational trails, a potential Golf Course area, and a Neighborhood Park. Located near the terminus of the Talbert Avenue extension and northwest of the existing Runkle Canyon Dam and Reservoir, the Neighborhood Park provides recreational opportunities for residents of the Specific Plan Area. The Neighborhood Park is also the site of the trailhead providing information on and connection to the Specific Plan Area's multi-use trail network that links to the regional trail system.

Residential Component

The Specific Plan Land Use Plan clusters the majority of Development in the Canyon floor area within the northern portion of Specific Plan Area. The residential Development concept for the community includes three distinct neighborhood types consisting of a senior's neighborhood, traditional single-family neighborhoods, and single-family estates. The Specific Plan allows for a mixture of housing types throughout the residential community, with an appropriate mix of one- and two-story homes to provide for the integration of the new community with the existing neighborhoods to the north.

The residential component of the Specific Plan consists of 461 dwelling units on 139.7 acres, or nine percent (9%) of the total acreage within the Specific Plan Area. Residential Development density ranges from 0.4 to 9.3 dwelling units per acre.

The senior housing neighborhood is age-restricted and comprises thirty percent (30%) of the total planned residential units within the Specific Plan. Per the Affordable Housing Agreement to be adopted with this approval, sixty-two dwelling units in the seniors' neighborhood are affordable.

1.2 GOALS AND OBJECTIVES

The goals of the Specific Plan are to provide for the stewardship of the natural resources within the open space and to guide future Development in conformance with the General Plan and Council direction regarding the preparation of a Specific Plan as detailed in PR-515. A full analysis with supporting evidence is located in Appendix B. The Specific Plan provides for the preservation of natural resources and the provision of recreational amenities in combination with residential neighborhoods that transition and interface with the existing adjacent neighborhoods. The Specific Plan balances the needs of the future residents with the existing residents in the community, and provides for logical growth in an area adjacent to existing public services and utilities.

On October 30, 2000, the City Council authorized General Plan Amendment Pre-Screening (PR-515) for further processing as a formal General Plan Amendment application, along with a concurrent application for a single Specific Plan for the entire Runkle Canyon area. The City Council consensus was that the area be planned as a single unit rather than in a piecemeal manner with a focus on preserving much of the open space on the site in perpetuity.

On November 8, 2000, the City documented fourteen guidelines that reflected the City Council's direction regarding the preparation of a Specific Plan. The General Plan Amendment Pre-Screening (PR-515), reflective of that direction consisted of the following guidelines:

1. A maximum of 550 units in the Specific Plan;

The Runkle Canyon Specific Plan permits a maximum of 461 residential units on 139.7 acres.

2. Thirty percent (30%) of the units for seniors, with 62 of these to be affordable senior units;

The Runkle Canyon Specific Plan allows for 138 units to be built on 14.9 acres of land designated for Senior Housing, with provisions for 62 of these units to be set aside in the affordable price range, as defined by the Affordable Housing Agreement.

3. No residential Development in the Burro Flats area;

The Runkle Canyon Specific Plan designates the Dry Lake (extreme westerly portion of the Burro Flats) area for Open Space use, which permits no residential Development to occur within the area.

4. Comply with all requirements of the City's Hillside Performance Standards (includes no ridgeline Development);

The Project is consistent with the HPS. Areas designated for residential Development within the Runkle Canyon Specific Plan Area are located within or adjacent to the Canyon floor, or in clustered pockets adjacent to existing Development. None of this Specific Plan residential Development is within 50 feet vertically or 150 feet horizontally of prominent ridgelines.

5. Provide a minimum of 20 one-acre or larger estate lots;

The Runkle Canyon Specific Plan allows for a total of 25 single-family lots to be developed within areas designated Residential Estate, where lots must be a minimum of one acre in size.

6. Provide standards for use in the Specific Plan, Planned Development Permit and Tentative Tract Map to avoid construction-related impacts such as dust, noise, and hours of construction;

The Project has been designed to balance earthwork quantities on-site, thereby significantly reducing the movement of dump trucks on existing streets. Specific mitigation measures addressing construction-related impacts will be discussed in the Runkle Canyon Specific Plan Environmental Impact Report.

7. Future construction to comply with pending new Setback standards and architectural design guidelines (see enclosed);

The residential development standards and design guidelines contained within the Runkle Canyon Specific Plan are consistent with both the Municipal Code and the Residential Design Guidelines.

8. The Specific Plan will include an 18-hole Golf Course;

The Runkle Canyon Specific Plan designates 217.5 acres as Open Space – Potential Golf Course, which allows for the future development of a potential 18-hole Golf Course and related facilities.

9. Provide as much recreational vehicle access/parking as possible;

Recreational vehicle parking and storage within the Runkle Canyon Specific Plan Area will comply with the Municipal Code section on oversized vehicle and trailer parking (Section 4-9.402).

10. Provide adequate screening of any new water tank;

Design Guidelines that address the screening of any new water tank within the Specific Plan Area are incorporated into the Specific Plan.

11. Address the water pressure problem in the adjoining residential area;

The Runkle Canyon Specific Plan will accommodate a new 2-million-gallon water tank within the Project Area's northeastern corner. The new water tank will serve the Specific Plan Area through new 12-inch and 8-inch water lines.

12. Provide a potential future road access from Sequoia Avenue to the Brandeis-Bardin property;

The Runkle Canyon Specific Plan circulation system provides a right-of-way for a future access road linking the Brandeis-Bardin property with the Specific Plan Area.

13. Minimize traffic on Talbert Avenue through the potential use of an emergency access gate and a Sequoia Avenue address for the Golf Course clubhouse; and

Due to the need for the Project's second access point and subsequent direction from public agencies for emergency services, the potential emergency access gate along the extension of Talbert Avenue was eliminated.

A roundabout where Talbert Avenue crosses the Project boundary, however, is used to reduce speed and minimize traffic on Talbert Avenue.

The potential Golf Course area and clubhouse site have been located as close as possible to Sequoia Avenue. Several issues prevent direct access to the Golf Course from occurring off of Sequoia Avenue. Chief among them is a large drainage channel that parallels Sequoia Avenue to the west that prevents any direct access from Sequoia Avenue to the potential Golf Course site.

14. Show a detail design for the emergency access at the end of Watson Avenue.

The Runkle Canyon Specific Plan circulation system provides for secondary access relocated to Talbert Avenue, which facilitates emergency vehicle movement.

Due to the need for a second Project access and need for less restricted emergency access, an emergency access gate was not considered feasible.

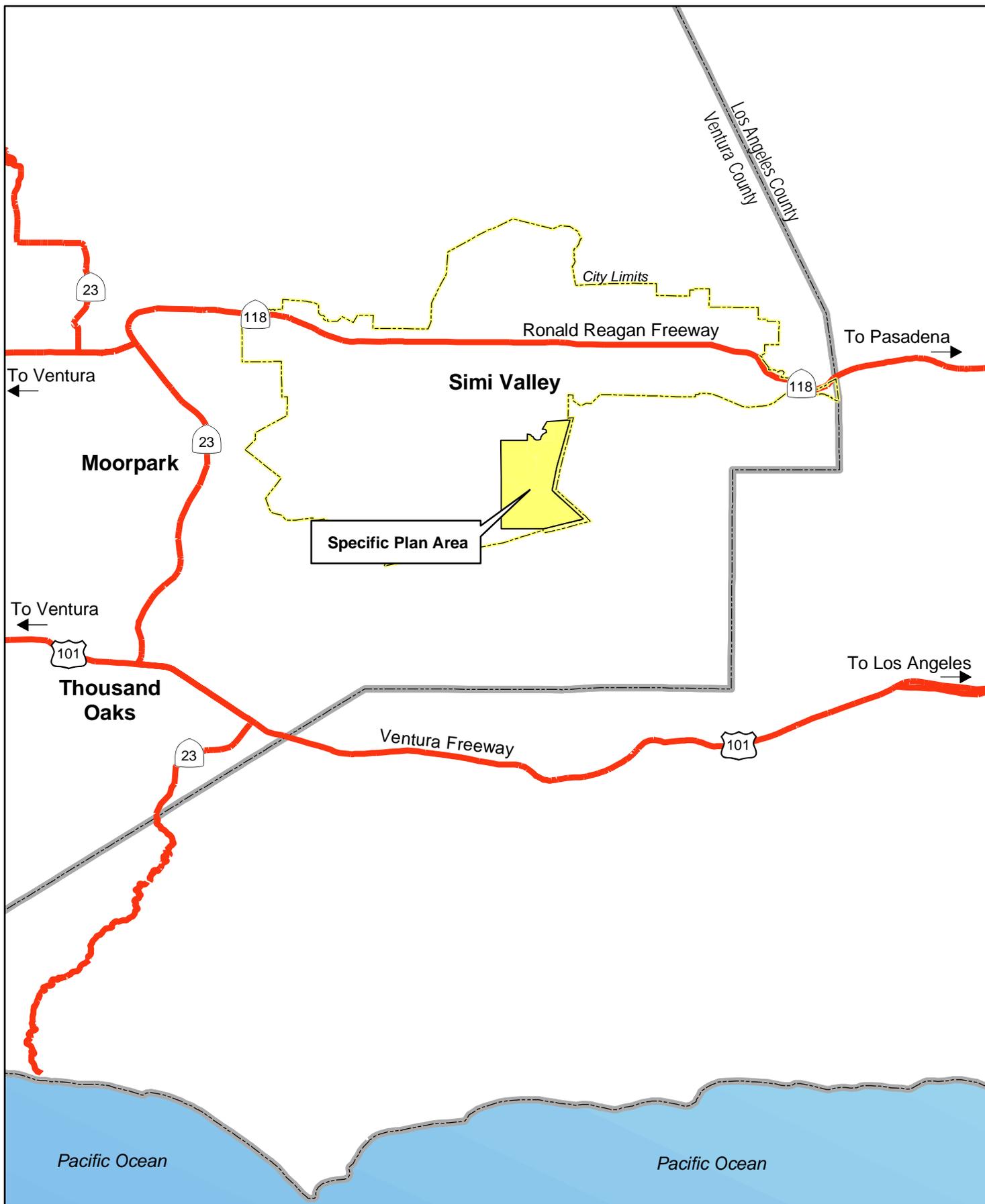


Figure 1.1-1

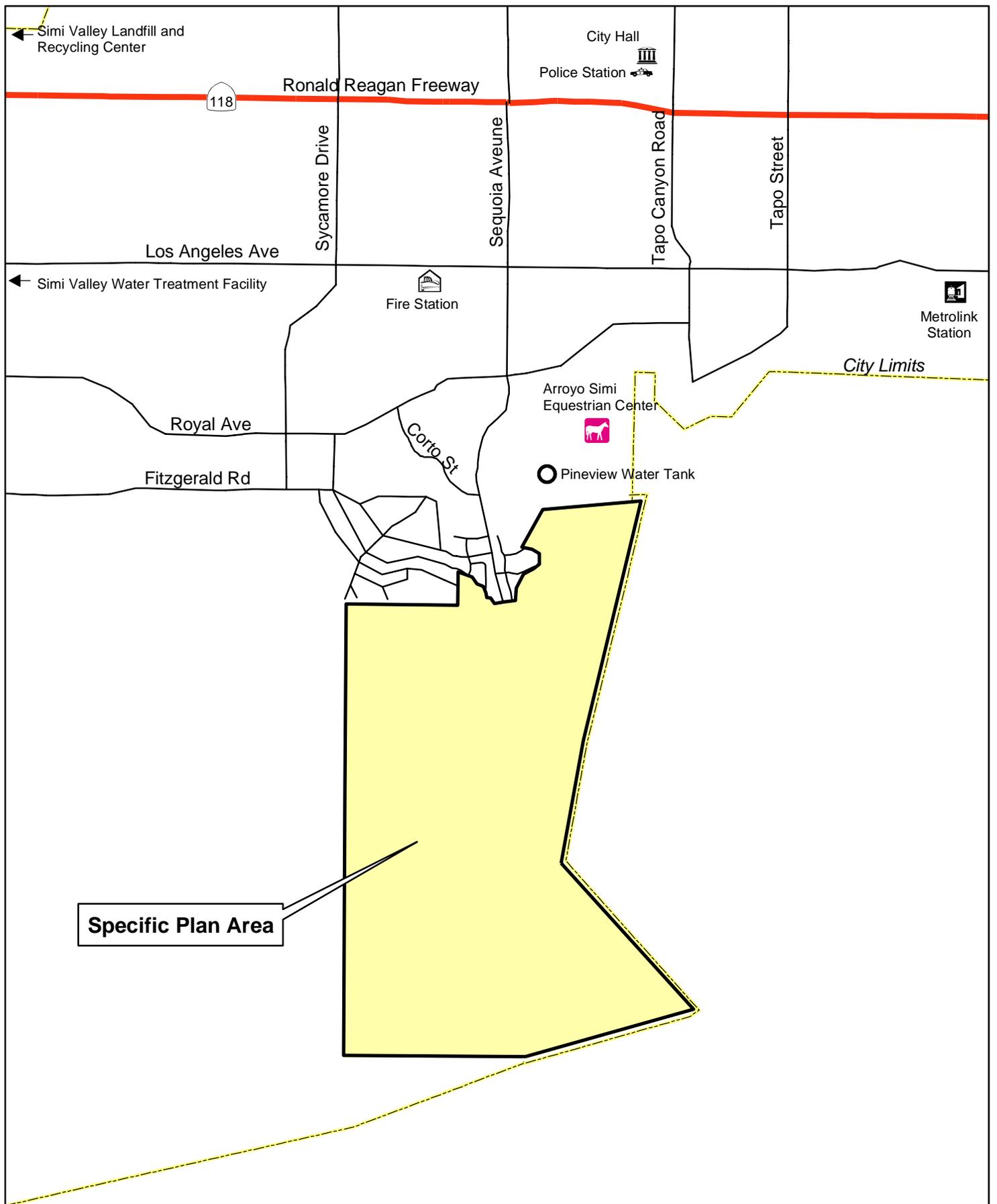
REGIONAL LOCATION MAP
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC



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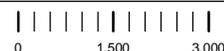


Specific Plan Area



GreenPark Runkle Canyon, LLC

Figure 1.1-2
PROJECT VICINITY MAP
 Runkle Canyon Specific Plan



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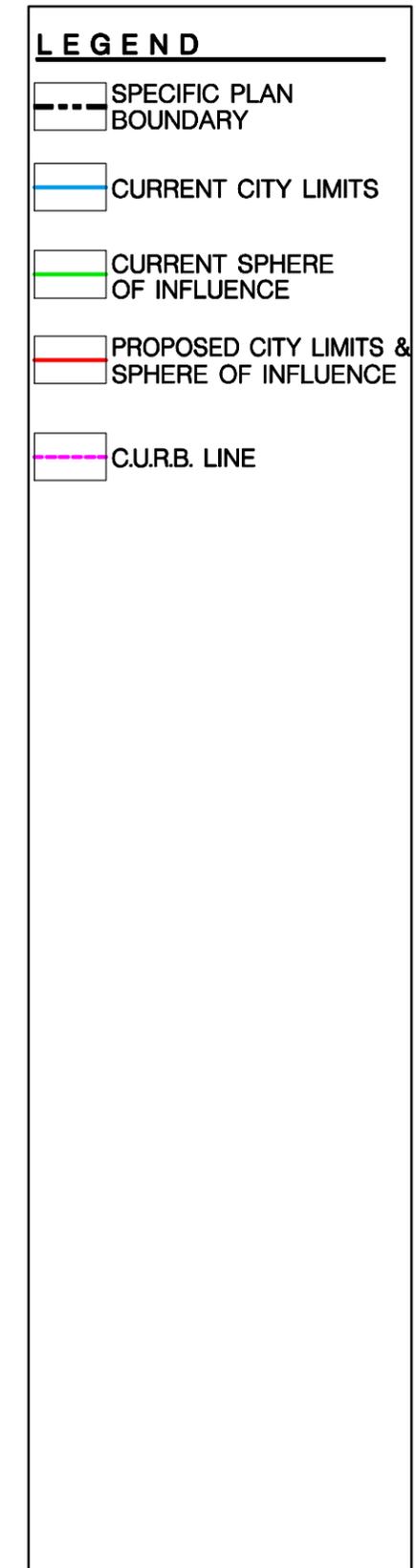
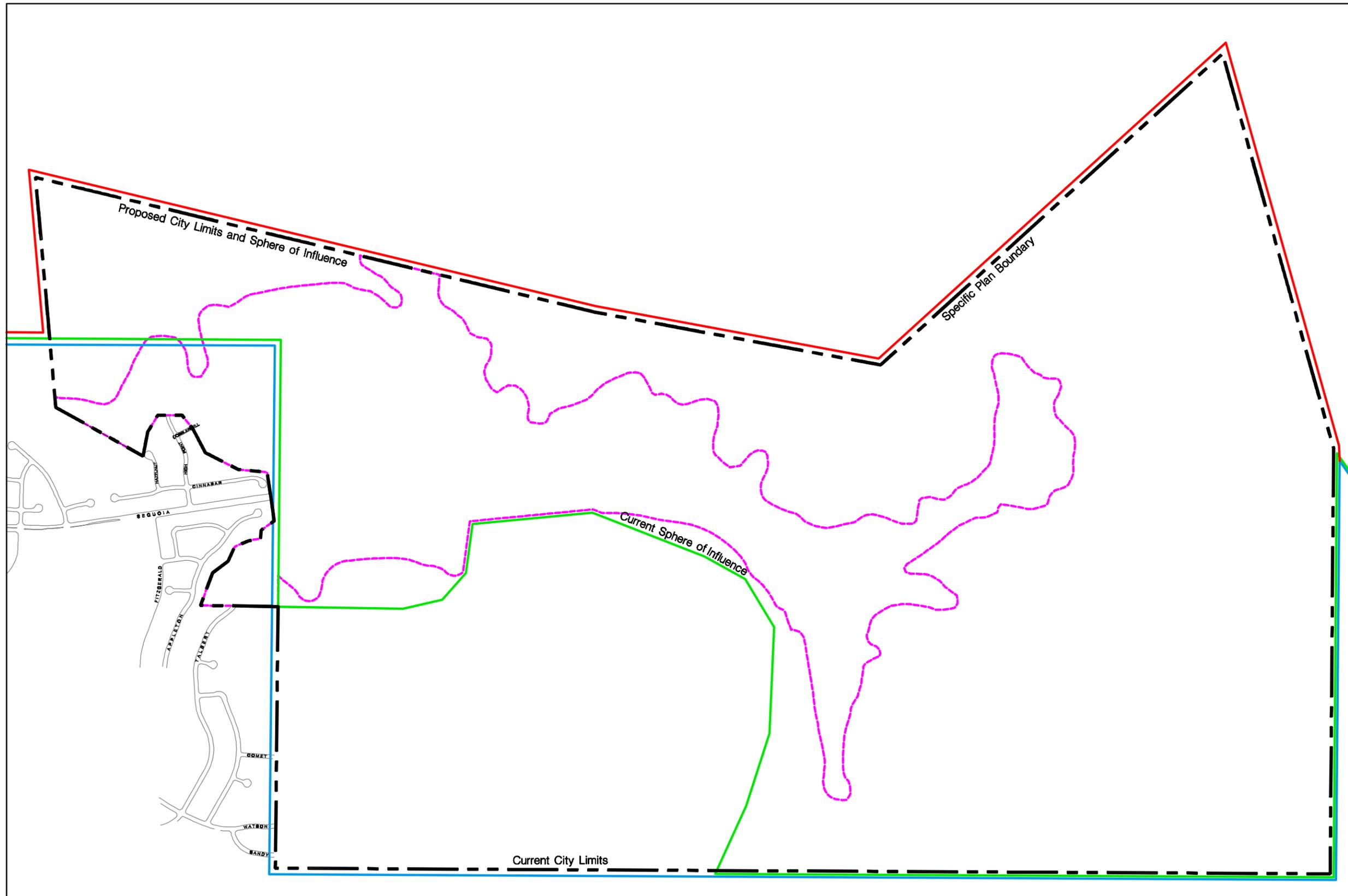


Figure 11-3

JURISDICTIONAL BOUNDARY MAP

Runkle Canyon Specific Plan

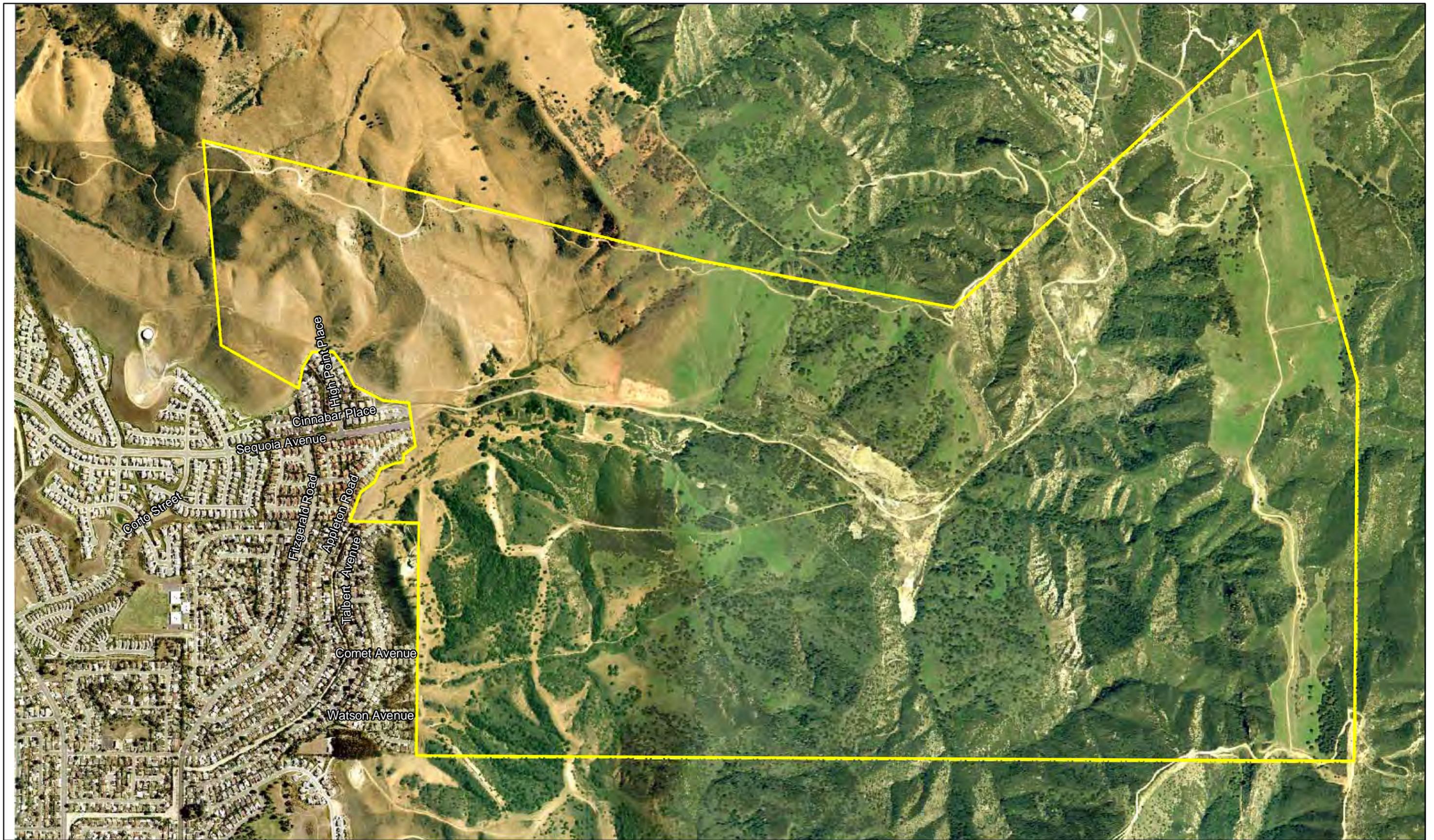


Figure 1.1-4

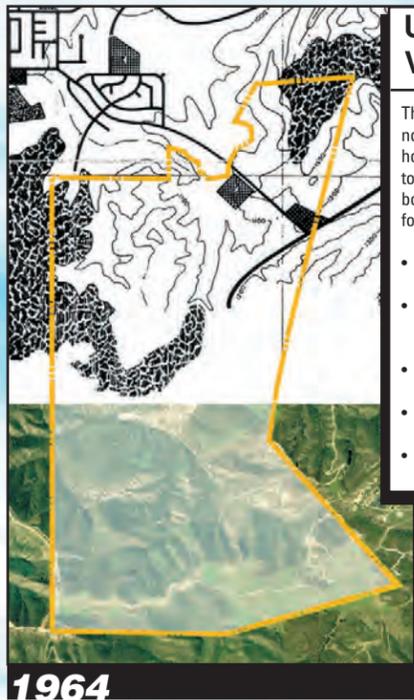
AERIAL PHOTOGRAPH

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC



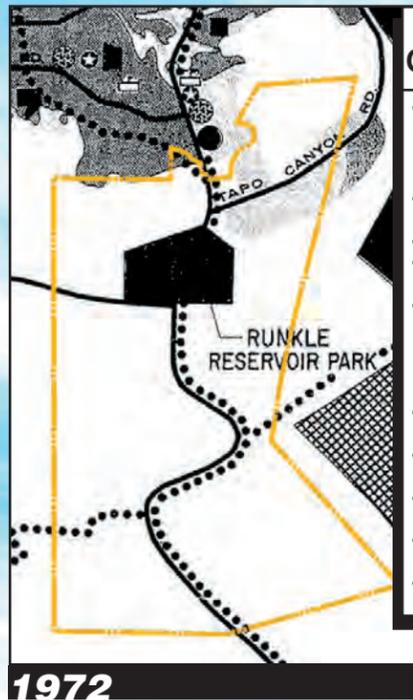


Unincorporated Ventura County

The 1964 General Plan Map sets no precise number of acres or homes. The map did not extend to the southern Specific Plan boundary, but allowed for the following:

- Single-family residential development;
- Small commercial area at easterly corner of Fitzgerald Road (about 6-10 acres);
- Extension of Tapo Canyon Road;
- Elementary School (about 10 acres); and
- Open Space area.

1964



1st General Plan City of Simi Valley

With the incorporation of the City in 1969, the initial General Plan called for the following:

- Extension of Tapo Canyon Road;
- Extension of Sequoia Avenue;
- A potential park at the Runkle Reservoir;
- High-density housing (about 6-10 acres) with only a small portion on the project site in the vicinity of Fitzgerald Road and Sequoia Avenue;
- Convenience commercial node;
- Elementary school and a Neighborhood Park;
- Very low density housing east of Sequoia Avenue;
- Medium Density housing west of Sequoia Avenue; and
- Open Space.

1972

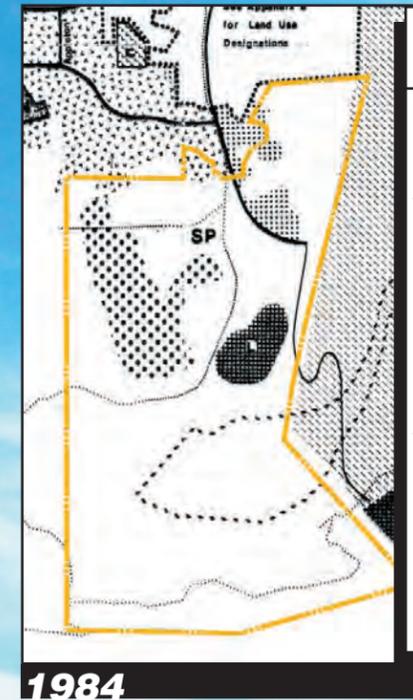


Revised General Plan

When the City revised the General Plan in 1980, it allowed for the following in the Runkle Canyon area:

- Small amount of medium density housing south of Watson Avenue;
- Low density housing east of Sequoia Avenue (about 1/2 mile south of Fitzgerald Road);
- Special purpose park (Runkle Canyon Reservoir);
- Light industrial designation where SP Milling Company was located; and
- Open Space.

1980

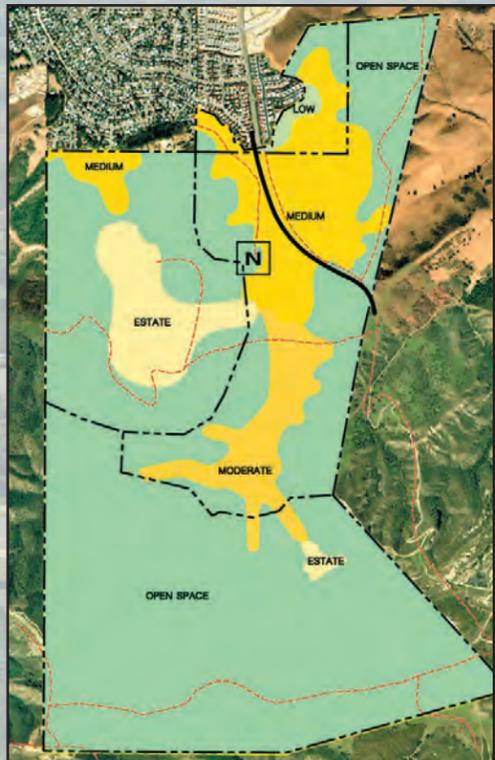


Amendment to General Plan

In addition to the allocations of the 1980 General Plan, the following refinements were made:

- To the 324 acres of the property at the south end of Comet Avenue: 124 acres were designated with a residential estate land use calling for 1-acre minimum lots [only approximately 50-60 houses could be built due to the City's Hillside Performance Standards (HPS) already in place]; and
- 200 acres were to remain Open Space.
- This map has all of the adopted land uses of the 1980 General Plan and the 1984 April 2nd Amendment, but includes also the reflections of the State requirement for mapping of mineral resources of significance (SMARA). The area mapped in Runkle Canyon was used for a concrete, sand, and gravel quarry.

1984

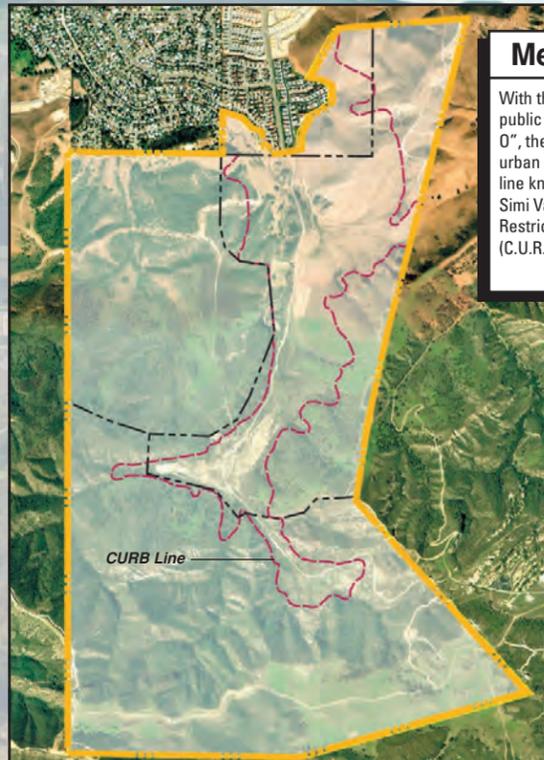


Revised General Plan

The City set forth standards of what could be built in Runkle Canyon. The following was added to the General Plan in Appendix B, page 5:

- Defines the exact location of the Specific Plan Area consisting of 1,600 acres south of Fitzgerald Road and the Brandeis-Bardin Institute;
- The land use mix was approximately:
 - 150 acres: Residential Estate;
 - 210 acres: Medium (residential) Density;
 - 85 acres: Moderate Seniors Only (residential) Density;
 - 10 acres: Park; and
 - 1,145 acres: Open Space.
- For purposes of traffic modeling only, the Specific Plan Area was assumed to consist of approximately 700 dwelling units, with 250 of those for seniors;
- Runkle Canyon Dam and Reservoir, and adjoining water ponds shall be preserved as a public park or permanent public open space;
- That Sequoia Avenue shall be extended from Royal Avenue to Fitzgerald Road prior to the first phase of any residential development;
- Residential development south of Fitzgerald Road shall only occur with the provision of a secondary access through the property to the west to connect to Watson Avenue;
- Provide for potential future access to the Brandeis-Bardin property from Sequoia Avenue in the vicinity of Runkle Canyon Dam;
- Development in Runkle Canyon shall include the construction of an 18-hole golf course. Priority for the location shall be given to the portion of the Runkle Canyon channel south of Talbert and north of the Runkle Canyon Reservoir.

1988



Measure O

With the approval of public initiative "Measure O", the City adopted an urban growth boundary line known as the Simi Valley City Urban Restriction Boundary (C.U.R.B.) line.

1998

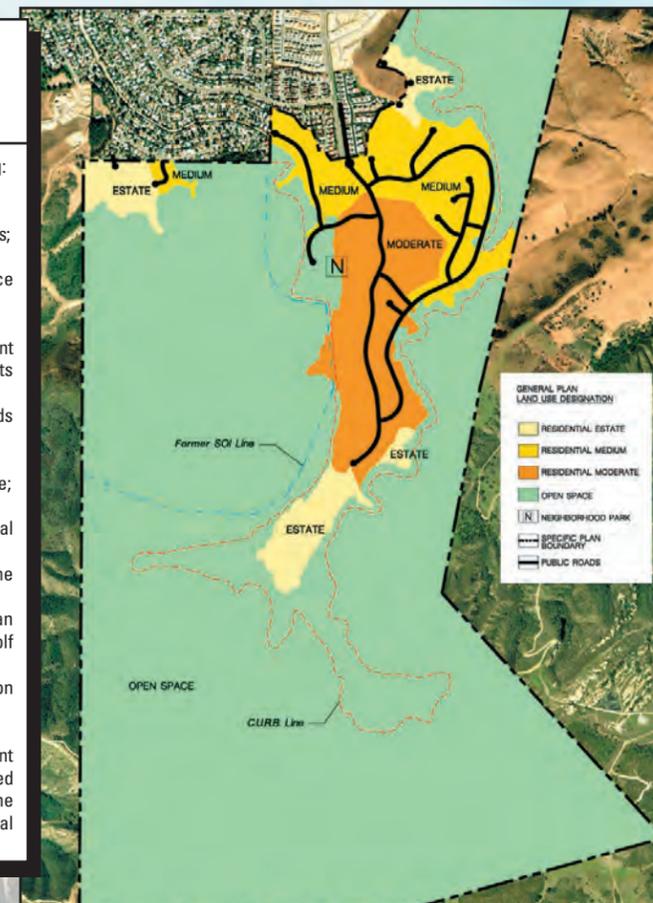
General Plan Amendment Pre-Screening (PR-515 Final Disposition)

The 1,600-acre Runkle Canyon area should conform to the following:

- A maximum of 550 units in the Specific Plan;
- 30% of the units for seniors, with 62 of these to be affordable senior units;
- No residential development in the Burro Flats area;
- Comply with all requirements of the City's Hillside Performance Standards (including no ridgeline development);
- Provide a minimum of 20 one-acre or larger estate lots;
- Provide standards for use in the Specific Plan, Planned Development Permit and Tentative Map to avoid construction-related impacts such as dust, noise, and hours of construction;
- Future construction to comply with pending new setback standards and architectural design guidelines (see enclosed);
- The Specific Plan will include an 18-hole golf course;
- Provide as much recreational vehicle access/parking as possible;
- Provide adequate screening of any new water tank;
- Address the water pressure problem in the adjoining residential area;
- Provide a potential future road access from Sequoia Avenue to the Brandeis-Bardin property;
- Minimize traffic on Talbert Avenue through the potential use of an emergency access gate and a Sequoia Avenue address for the golf course clubhouse; and
- Show a detail design for the emergency access at the end of Watson Avenue.

Note:
The 2003 Runkle Canyon Specific Plan is consistent with the 14-point guideline criteria outlined in PR 515: Final Disposition, approved by City Council in November 2000, with the exception of guideline #13 modified by public agencies direction to eliminate the potential

2000



2003

2.1 AUTHORITY OF THE SPECIFIC PLAN

This Specific Plan has been prepared pursuant to the provisions of California Government Code, Title 7, Article 8, Section 65450 *et seq.*, which grants local planning agencies the authority to prepare a Specific Plan for any area covered by a General Plan for the purpose of establishing systematic methods for implementation of the General Plan. A Specific Plan is designed to address site-specific issues such as existing on-site conditions relative to topography and existing environmental constraints, site designs and layout, including building Setbacks and visual appearance, as well as Project-wide concerns such as on-site and off-site circulation, utility provisions, and infrastructure financing alternatives.

A General Plan addresses a City or county at a macro scale, while a Specific Plan concentrates on the individual Development issues and opportunities of a particular area or Project. In addition, the General Plan establishes objectives, which mandate the preparation of individual Specific Plan documents in order to ensure that new Developments meet the basic standards of environmental preservation, safety, infrastructure, landscape design and quality planning, and include provisions to maintain aesthetic quality and cultural identity.

California Government Code, Sections 65450 through 65454, identifies the required contents of a Specific Plan and mandate consistency with the General Plan.

This Specific Plan serves as the policy and regulatory document for the Specific Plan Area consistent with the General Plan, Municipal Code, Hillside Performance Standards, Tree Preservation Ordinance, and other City criteria. In this regard, all Development Plans, parcel map and Tentative Map, or other entitlements, shall be consistent with regulations set forth in this document and, for issues not covered in the Specific Plan, with all applicable City regulations in effect at the time of Development Agreement execution, unless otherwise modified or permitted by this Specific Plan.

Adoption and amendment of the Specific Plan does not imply approval for or allocation of future building permits. Building permit allocations have been addressed in the Development Agreement.

The adoption and amendment of the Specific Plan does not constitute an entitlement or vesting of rights to construct any of the land uses or improvements described herein. It is not intended that any existing provisions of state law, or provisions of state law as may hereafter be adopted, amended, or judicially interpreted, shall be construed as authorizing the Specific Plan to constitute an entitlement or vesting of rights to construct.

A number of permits and applications are required to implement the Runkle Canyon Specific Plan. These include a General Plan Amendment, Zone Change, Special Use Permit, Tree Removal Permit, Tentative Map, parcel map, Development Agreement, and an Affordable Housing Agreement. An approval by Ventura County Local Agency Foundation Commission (LAFCO) of a reorganization and Sphere of Influence Amendment is also required to implement the Specific Plan. The Southern California Water Company (SCWC) Simi Valley system boundary will require extension prior to Specific Plan implementation.

Planned Development Permits, Cluster Development Permits, and other applications or approvals to allow grading and/or construction of residential units, Senior Recreation Facility, and private parks in the Planning Areas will be submitted following Specific Plan approval.

2.2 RELATIONSHIP TO CITY'S GENERAL PLAN

Section F of Appendix B of the General Plan designates the Runkle Canyon area for a Specific Plan.

Figure 2.2-1, General Plan Land Use Designation Maps, shows a comparison between the existing 1988 General Plan, Measure "O" and the Specific Plan Land Use Designations. The Specific Plan is designed to implement the overall goals and concepts of the General Plan.

The applicable General Plan goals are set forth in Appendix B of this Specific Plan, with each set of goals followed by a discussion of how the Specific Plan is consistent with and facilitates these goals.

2.3 RELATIONSHIP TO CITY'S ZONING

While the Specific Plan functions as a zoning code for the Project Area, it is essentially consistent with the existing provisions of the Municipal Code. The Municipal Code requirements and standards in effect at the time the Development Agreement is executed shall apply to this Development, but minor variations to establish a limited number of varied depth/width ratios in the single-family area and modified yard setbacks in the senior area.

Per Municipal Code Section 9-1.1707(b), where a Specific Plan "substitutes development standards or procedures other than those presently adopted by the City, additional findings supported by adequate evidence shall be made to justify each new standard or procedure based on one or more of the following criteria:

1. That it is necessary to achieve flexibility in the implementation or innovation of design consistent with the protection of public, health, safety and welfare; or
2. That it is necessary to provide low and moderate cost housing; or
3. That it is necessary to preserve open space and the natural features of the City's hillside and canyon areas."

The new design standards and their respective justifications are provided below.

1. Depth-to-Width Ratio

New Standard:

A maximum of five percent (5%) of lots within the Residential Estate, Residential Medium and Residential Moderate zoning districts within the Specific Plan Area are permitted with maximum depth-to-width ratio of 5:1. (The current City standard is 3:1 ratio.)

Justification:

The project design and grading pattern of this community are defined by the site's natural topography. To minimize the amount of grading required for residential areas, the need for more narrow lot ratios than the current City standard of 3:1 for those lots whose depth-to-width ratio is constrained by: existing natural topography; the preservation of mature trees; and/or conformance with existing local road patterns. For these reasons, the Specific Plan allows for a maximum of 5% of single-family residential lots within each zoning district to be designed to a 5:1 depth-to-width ratio.

2. Senior Housing [RMod (Seniors)] Development Standards

New Standards:

- a. Side Setbacks - One Story = 10 ft. (Current City Standard = 15 ft.); Two Story = 20 ft. (Current City Standard = 15 feet)
- b. Maximum Structure Height = 35 ft. (Current City Standard = 30 ft.)

Justification:

PR-515 establishes a guideline for 30% of the total units of the Specific Plan Area to be designed for senior units. The senior units of this project are located in Planning Area 4. To allow for site plan flexibility, the Specific Plan standard allows one-story elements to be set back 10 feet from right of way, but holds the two-story setback to 20 feet to provide opportunities for private yard space. In addition, the Specific Plan provides six (6) distinct architectural styles to encourage a varied street scene and to avoid monotony. Architectural styles such as English Country and French Country by nature have a steeper roof pitch than the other styles. The inclusion of a new design standard to allow 35 feet maximum structure height (maximum two stories) will allow design proportions which are appropriate to the proposed architectural styles.

In accordance with Municipal Code Section 9-1.402, each zone district designation is followed by the (SP) suffix. In cases where this Specific Plan contains differing standards from the Municipal Code, the Specific Plan standard shall prevail. Figure 2.3-1, Zoning Map, presents the Zoning Map for the adopted Specific Plan.

Pursuant to Municipal Code Section 9-1.1703, and as required by Government Code Section 65451, the contents of this Specific Plan address the following issues:

1. The distribution, location, and extent of the proposed land uses including open space within the area covered by the Plan;
2. Standards for the provision of essential urban services: the proposed distribution, location, and extent and intensity of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities to be located within and required by the proposed Development;
3. Standards and criteria by which the Development will proceed and standards for the conservation, Development, and utilization of natural resources;
4. A program of implementation measures including regulations, programs, public works Projects, and financing; and
5. A statement of the relationship of the Specific Plan to the General Plan.

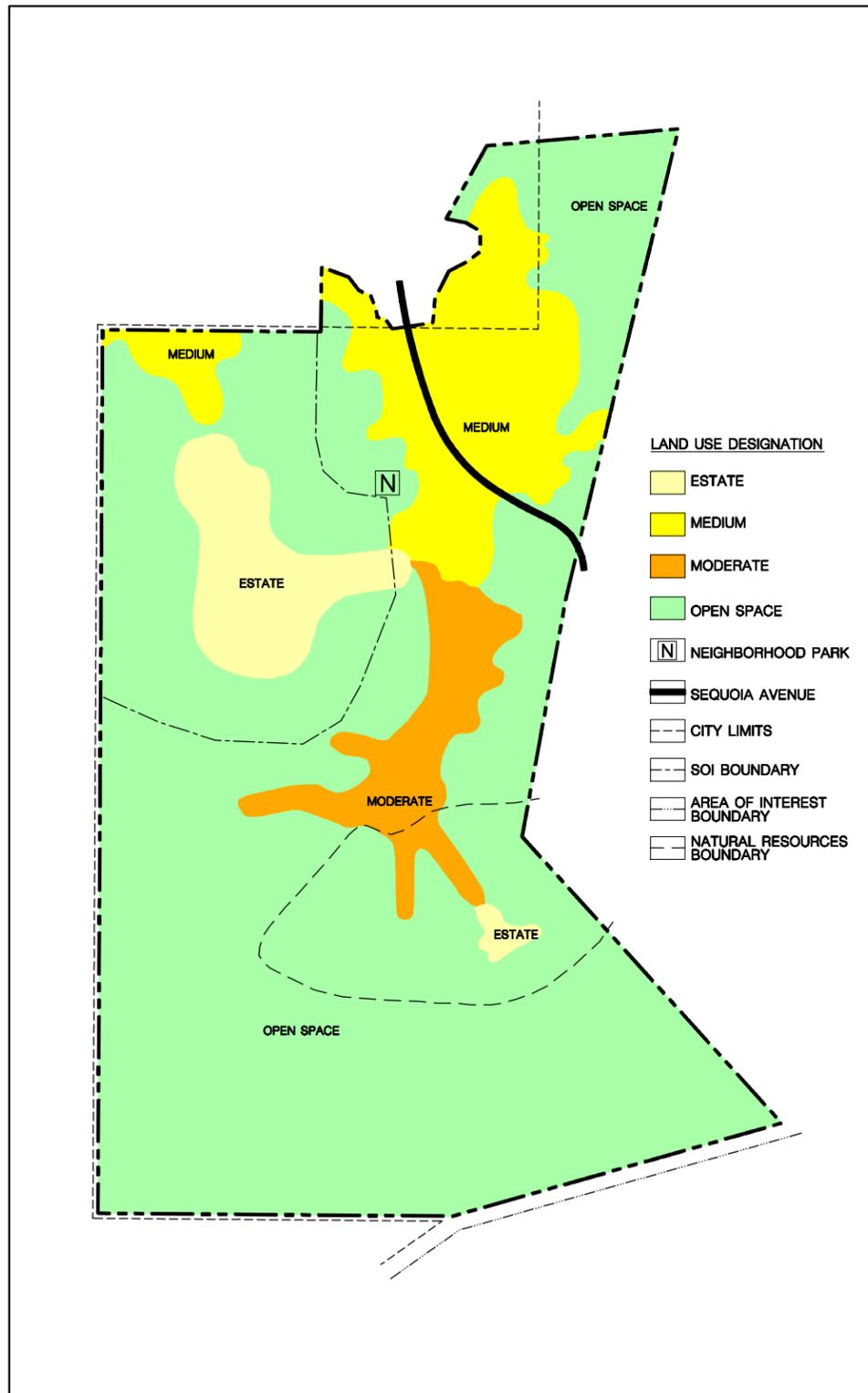
The Rancho Simi Recreation and Park District (RSRPD) have conceptually approved the Neighborhood Park contained in Planning Area 11 of the Specific Plan. Final approval of the park requires a Special Use Permit.

2.4 RELATIONSHIP TO CITY'S SUBDIVISION ORDINANCE

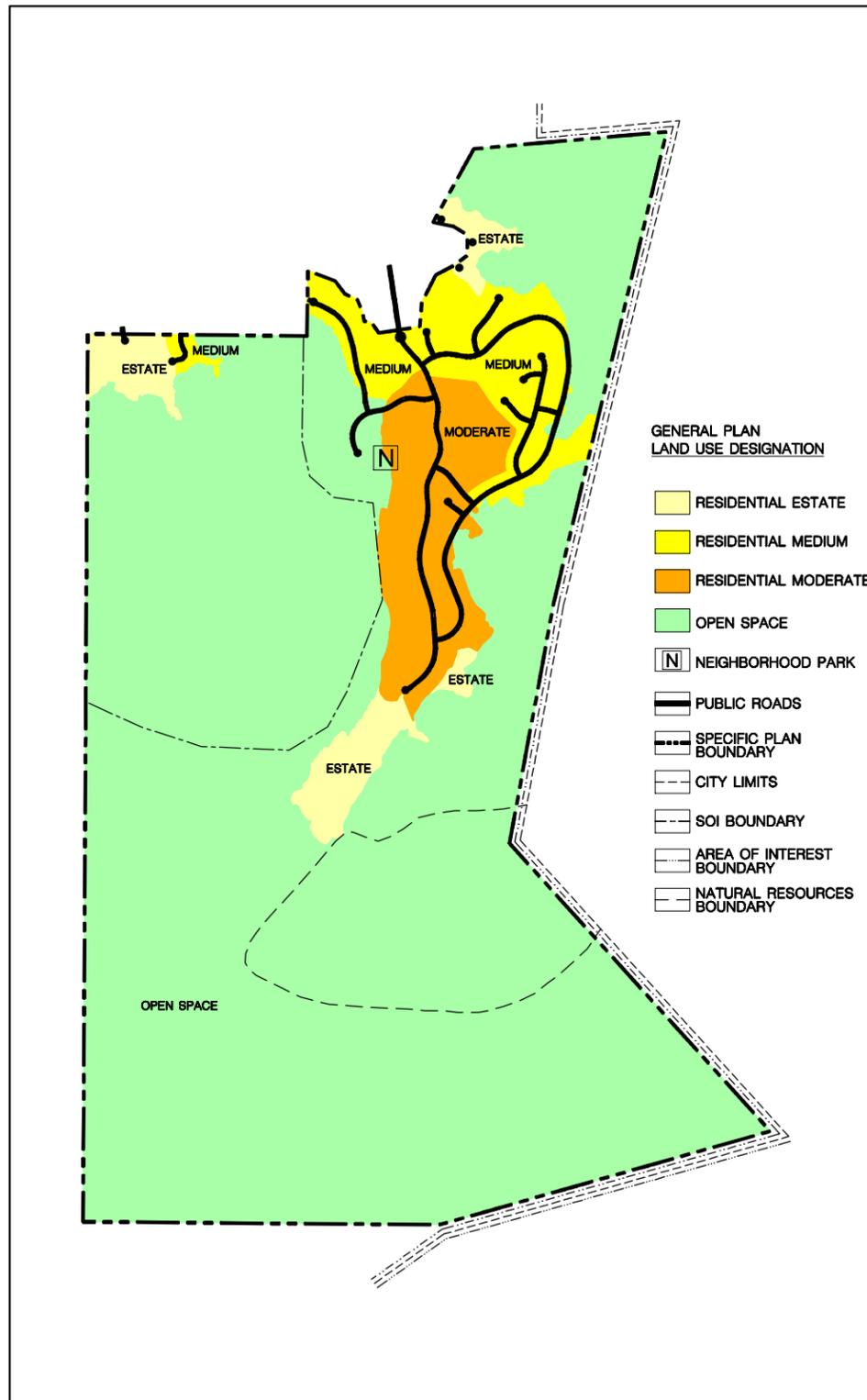
Land subdivisions (e.g., Tentative or Final, Tract or parcel map) shall be submitted, reviewed and approved in accordance with this Specific Plan, the City's Subdivision Ordinance and the California Subdivision Map Act. A Tentative Map was submitted and processed concurrently with the Specific Plan.

This Specific Plan provides for the submittal, review, approval, and recordation of a parcel map that allows for the creation of legal lots for the purpose of financing and land conveyance only, per Section 66426(d) of the State Subdivision Map Act. The mass grading for all parcels within the parcel map shall be accomplished by the Applicant under a separate permit and shall be completed per the requirements of those permits.

Each purchaser of a lot created by the parcel map shall file a final tract map in compliance with the approved Tentative Map, including right-of-way dedications from existing City of Simi Valley maintained roads to the individual parcels and the submittal of improvement plans for approval, and the construction of supporting infrastructure, prior to the construction of any residential units.



HISTORICAL LAND USE MAP
(Per 1988 General Plan)



GENERAL PLAN LAND USE MAP
(Per 2004 Specific Plan)

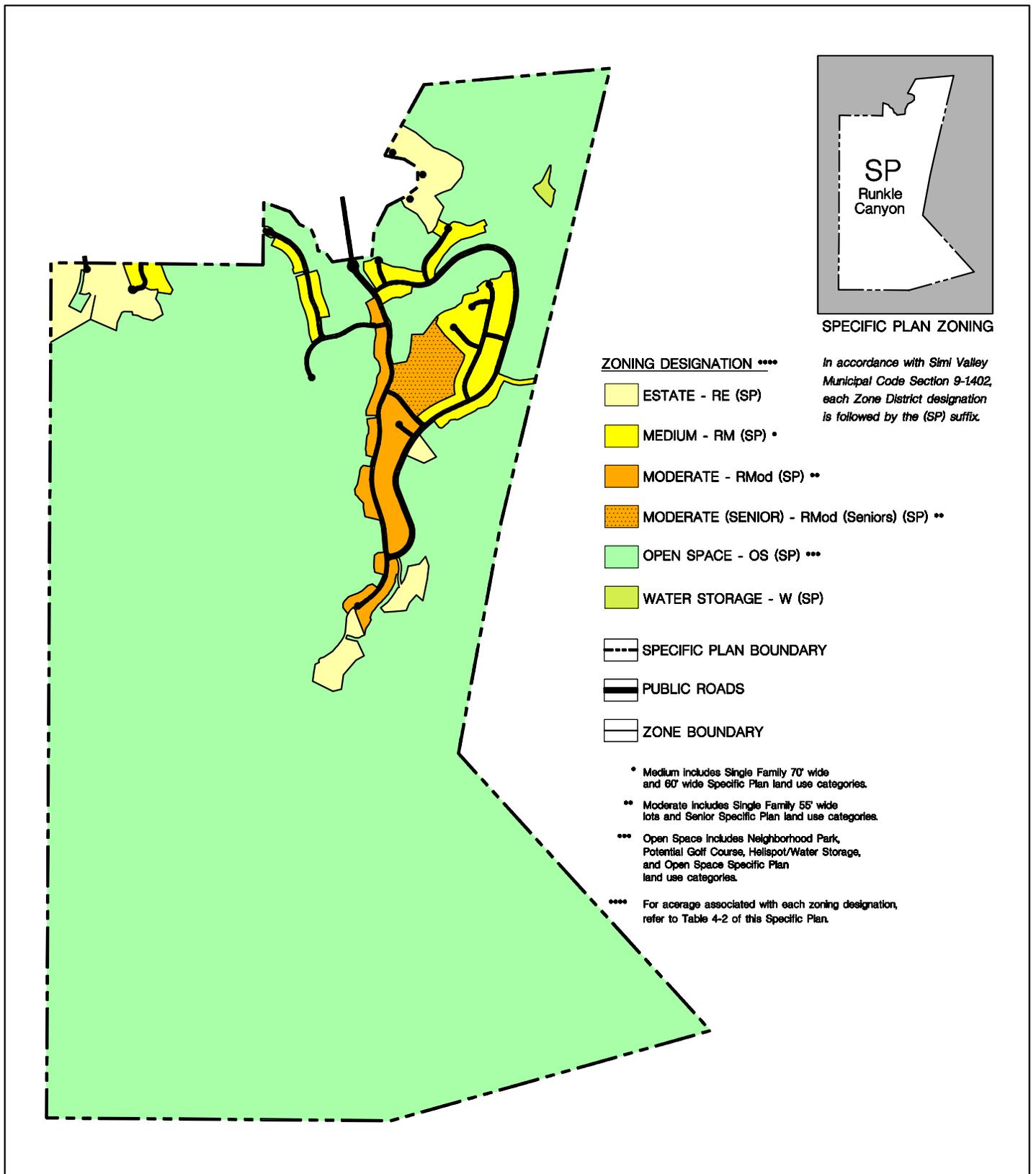
HISTORICAL LAND USE PLAN
(Per 1988 General Plan, Appendix B)

LAND USE	ACRES
Estate	150
Medium	210
Moderate	85
Open Space	1,145
Park	10
TOTAL	1,600

GENERAL PLAN LAND USE MAP
(Per 2004 Specific Plan)*

LAND USE	ACRES
Estate	49
Medium	98
Moderate	98
Open Space	1,350
TOTAL	1,595

* For acreage calculation refer to table B-2 of this Specific Plan.



**SPECIFIC PLAN ZONING MAP
(Per 2004 Specific Plan)**

Figure 2.3-1

ZONING MAP

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC



3.1 PROJECT LOCATION AND SETTING

3.1.1 Project Location

The Runkle Canyon Specific Plan encompasses 1,595.5 acres within the City in eastern Ventura County (Figure 1.1-1, Regional Location). The Specific Plan Area is primarily located at the southern end of Sequoia Avenue, south of Fitzgerald Road (Figure 1.1-2, Project Vicinity). As shown in Figure 1.1-3, Jurisdictional Boundary Map, the Specific Plan Area is located within the existing City limits. Prior to the Specific Plan adoption, the northwestern and northeastern portions of the Specific Plan Area were located within the City's Sphere of Influence or contained within the City Urban Restriction Boundary. Prior to the Specific Plan adoption, the Runkle Dam and Reservoir comprised 2.9 acres in the north-central portion of the total Specific Plan Area.

Regional access to the Specific Plan Area is provided via State Route 118 (Ronald Reagan Freeway) located approximately 2¼ miles to the north (Figure 1.1-1, Regional Location); and the Metrolink (rail transit) System. A rail station is situated approximately 2½ miles to the northeast. Local access is provided via Sequoia Avenue and Talbert Avenue located directly to the north of the Specific Plan Area (Figure 1.1-2, Project Vicinity).

3.1.2 Existing Land Uses

1. Within Specific Plan Area

Existing land uses within the Specific Plan Area include cattle grazing areas over much of the Specific Plan Area, especially within its northern and central portions. Open space areas exist in the central and southern areas of the site. Included in this area is Dry Lake. Runkle Dam and Reservoir is located in the north central area of the Specific Plan Area. A former sand and gravel quarry is located in the central portion of the site south of the Reservoir. Several utility easements run through the Specific Plan Area, including a Southern California Edison (SCE) easement along the eastern edge and a Southern California Gas Company (SCGC) gas pipeline through the central portion.

2. Adjacent to Specific Plan Area

Several single-family residential Developments are located immediately north of the Specific Plan Area. Brandeis-Bardin Institute, which includes an active youth ranch, currently exists along the Specific Plan Area's eastern boundary. The Rocketdyne facility is located near the extreme southeast edge of the Specific Plan Area. The southern boundary of the Specific Plan Area abuts the Santa Monica Mountains. To the west lies developed land and open space.

Figure 3.1-1, Existing Land Uses, shows the existing land uses for properties within and adjacent to the Specific Plan Area.

3.2 ENVIRONMENTAL SETTING

This section describes the existing Project Area at the time of adoption of this Specific Plan and related documents.

3.2.1 Topography

The topography of the Specific Plan Area is generally characterized by a series of east to west trending ridges separated by a central canyon (Runkle Canyon) running north to south. The northern and central portions of Runkle Canyon contain the broad flat portion of the Canyon floor. This portion of Runkle Canyon is generally not visible from the floor of Simi Valley. A smaller isolated canyon with several tributaries is located within the western portion of the Specific Plan Area.

The terrain within the Specific Plan Area generally decreases in elevation from southeast to northwest. The elevations within the central and northern portions of the Specific Plan Area generally range from 1,000 to 1,300 feet above mean sea level. A hilltop with an elevation of approximately 2,160 feet above sea level is located in the southeast corner. A large portion of the Specific Plan Area contains slope gradients that are greater than twenty percent (20%) (Figure 3.2-1, Existing Topography).

The Specific Plan Area is on the northern segment of the Simi Hills within the western Transverse Ranges Geomorphic Province. Bedrock materials within the Specific Plan Area consist of siltstone and mudstone with interbedded sandstone of the Santa Susana and Lajas Formations. A roughly east-west trending intrusive dike cuts across the Santa Susana Formation at the northern portion of the Specific Plan Area. Alluvium is present within the main bottom portion of Runkle Canyon. Fill material from aggregate mining activities, generally consisting of sands and gravels, is present at the central portion of the Specific Plan Area. Refer to Section 4.7, Master Grading Plan for further discussion of the mining area fill.

3.2.2 Ridgeline Preservation

The City recognizes the hills within and adjacent to the City as significant features of the community. Section 9, Article 16 of the Municipal Code sets forth Hillside Performance Standards (HPS) to guide Development within hillside areas. Visually prominent ridgelines are defined within these standards. No Development visible from the Simi Valley floor is permitted on visually prominent ridgelines with exceptions in accordance with Municipal Code Sections 9-1.1604 and 9.1611(b)(7).

A detailed visual analysis of the Project and its relationship to prominent ridgelines is set forth in Appendix B of this Specific Plan. Figure 3.2-2, Prominent Ridgelines Map, indicates those prominent ridgelines located within the Specific Plan Area.

3.2.3 Drainage and Watersheds

The Specific Plan Area contains two watersheds and five drainage courses. Runkle Creek, within the first watershed, bisects the Specific Plan Area and includes Runkle Canyon Dam and Reservoir, located in the site's central portion. The second watershed lies in the canyon west of Runkle Creek. Figure 3.2-3, Biological Resources, indicates the location of existing natural watershed features and drainage courses within the Specific Plan Area.

3.2.4 Jurisdictional Areas

A wetland delineation of the Specific Plan Area was conducted for the purpose of determining the amount and location of jurisdictional areas as defined by the United States Army Corps of Engineers (USACE) and the California Department of Fish and Game (CDFG). Five drainage courses were determined to be under USACE jurisdiction and CDFG jurisdiction and were primarily identified within the open space portion of the Specific Plan Area. Among these courses, only two are considered major drainages, with the remainder considered tributary locations (Figure 3.2-3, Biological Resources). The open space area within the central portion of the Specific Plan Area includes Runkle Canyon Dam and Reservoir that has been dredged in the past and is of low habitat value, with neither natural riparian plants nor standing water. Jurisdictional areas include 5.4 acres of USACE and 44.1 acres of CDFG are located primarily within open space areas.

The area of Dry Lake, in the southern portion of the Specific Plan Area, contains a 0.8-acre Vernal Pool.

3.2.5 Biological Resources

The Specific Plan Area contains a variety of natural plant communities including non-native grasslands, northern mixed chaparral, Venturan sage scrub, coast live oak woodland, mulefat scrub, and southern willow scrub. These natural communities provide habitat for a number of common plants and wildlife species. Common plant species include California sagebrush (*Artemisia californica*), black sage (*Salvia mellifera*), laurel sumac (*Malosma laurina*), and saw-toothed goldenbush (*Hazardia squarrosa*). Common wildlife species include California towhee (*Pipilo californica*), spotted towhee (*Pipilo maculatus*), scrub jay (*Aphelocoma coerulescens*), and Bewick's wren (*Thryomanes bewickii*).

The Development Area is dominated by non-native grasslands. Continuous cattle grazing, has reduced the quality of the non-native grasslands, which now provides limited habitat for common plant and wildlife species.

The City places a high level of importance on the preservation or replacement of Venturan sage scrub and Mature Trees. The majority of Venturan sage scrub is limited to steeper slopes undisturbed by cattle. Mature Trees are located within the Development Area. Refer to Section 4.6 for a detailed discussion of tree preservation within the Specific Plan Area. Figure 3.2-3, Biological Resources, details the location and distribution of biological resources within the Specific Plan Area.

3.2.6 Easements

A number of easements run through the Specific Plan Area, including a 12-inch high-pressure SCGC natural gas line, SCE power transmission lines and maintenance access easements. These easements require maintenance in place. Refer to the Tentative Map, under separate cover, for easement location and information.

3.2.7 Landslide and Fault Zones

Five landslide areas have been identified within the Specific Plan Area. Three have been identified as potentially hazardous and require remedial grading in order to stabilize the slopes.

No known active fault zones are located within the Specific Plan Area. Faults within the vicinity include the Simi-Santa Rosa, Santa Susana, Oak Ridge, and Northridge Faults.

3.2.8 Cultural Resources

Cultural resources consist of historical, paleontological, and archaeological sites, and artifacts. A number of surveys were conducted in the Specific Plan Area with the most recent survey conducted in March of 2002. State law prohibits the public disclosure of such sites.

No new archeological sites were observed within the property. The three previously recorded sites were located and assessed and are not located within the Development Area. Archaeological testing took place on all three sites. Two sites were found to be potentially significant, and additional excavation was required. These sites were excavated to a satisfactory level and a final report describing work at all three sites has been completed. Archeological and paleontological monitoring should occur during initial grading activities.

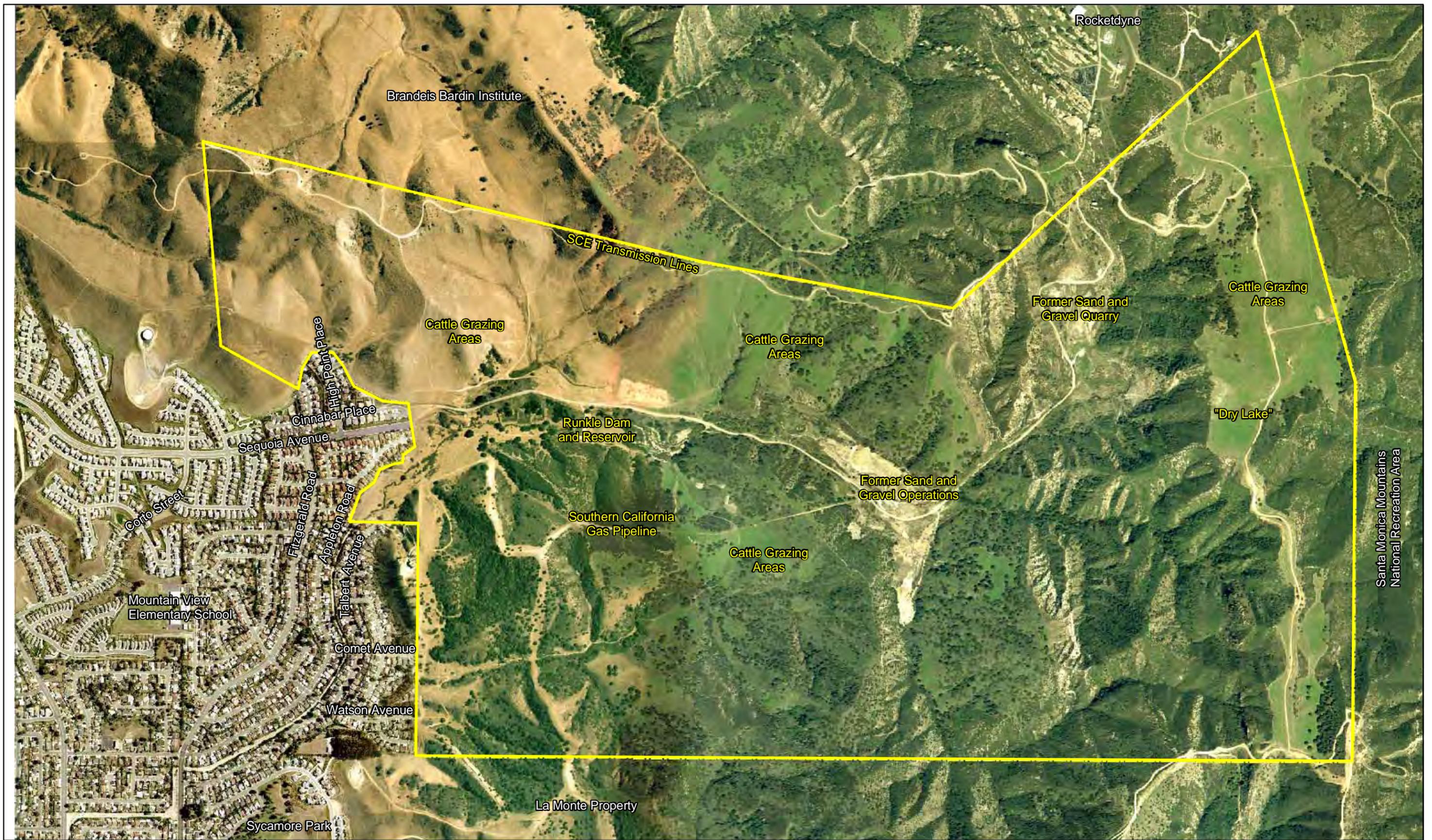
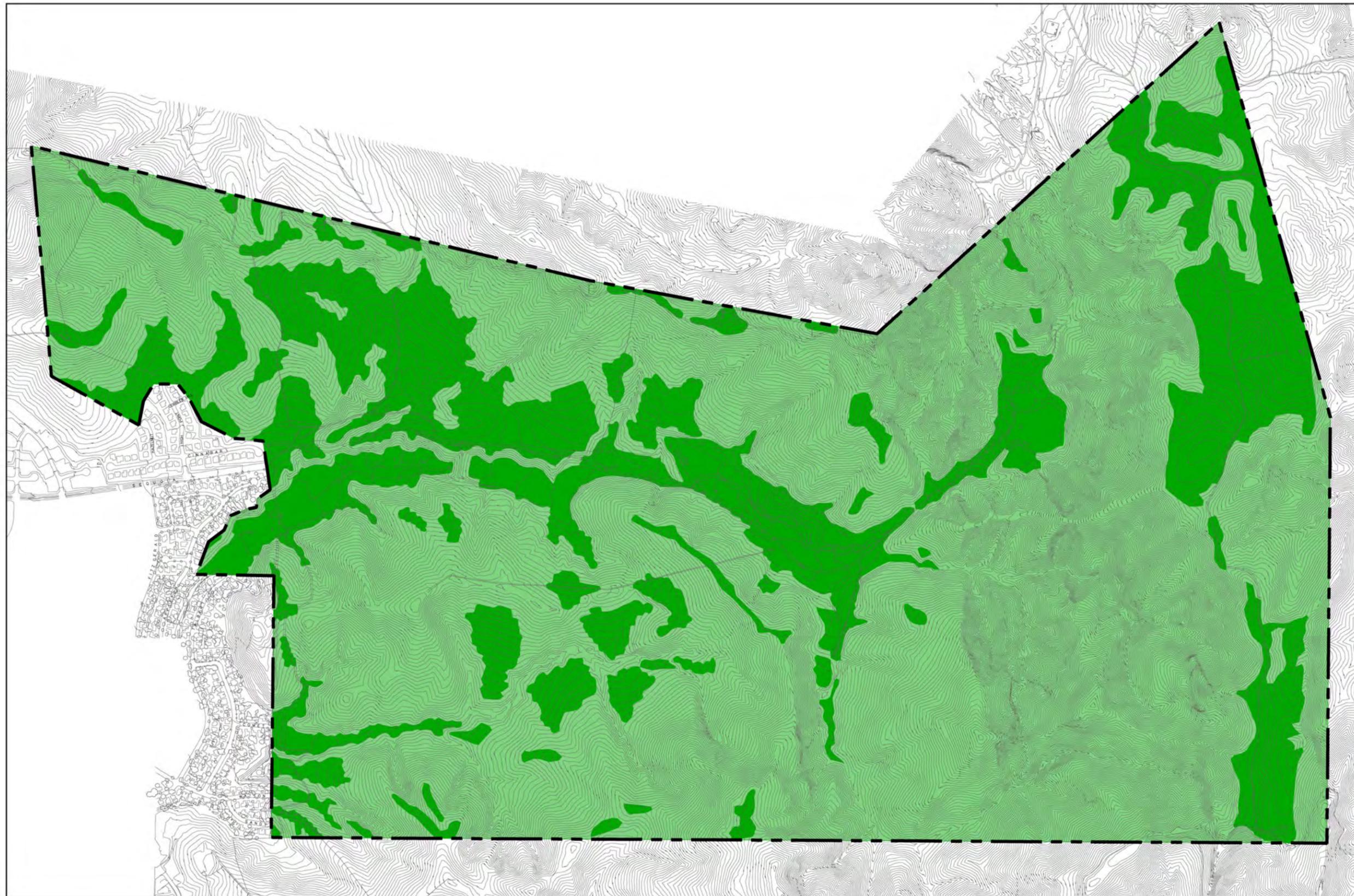


Figure 3.1-1
EXISTING LAND USES
 Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

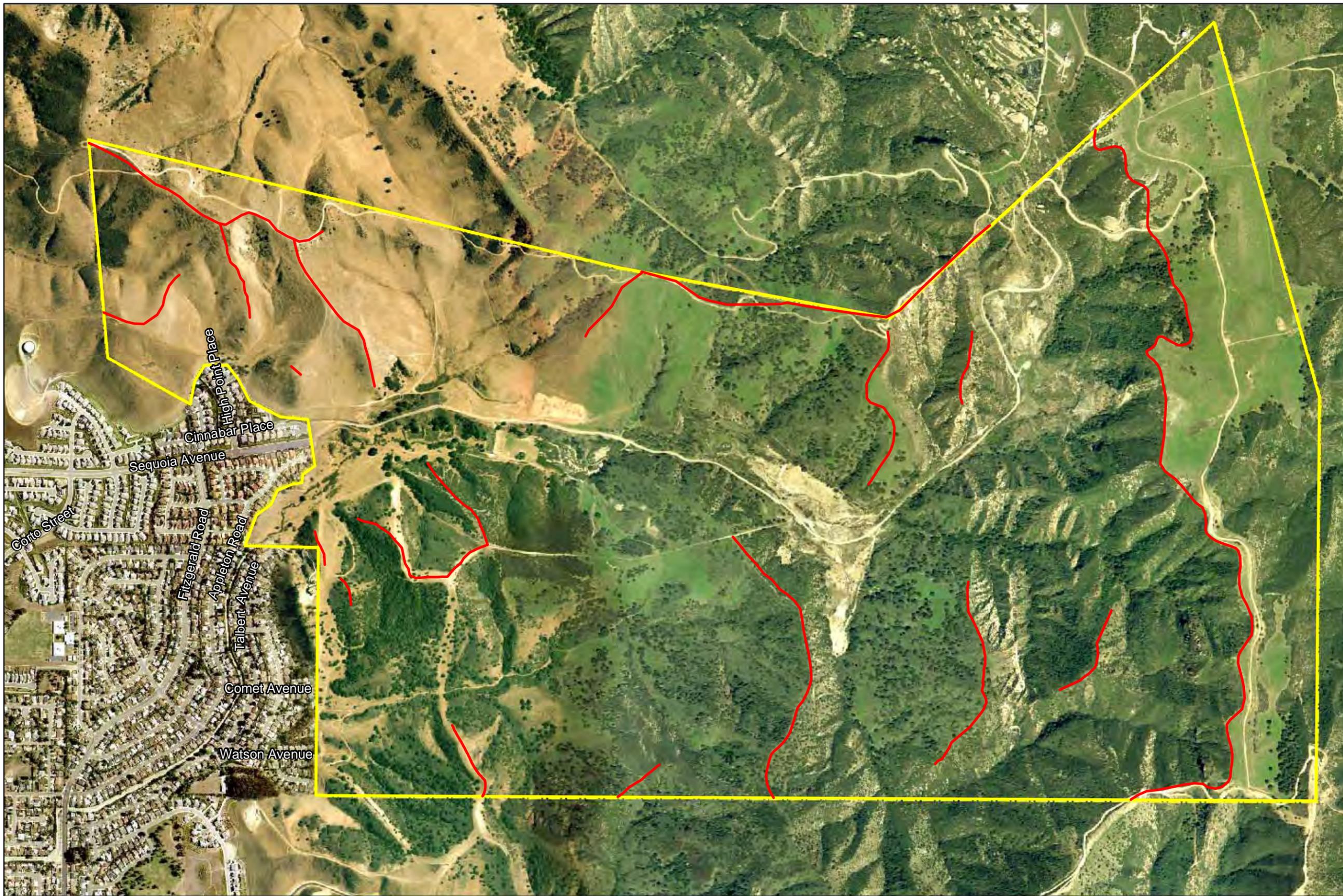




LEGEND

-  PROJECT BOUNDARY
-  SLOPE GRADE GREATER THAN 20 PERCENT (1,196 ACRES)
-  SLOPE GRADE LESS THAN 20 PERCENT (399 ACRES)

Figure 3.2-1
EXISTING TOPOGRAPHY
 Runkle Canyon Specific Plan



LEGEND

- Prominent Ridgeline
- Specific Plan Area

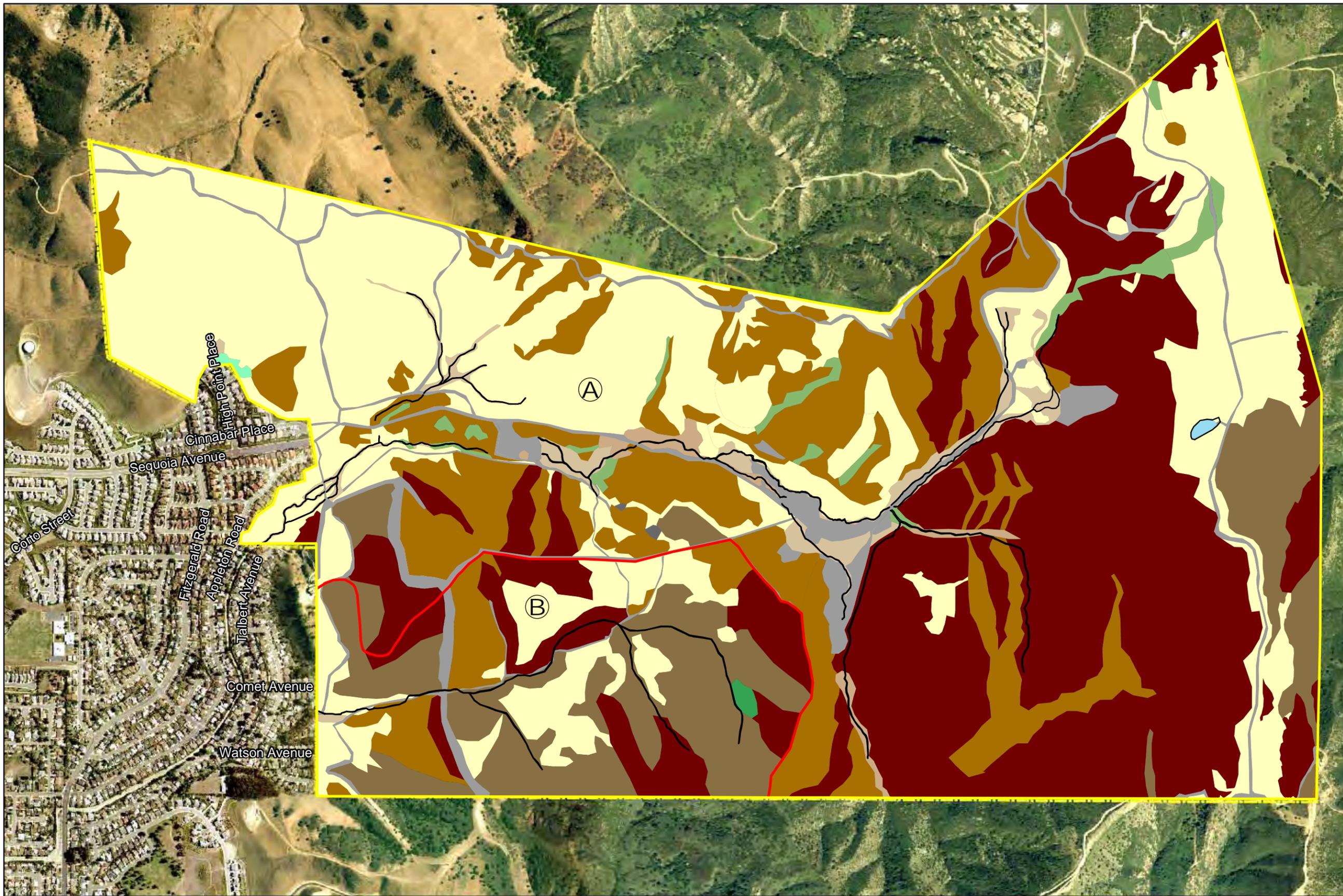


GreenPark Runkle Canyon, LLC

Figure 3.2-2
PROMINENT RIDGELINES MAP
 Runkle Canyon Specific Plan

0 250 500 750 1000

FORMA
 February 2004
 ridgelines_012103.mxd



- LEGEND**
- VEGETATION**
- Grasslands**
- Nonnative Grasslands
- Scrublands**
- Mulefat Scrub
 - Southern Willow Scrub
 - Venturan Sage Scrub
 - Coastal Sage - Chaparral
 - Northern Mixed Chaparral
- Woodlands**
- California Walnut Woodland
 - Coast Live Oak Woodland
 - Valley Oak Woodland
- Other**
- Disturbed Area/ Existing Access Roads
 - Rocky Outcrop
 - Vernal Pool
 - Natural Drainage Course
 - Watershed Boundary
 - Watershed Area Designation

Figure 3.2-3
BIOLOGICAL RESOURCES
 Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

4.1 LAND USE PLAN

This Specific Plan provides for the Development of a unique community that completes the historical progression of residential neighborhoods south along Sequoia Avenue while preserving the majority of the land as open space. The Specific Plan Area integrates a variety of compatible land uses including a mix of residential types, preserved open space, recreational open space, multi-use trail system, and an area for a potential Golf Course. The location of the Development area of the Specific Plan allows for a logical and close connection with the existing street system and infrastructure such as sewer lines, water lines, streets and other similar urban services, eliminating the need to extend lines and easements. In addition, urban services currently exist in close proximity to the site and provide needed service. Such services and amenities include schools, police and fire facilities, parks, commercial shopping areas, as well as convenient access to the 118 (Ronald Reagan) Freeway, Metrolink, and other transportation services.

4.1.1 Community Concept

The community concept is designed to achieve the intent and satisfy the goals and objectives of the Specific Plan as set forth in Chapter 1, herein. The community is intended to blend into the existing natural environment through the implementation of comprehensive site planning. The community integrates with existing neighborhoods through a mix of compatible housing styles and access routes. Overall, the residential Development concept consists of three neighborhood types: 1) the senior housing neighborhood located in the central portion of the developed area; 2) the single-family neighborhoods located throughout the northern and central portion of the site; and 3) the single-family estates situated throughout the Development area of the Specific Plan Area.

The Specific Plan Land Use Plan provides a transition from higher density senior housing and the single-family neighborhoods to the extensive surrounding open space and existing neighborhoods. To accomplish this aesthetic transition, the planting concept for the transitional slopes between the residential neighborhoods and the open space areas utilizes plant species that are natural to the region in order to complement the existing natural surrounding vegetation.

The Development pattern for the community sets as its priority a balancing of the preservation of open space with the need to house families and seniors. With the majority of the property being left in a natural state, recreational opportunities are available throughout the open space areas, including connection and access via sidewalks, and trails connecting existing neighborhoods adjacent to the Specific Plan Area.

Finally, there is an area in the western portion of the site designated for a potential Golf Course as required by the General Plan.

4.2 SPECIFIC PLAN LAND USE CATEGORIES

The Land Use Plan for the Specific Plan (Figure 4.2-1, Specific Plan Land Use Plan) is designed to integrate a variety of residential and recreational uses within the community while providing a compatible profile for the Development in the Canyon floor, and protecting the hillsides and vistas for the general public. Preservation of natural watercourses, specified Mature Trees, and views are purposefully incorporated into the Specific Plan Land Use Plan. The land use categories for the Specific Plan Area include residential estate (minimum 1-acre lots), single-family detached residential (70-foot-, 60-foot-, and 55-foot-wide lots), senior housing, and open space uses including a Neighborhood Park, emergency helispot/water storage, potential Golf Course, and open space. A land use acreage summary providing the acres and percent of total area for the various land use categories within the Specific Plan is included in Table 4-1, Land Use Acreage Summary.

4.2.1 Residential Zoning Districts

This Specific Plan consists of the following zoning districts for Residential Neighborhoods. These districts govern the Development standards for residential Development within the Specific Plan Area. All applicable Development and design standards of the Municipal Code, Title 9, Chapter 1 (Zoning Code) apply within the Specific Plan Area, *unless otherwise specified below*. Figure 2.3-1, Zoning Map, shows the distribution of zoning districts within the Specific Plan Area.

A minimum of twenty percent (20%) of the detached residential units within the Specific Plan Area shall be one-story, encouraged to be located at corner lots and mixed throughout the Planning Area to provide a varied street scene.

- a. Residential Estate / RE (SP) – Planning Areas 1, 6, 7, and 10, consist of estate homes on minimum one-acre lots. These Planning Areas and adjacent slope areas, situated throughout the developed portion of the site are classified RE(SP). A maximum of five percent (5%) of lots within this zoning district are permitted with maximum depth-to-width ratio of 5:1. The balance of single-family lots zoned RE(SP) is subject to a maximum depth to width ratio of 3:1.
- b. Residential Medium Density / RM (SP) – Planning Areas 2, 3, 8, and 9 consist of 172 single-family detached residential units on lot sizes ranging in size from 6,000 to over 9,000 square feet. This zoning district applies to the Specific Plan land use categories for Single-Family Detached 70'-Wide Lots and Single-Family Detached 60'-wide lots. The purpose of this zone is to provide for detached housing on a variety of individual lot sizes with a variety of housing types, sizes and price ranges, to encourage a viable mix of residents. A maximum of five percent (5%) of lots within this zoning district are permitted to have a maximum depth-to-width ratio of 5:1 with the balance of single-family lots zoned RM(SP) and subject to a maximum depth to width lot ratio of 3:1.

- c. Residential Moderate Density – RMod (SP) – Planning Area 5 contains 126 single-family detached residential units on lot sizes with a minimum size of 5,500 square feet. This zoning district applies to the Single-Family Detached 55'-Wide land use category. A passive HOA-maintained pocket park is permitted within Planning Area 5. The Builder of Planning Area 5 is responsible for design and construction of the pocket park, and shall obtain appropriate City permits. A maximum of five percent (5%) of this zoning district is permitted with maximum depth-to-width ratio of 5:1 with the balance of single-family lots subject to the City's standard lot ratio of 3:1.

- d. Residential Moderate Density – RMod (Seniors) (SP) – Planning Area 4 contains thirty percent (30%) or (138 units) of the total dwelling units within the Specific Plan Area. These units are age-restricted senior citizen housing residences. Attached or multi-family units are permitted within this zone. A Senior Recreation Facility is permitted in this zone. This amenity may include a building with a meeting room, kitchen, and restroom. Planning Area 4 has been classified RMod(SP), which permits up to ten units per acre if the units are intended for senior housing or are within the affordable price range. The purpose of this zone is to allow the construction of attached, clustered units in order to: 1) develop for-sale housing that has market appeal to senior citizens; and 2) permit 62 units to be offered in the affordable price range per the Affordable Housing Agreement. Refer to Section 4.4 for additional information on the affordable housing component of this community.

4.2.2 Specific Plan Land Uses Allowed Within Residential Zoning Districts

Residential land uses comprise a total of 139.7 acres, which is approximately nine percent (9%) of the total Specific Plan Area. The residential Development pattern is designed to complement the natural features of the land, and minimize impacts to natural vistas and slopes.

The Specific Plan allows for a mixture of housing types throughout the residential community, with an appropriate mix of one- and two-story homes to provide for the integration of the new community with the existing neighborhoods to the north.

The Canyon floor is the optimal location for residential Development consistent with the HPS. The majority of the slopes in the easterly portion of the property containing less than twenty percent (20%) gradients and below prominent ridgelines are considered developable for residential lots by the HPS ordinance.

As shown in Figure 4.2-1, Specific Plan Land Use Plan, residential land uses consist of five distinct types:

1. Residential Estate

A total of 25 residential lots, or approximately five percent (5%) of the total residential units, are provided as residential estates within this category. These lots are at least one acre in size. These lots are dispersed throughout the community, with the majority next to existing homes, enabling a mixture of housing types that offer diversity in streetscapes and character, and a transition between the single-family neighborhoods and open space.

2. Single-Family Detached 70'-Wide Lots

A total of 64 residential lots, or approximately fourteen percent (14%) of the total residential units, are provided within this category. These lots have a minimum lot width of 70 feet measured at the required front Setback line. Lots of this type are located in the northern portion of the Specific Plan Area adjacent to the existing homes.

3. Single-Family Detached 60'-Wide Lots

A total of 108 residential lots, or approximately twenty-three percent (23%) of the total residential units, are provided within this category. These lots have a minimum lot width of 60 feet measured at the required front Setback line. Lots of this type are located in the northeastern portion of the Specific Plan Area.

4. Single-Family Detached 55'-Wide Lots

A total of 126 residential lots, or approximately twenty-seven percent (27%) of the total residential units, and a HOA-maintained pocket park, are provided within this category. These lots have a minimum lot width of 55 feet measured at the required front Setback line. Lots of this type are located in the north and central portions of the Specific Plan Area.

5. Senior Housing

A total of thirty percent (30%), or 138 of the total residential units in the Specific Plan Area are provided as for-sale senior housing units within this category. These units are attached or multi-family and located centrally within the community. The Senior Housing Neighborhood includes a Senior Recreation Facility for use by its residents. The Specific Plan also contains provisions for an Affordable Housing Agreement for 62 of the for-sale senior housing units in the affordable price range.

4.2.3 Open Space Zoning Districts

This Specific Plan consists of the following zoning districts for open space uses: Open Space – OS (SP) and Water Storage – W (SP). All applicable development and design standards of the Municipal Code, title 9, Chapter 1 (Zoning Code) applicable at the time of the adoption of the Development Agreement apply within the Specific Plan Area, unless otherwise specified below. Figure 2.3-1, Zoning Map, shows the distribution of zoning districts within the Specific Plan Area.

1. Open Space / OS (SP)

Planning Areas 11, 13, and 14 consist of a variety of open space land uses. This zoning district applies to the Specific Plan land use categories for open space: Open Space, Neighborhood Park, and Recreation (Potential Golf Course).

Permitted uses within this designation include:

- a. Publicly accessible open space;
- b. Public Neighborhood Park and recreational facilities, as described in Section 6.2 of this Specific Plan;
- c. Public daily fee Golf Course and related facilities;
- d. Public multi-use recreational paths, trails, interpretive nodes, information kiosks and related facilities, as described in Section 5.3 of this Specific Plan;
- e. Runkle Dam, Reservoir and related facilities;
- f. Public or private equestrian facilities;
- g. Livestock grazing, unless restricted by agreement, permit, or ordinance; and
- h. Infrastructure, structures, and improvements accessory to land uses allowed by this Specific Plan.

The above uses shall be subject to the provisions of Section 7.2 *et seq.* of this Specific Plan. The public multi-purpose trails are permitted subject to approval of a Planned Development Permit. The keeping of livestock within the OS (SP) zone shall be subject to Municipal Code Section 9-1.807 *et seq.*

2. Water Storage – W (SP)

Planning Area 12 consists of a public water tank and emergency helispot. This zoning district applies to the Specific Plan land use category for Open Space – Emergency Helispot / Water Storage. The purpose of this zoning designation is to establish areas within the Specific Plan reserved for the location of water storage tanks.

Permitted within this zone is a public water storage tank, an emergency helispot built to Ventura County Fireshed Protection District (VCFPD) standards, the safe placement and operation of wireless telecommunication facilities, and supporting

infrastructure for these uses. Wireless telecommunication facilities shall be subject to Municipal Code Section 9-1.2303 *et seq.* There is no minimum lot size in this zone. Livestock grazing is not permitted within this zone. No dwelling units are allowed within this zone.

4.2.4 Specific Plan Land Uses Allowed Within Open Space Land Use Categories

The Specific Plan is designed to preserve much of the natural terrain of the canyons and hillsides.

The total open space uses comprise 1,455.8 acres, or 91% of the project site. Preserved open space is the primary element of the Specific Plan, comprising most of the southerly portions of the property.

Figure 4.2-2, Open Space and Recreation Plan, illustrates the open space network within the Specific Plan Area.

As shown in Figure 4.2-1, Specific Plan Land Use Plan, open space land uses consist of four distinct types:

1. Open Space

1,150.6 acres of preserved, publicly accessible open space are designated in this category throughout the Specific Plan Area. This open space includes areas of natural slopes, prominent ridgelines, canyons, drainage courses, sensitive habitat areas, riparian areas, and other significant open space features such as Dry Lake. Multi-use recreation paths and trails including connections are incorporated for public access to open space, including the Dry Lake area and other open space areas. Two interpretive nodes are also incorporated, one at a panoramic location within Dry Lake and a second at the southern end of the residential Development Area. The two interpretative nodes highlight the cultural and natural history of the area, and are designed in a manner that complements the rustic characteristics of the Canyon. The design and construction of the multi-use paths, trails and other access improvements, interpretive nodes, information kiosks, and related infrastructure improvements shall be consistent with Exhibit 5.3-1 of this Specific Plan and applicable City design standards. Completion of these Specific Plan recreation improvements shall occur within 30 calendar days following the issuance of the 160th single-family residential Certificate of Occupancy.

Livestock grazing and ranch management support facilities are permitted within this zone, unless this use is restricted by an agreement, permit, or ordinance. The keeping of livestock within the OS (SP) zone shall be subject to Municipal Code Section 9-1.807(c) *et seq.*

2. Open Space – Neighborhood Park

An area of 9.2 net acres (10.1 gross acres) is designated in this category for a Neighborhood Park and adjacent road, drainage areas, access roads, and trails. Located near the Sequoia Avenue and Talbert Avenue extensions, this Neighborhood Park allows for a variety of passive recreation uses, consistent with Rancho Simi Recreation and Park District (RSRPD) direction, and described in Section 6.2 of this Specific Plan. A Special Use Permit shall be obtained for this park. A trailhead is located within the Neighborhood Park. This trailhead provides hikers and bicyclers with information on the local and regional trail network.

3. Open Space – Emergency Helispot / Water Storage

An area of 18.2 acres is designated in this category for a SCWC public water storage facility and a VCFPD emergency helispot and associated slopes and access roads. This area includes a 2-million-gallon water tank located in the northeastern portion of the Specific Plan Area per the SCWC Master Plan.

4. Open Space – Recreational (Potential Golf Course)

An approximate area of 217.5 acres is designated in this category for a potential Golf Course. Conceptually, 168 acres would be improved for a potential daily-fee Golf Course, a clubhouse, parking lot, and other related facilities. A Golf Course Feasibility Study for this site has been prepared to conceptually describe the Golf Course for illustrative purposes only.

**TABLE 4-1
LAND USE ACREAGE SUMMARY**

SPECIFIC PLAN LAND USE CATEGORIES	ACRES	PERCENT OF TOTAL AREA
RESIDENTIAL USES		
Residential Estate	43.8	2.8%
Single-Family Detached 70' -Wide Lots	22.7	1.4%
Single-Family Detached 60' -Wide Lots	27.6	1.7%
Single-Family Detached 55' -Wide Lots	30.7	1.9%
Senior Housing	14.9	0.9%
<i>Residential Subtotal</i>	139.7*	8.8%
OPEN SPACE AND RECREATION USES		
Open Space – Neighborhood Park	10.1	0.6%
Open Space – Potential Golf Course	217.5	13.6%
Open Space – Emergency Helispot/Water Storage	18.2	1.1%
Open Space	1,150.6	72.1%
(Open Space – Other **)	59.4**	3.7%
<i>Open Space and Recreation Subtotal</i>	1,455.8	91.2%
<i>Total</i>	1,595.5*	100.0%

The Specific Plan Area is organized into 14 Planning Areas, as shown in Figure 4.2-1, Land Use Plan, and detailed in Table 4-2, Planning Area Statistical Summary.

* Includes residential lots and public streets/private drives.

** Not a Specific Plan Land use category; includes graded slopes, fuel modification areas, water quality basins, infrastructure access roads, and natural undisturbed open space located within residential Planning Areas. For breakdown, refer to Table 4-2, Planning Area Statistical Summary.

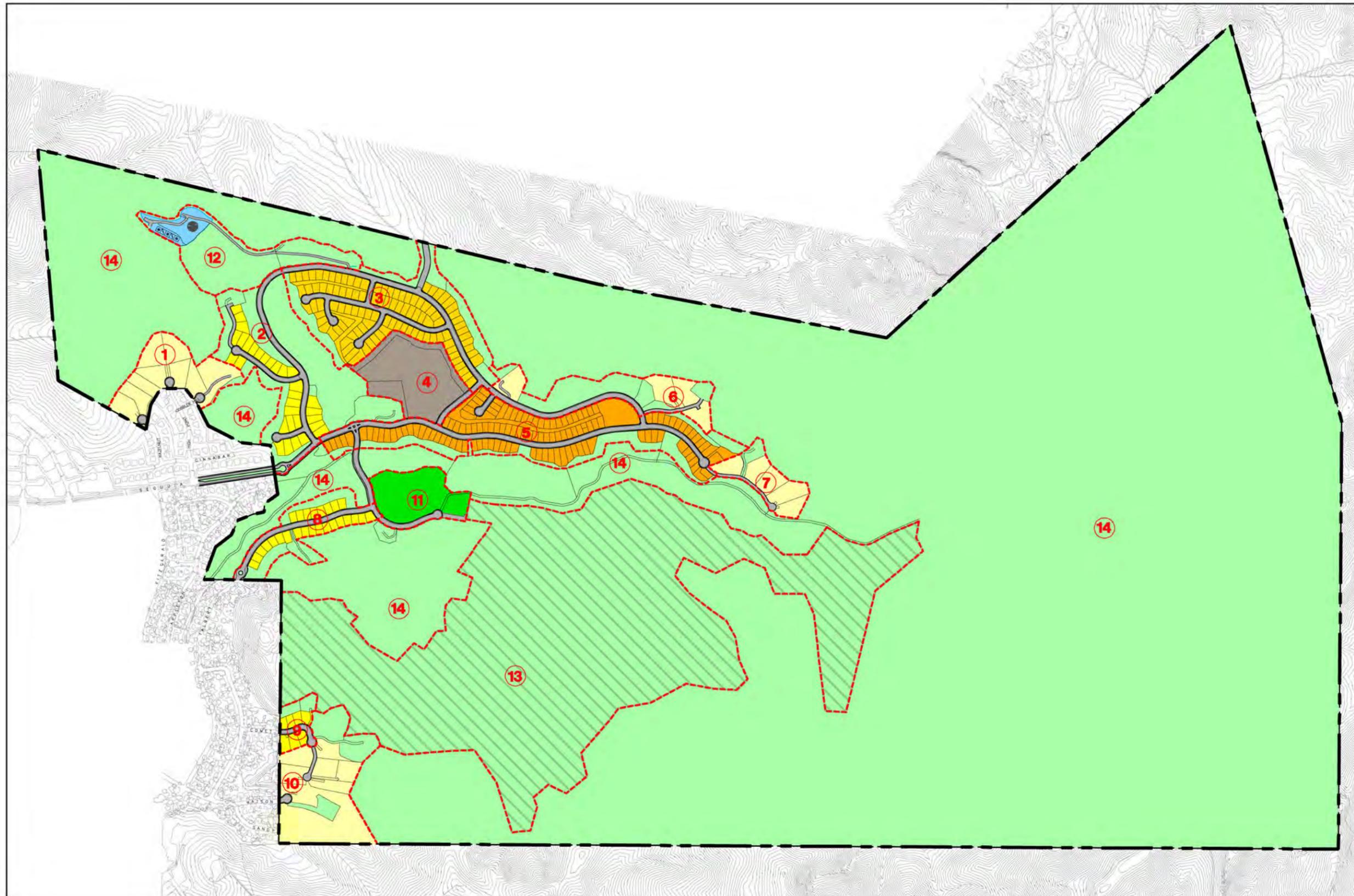
**TABLE 4-2
PLANNING AREA STATISTICAL SUMMARY**

PLANNING AREA	SPECIFIC PLAN LAND USE CATEGORY/ ZONING DISTRICT*	DWELLING UNITS	RESIDENTIAL/ STREET ACRES**	RESIDENTIAL DENSITY (DU/ACRE)	OPEN SPACE ACRES***	TOTAL ACRES
1	RESIDENTIAL ESTATE RE(SP)	9	12.9	0.7	0.2	13.1
2	SFD 70' WIDE RM(SP)	31	12.8	2.4	23.1	35.9
3	SFD 60' WIDE RM(SP)	108	27.6	3.9	7.1	34.7
4	SENIOR HOUSING RMOD (SENIORS) (SP)	138	14.9	9.3	0.0	14.9
5	SFD 55' WIDE RMOD(SP)	126	30.7	4.1	8.8	39.5
6	RESIDENTIAL ESTATE RE(SP)	4	8.3	0.5	7.9	16.2
7	RESIDENTIAL ESTATE RE(SP)	5	6.3	0.8	1.0	7.3
8	SFD 70' WIDE RM(SP)	26	7.2	3.6	4.6	11.8
9	SFD 70' WIDE RM(SP)	7	2.7	2.6	1.1	3.8
10	RESIDENTIAL ESTATE RE(SP)	7	16.3	0.4	5.6	21.9
11	OPEN SPACE – NEIGHBORHOOD PARK OS(SP)	NA	NA	NA	10.1	10.1
12	OPEN SPACE – EMERGENCY HELISPOT / WATER STORAGE W(SP)	NA	NA	NA	18.2	18.2
13	OPEN SPACE – RECREATIONAL (POTENTIAL GOLF COURSE) OS(SP)	NA	NA	NA	217.5	217.5
14	OPEN SPACE OS(SP)	NA	NA	NA	1,150.6	1,150.6
TOTALS:		461	139.7	3.3	1,455.8	1,595.5

* RE(SP) – Residential Estate; RM(SP) – Residential Medium; RMod(SP) – Residential Moderate; OS(SP) – Open Space; W(SP) – Water Storage.

** Includes residential lots and public streets/private drives.

*** Includes graded slopes, fuel modification areas, water quality basins, infrastructure/public facility access roads, and preserved open space.



LEGEND

-  PROJECT BOUNDARY
-  STREETS/ACCESS ROADS (PUBLIC AND PRIVATE)
-  PLANNING AREA BOUNDARY
-  PLANNING AREA NUMBER

SPECIFIC PLAN LAND USE CATEGORIES

-  RESIDENTIAL ESTATE
1 ACRE LOTS MIN.
(PA 1, 6, 7 & 10)
-  SINGLE FAMILY
70' WIDE LOTS
(PA 2, 8 & 9)
-  SINGLE FAMILY
60' WIDE LOTS
(PA 3)
-  SINGLE FAMILY
55' WIDE LOTS
(PA 5)
-  SENIOR HOUSING
(PA 4)
-  OPEN SPACE -
NEIGHBORHOOD PARK
(PA 11)
-  OPEN SPACE -
EMERGENCY HELISPOT/
WATER STORAGE
(PA 12)
-  OPEN SPACE -
RECREATIONAL
POTENTIAL GOLF COURSE
(PA 13)
-  OPEN SPACE
(PA 14; PORTIONS OF OTHER
PLANNING AREAS)

Figure 4.2-1

**SPECIFIC PLAN
LAND USE PLAN**
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC



4.3 RESIDENTIAL DEVELOPMENT STANDARDS

The Specific Plan residential Development standards contained in Table 4-3 have been developed to be generally consistent with the Municipal Code and the City’s Residential Design Guidelines. In cases where a standard or guideline is not stated in the Specific Plan, the standards contained in the Municipal Code and the City’s Residential Design Guidelines at the time the Development Agreement is executed shall apply.

**TABLE 4-3
RESIDENTIAL DEVELOPMENT STANDARDS**

SPECIFIC PLAN LAND USE CATEGORY	ZONING DISTRICT	RESIDENTIAL SETBACKS					MAXIMUM STRUCTURE HEIGHT (MAIN/ACCESSORY)
		Front	Side			Rear	
			One-story House	One-story Element of Two-story House	Two-story House		
Residential Estate	RE(SP)	20 ft.	10 ft.	10 ft.	10 ft.	20 ft.	30 ft./15 ft.
Single-Family 70’ - Wide Lots	RM(SP)	20 ft.**	6 ft.*	8 ft.*	10 ft.*	20 ft.	30 ft./15 ft.
Single-Family 60’ - Wide Lots							
Single-Family 55’ - Wide Lots	RMod(SP)	20 ft.	6 ft.	8 ft.	10 ft.	20 ft.	30 ft./15 ft.
Senior Housing	RMod (Seniors) (SP)	20 ft.**	10 ft.	8 ft.	20 ft.***	20 ft.	35 ft./15 ft.

* The minimum street side Setback on reverse corner lots shall be 20 feet in the RE Zone, and 10 feet in the RM and RMod Zones.

** In the RM and RMod (Single Family) Zones, subject to approval of a Planned Development (PD) Permit for 5 or more units, up to fifty percent (50%) of the units on a block may have the living area portion of the house set back no closer than 15 feet from the front property line, provided the garage on not more than twenty-five (25) percent of the units on the block are “side facing,” with a Setback no closer than fifteen (15) feet from the front property line, and there is a minimum driveway length of at least 20 feet. Up to twenty-five percent (25%) of the units on the block may have covered porches that extend up to 10 feet into the required front Setback, provided the covered porch extends no closer than 10 feet to the front property line.

*** The minimum distance between structures on the same lot shall be six (6) feet, except that ten (10) feet shall be provided between one-story principal structures. A minimum distance of 20 feet shall be provided between two-story principal structures on the same lot. A balcony of a two-story principal structure may project a maximum of two (2) feet within this separation distance.

4.4 AFFORDABLE HOUSING

Affordable housing in the Specific Plan Area is located within Planning Area 4.

The City has specified that thirty percent (30%) of the total Specific Plan Area residential units constructed are senior housing. If all 461 units permitted by this Specific Plan are constructed, this results in 138 units. The Specific Plan also contains provision for an Affordable Housing Agreement for 62 of the senior homes. Planning Area 4, (Senior Housing) permits a density of ten units per acre if the units are intended for senior and/or are within the affordable price range per the Affordable Housing Agreement. Senior housing units may be developed as attached, clustered dwellings.

4.5 LANDSCAPE CONCEPT PLAN

The preservation of Runkle Canyon's natural beauty is a major component of the overall landscape concept for the Development. Open space areas comprise the largest percentage of the community and provide an open space backdrop to the Specific Plan Area. The protection of these areas helps to preserve the site's natural character and blend the Development areas with the natural and/or existing landscape. Open space that is disturbed by grading shall be revegetated, in order to "blend" the two together, to reduce long-term supplemental water and maintenance needs.

The planting concepts within residential neighborhoods allow for a sense of individuality for each neighborhood by complementing the architectural theming, while still creating an overall Project unity within an overall backdrop of preserved open spaces.

The overall landscape concept, through the creation of the various landscape areas, provides a cohesive aesthetic to the various residential product types and densities within the Development area. The landscape palette for the single-family residential neighborhood (Appendix D) is a mix of drought-tolerant plants with groundcover and/or turf parkways and street trees helping to define the various neighborhoods. This landscape treatment is consistent with existing neighborhoods to the north and helps integrate the Specific Plan Area with existing neighborhoods. The single-family estates are a combination of natural, semi-natural, and ornamental plant species due in part to their proximity to the surrounding open space.

The individual landscape area concepts are described below. Please see Figure 4.5-1, Master Landscape Concept Plan, for a description of the various landscape areas comprising the Specific Plan Area. The City's Landscape Design Guidelines, in existence at the time the Development Agreement was executed, were followed in the formulation of the Project's Implementation Guidelines, Appendix D.

Homeowner's Association (HOA) and homeowner maintained manufactured slopes of 5 feet and higher shall be temporarily hydroseeded by the Applicant to reduce soil erosion until permanent landscape is installed. The Builder of each residential Planning Area is responsible for the design and installation of permanent landscape and irrigation on these slopes. These plans will be reviewed and approved by City staff.

All landscape design plans shall incorporate and adhere to the required driver's line of sight safety areas per City standards at all intersections and driveways. These areas are referred to as "driver's sight safety visibility areas" or "restricted areas" within which plants, berms, walls, fences, monuments, water backflow devices, and other structures are either prohibited or are to be restricted in height.

4.5.1 Landscape Areas

The landscape areas are as follows:

1. Re-established Natural Landscape;
2. Recreational Open Space;
3. Residential Estate;
4. Residential Single-Family;
5. Residential Senior Housing;
6. Community Entry;
7. Fuel Modification; and
8. Potential Golf Course.

The intent of the landscape areas for the Runkle Canyon Specific Plan Area, shown on Figure 4.5-1, Master Landscape Concept Plan, is described below:

1. Re-established Natural Landscape

The open space areas serve as an open space backdrop to the Development are of primary importance to the Project. The revegetation of this landscape area helps to preserve the site's natural beauty and blend the Development into the natural landscape of the surrounding hillsides. Open space areas that are disturbed by grading activity shall be revegetated with primarily drought-tolerant plant material. The design of this area preserves the site's natural character and transitions the Development with adjacent vegetation and landforms. Candidate trees for relocations should be used in this landscape area to assist in the natural blending of graded and unimproved areas.

2. Recreational Open Space

The Neighborhood Park provides residents and adjacent neighborhoods with passive recreation opportunities. This landscape area of the Project contains turf grasses to provide adequate open play and picnic areas. Vertical and canopy trees, both natural and non-invasive ornamental, are located to provide maximum levels of shade with accent trees at gathering areas for focal points. The edges and slope areas of the Neighborhood Park transition with adjacent uses to strengthen residential or natural character. These transition areas should contain primarily drought-tolerant species to increase the natural character and reduce supplemental water and maintenance requirements.

3. Residential Estate

This landscape area differs from other residential single-family area with their larger lot size and their proximity to natural areas. The street tree program may use drought-tolerant species in an informal pattern or the extension of the street program of adjacent existing neighborhoods along the Project's northern boundary. This emphasizes the desired integration of the new estate lots with their existing neighbors. The plant palette for yards that abut open space consist of a much larger percentage of drought-tolerant plants, which seeks to blend the estate lots with the adjacent open space, preserving the natural beauty of Runkle Canyon.

New streets and parkways that extend adjacent streets should use the same street tree program as the existing street.

4. Residential Single-Family

This landscape area consists primarily of conventional single-family residential lots (and the adjacent manufactured slopes and fuel modification zones). A comprehensive street tree program unifies the various neighborhoods creating a strong sense of identity. This area will be landscaped per City guidelines. A blending of transitional areas knits the residential areas together with the surrounding natural landscape.

New streets and parkways that extend adjacent streets (i.e., Watson Avenue, Comet Avenue, Hazelnut Court, High Point Place, and Cobble Hill Court) should use the same street tree program as the existing street.

5. Residential Senior Housing

This landscape area located internally to the Project Development will integrate with adjacent residential neighborhoods.

6. Community Entry

These landscape areas are located at the primary and secondary access points to the overall Runkle Canyon community at Sequoia and Talbert Avenues, respectively. These areas announce the arrival into the community. However, to strengthen the concept of neighborhood integration and completion, the plant materials used in these areas should be relatively consistent with adjacent existing neighborhoods' vegetation. Candidate trees for relocations should be used in this landscape area to announce arrival into this community, which is defined by its relationship to open space.

7. Fuel Modification Zone

A 100-foot fuel modification zone, measured from the edge of the residential structure, shall be established adjacent to residential areas in accordance with VCFPD guidelines. The plant palette for this zone combines non-combustible natural and drought-tolerant species.

8. Potential Golf Course

A landscape plan must be approved prior to the implementation of any potential golf course designed for this Specific Plan.

4.5.2 Emergency Helispot and Water Storage Area Landscape

The emergency helispot and water storage areas are located in the northeast corner of the Project Area in accordance with VCFPD guidelines. The location and grading techniques for this area minimizes views of the future water tank from the Simi Valley floor. The landscape treatments for this area strengthen the screening provided by landforms. A combination of earth berming and landscaping should provide additional screening with a natural appearance consistent with the existing character of the site. Refer to Figure 4.5-2, Water Tank Landscape Treatment, for a conceptual design of this area.

4.5.3 Residential Wall and Fence Concept

Walls and fencing are prominent visual elements of a portion of the community. Special attention to a comprehensive, yet simple program is necessary to achieve a community character that complements the open spaces and existing neighborhoods. Given the view potentials from many of the lots, a large number of the residential lots should utilize relatively open view fencing. Solid walls are utilized along lot lines without view potential, at corner lots and for screening where necessary. A 5-foot chain link fence or view fence is allowed adjacent to the VCWPD maintenance access road. Refer to Figure 4.5-3 for the Conceptual Perimeter Wall and Fence Plan, and to Appendix D, Section 2.7 (Walls and Fences).

All wall and fencing design plans shall incorporate and adhere to the required driver's line of sight safety areas per City standards at all intersections and driveways. These areas are referred to as "driver's sight safety visibility areas" or "restricted areas" within which plants, berms, walls, fences, monuments, water backflow devices, and other structures are either prohibited or are to be restricted in height.

4.6 CONSERVATION AND PRESERVATION

4.6.1 Open Space Conservation

1. Open Space

Of the total 1,595.5 acres within the Specific Plan Area, 1,150.6 acres are preserved open space. Included within the preserved open space area is Dry Lake, a large mesa on the crest of the Simi Hills in the southern portion of the site that has been designated for preservation in the City General Plan. The Dry Lake area provides spectacular 180-degree views of the surrounding canyons, hills, and flora and fauna located on the property, as well as those on surrounding properties. It contains an approximate 0.8-acre Vernal Pool to be retained in its natural state.

In addition to the Vernal Pool located in the Dry Lake area, five drainage features, primarily located within the open space area, have been delineated as being within USACE jurisdiction and CDFG jurisdiction. These jurisdictional areas include 5.4 acres of USACE jurisdictional area and 44.1 acres of CDFG jurisdictional area, primarily located within those areas of Runkle Canyon that are designated as Open Space, and remain undisturbed. This area also includes the Runkle Canyon Dam and Reservoir. This Specific Plan includes a Trail System Master Plan (Figure 5.3-1, Conceptual Trail System Master Plan) that provides access to the open space for the enjoyment of the existing and future residents of Simi Valley.

2. Open Space/Potential Golf Course

Of the 1,595.5 acres within the Specific Plan Area, conceptually 217.5 acres, or fourteen percent (14%), is designated Open Space/Potential Golf Course area. Within this Open Space/Potential Golf Course area, conceptually 168 acres would be improved for a potential Golf Course and related activities, while the remaining area would be retained and/or revegetated.

4.6.2 Tree Preservation

Article 15 of the City Municipal Code requires that all Mature Trees within a Development area be identified, and a plan prepared for the preservation, replacement, or relocation of Mature Trees. A Horticultural Tree Report has been prepared for the Tentative Map of the Runkle Canyon Specific Plan Area, which inventories the Mature Trees and identifies the best candidates for relocation based on several factors including health, size, slope, and adjacent boulders or vegetation within the Development area, the potential Golf Course area and the open space areas.

Of the estimated 1,420 Mature Trees inventoried within the Specific Plan Area, approximately 200 trees are directly impacted by the grading and construction of the Project and designated for removal. Figure 4.6-1, Existing Tree Relocation/Preservation Plan, shows the location of trees within 100 feet of Development within the Specific Plan Area, and indicates which are retained, relocated, or removed from the property. These trees are relocated when feasible, or replaced elsewhere within Runkle Canyon pursuant to City guidelines, in effect at time of Development Agreement, as described in Article 15 of the Municipal Code and the City's Landscape Guidelines. Refer to Section 7.5.9 of this Specific Plan for the Tree Maintenance / Monitoring Program requirements for criteria applying to relocated trees.

4.6.3 Energy Conservation

The Specific Plan Area is located within the inland foothills of southeastern Ventura County. Summer temperatures often reach 90 degrees, and overnight winter temperatures can reach freezing. The need for energy conservation is important in an area with such a diverse seasonal climate. The Specific Plan Area will comply with Title 24 requirements. Residential and other Development within the Specific Plan Area will incorporate energy saving features and resource conserving fixtures. All new Development will incorporate insulated water heaters, efficient insulation in walls and ceilings, dual range thermostats, pilotless gas appliances, newer more energy-efficient water and space heaters, and low electrical-usage appliances. Furthermore, trees have been included adjacent to paved areas to provide shade and help mitigate the effects of solar heat absorption. Deciduous trees should be planted adjacent to homes to provide shade from summer sun and allow infiltration of winter sun.

In addition to the foregoing construction-related measures, the Specific Plan encourages the use of alternative modes of transportation for local circulation. These include bikeways along the entry streets into the Specific Plan Area and connections to the existing pedestrian paths, sidewalks, and multi-purpose paths and trails.

4.6.4 Water Conservation

A number of water-conserving measures are incorporated into the Project, including the use of low-flow showerheads, low-flush toilets, and use of drought-tolerant plant species.

The water purveyors serving the Project do not provide or anticipate providing facilities for reclaimed water use in landscaped areas. Therefore, this Specific Plan does not incorporate provisions for the installation of dual piping for use of reclaimed water. The revegetation of landscape areas adjacent to open space utilizes a drought-tolerant plant palette. This landscape design feature supports water conservation measures through the reduced need for supplemental irrigation water.

4.7 MASTER GRADING PLAN

A Preliminary Master Grading Plan has been completed as part of the Specific Plan (Refer to Figure 4.7-1, Conceptual Master Grading Plan). The Preliminary Master Grading Plan is consistent with the Hillside Performance Standard (HPS) and is for illustrative purposes. Areas of twenty percent (20%) or greater slopes have been avoided except as permitted to stabilize hazardous soils and geologic conditions, provide street and driveway access and other public works improvements, and provide for recreational land uses. HPS permitted encroachments are shown for illustrative purposes in Figure 4.7-2, Geologic Slope Encroachment; Figure 4.7-3, Public Works Encroachment; and Figure 4.7-4, Recreational Encroachment.

Geologic Slope Encroachments include grading associated with existing landslide areas, highly-fractured zones of altered bedrock, and unstable areas created from the property's previous aggregate extraction and mining activities (access roads, haul roads, mine tailing disposal areas).

Public Works Encroachments include grading associated with streets, access roads, drainage improvements, water facilities, and helispot improvements.

Recreational Encroachments include grading associated with the Neighborhood Park, HOA park, and Senior Housing Recreation Facilities.

The Master Grading Plan is designed to minimize the aesthetic impacts of graded slope areas adjacent to roads and highly visible locations. The 3:1 ratio slopes should minimize the use of concrete bench drains and down-drains. These graded areas will be revegetated to resemble a natural condition, through the selective use of drought-tolerant and native plant species. At isolated locations, Conventional Slope Treatment are utilized incorporating 2:1 ratio slopes and concrete bench drains, as illustrated in Figure 4.7-1, Conceptual Master Grading Plan.

Preliminary rough grading should result in an on-site balanced grading quantity of approximately 2,945,000 cubic yards. The grading estimated for a potential Golf Course is separate from the Development area. The on-site balanced grading precludes the necessity of transferring fill to off-site locations. The existing streets and neighborhoods adjacent to the Specific Plan Area should not be impacted by truck traffic associated with the transport of soils associated with mass grading activities. Final grading plans are completed in conjunction with the processing of Final Maps. Final grading plans shall generally comply with the Master Grading Plan. All grading (improvements) shall comply with the standards and requirements of the City Grading Ordinance as well as the HPS.

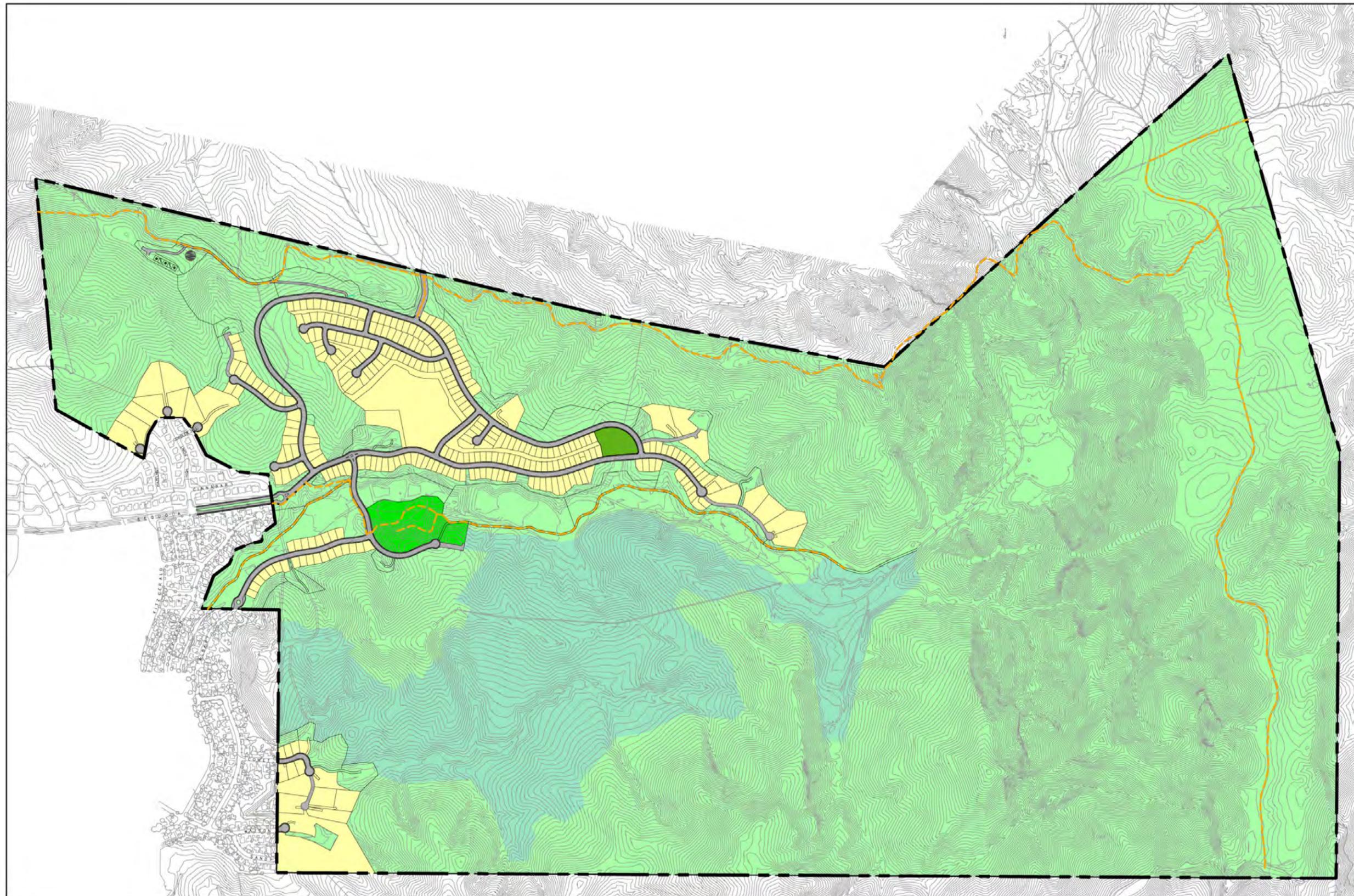


Figure 4.2-2

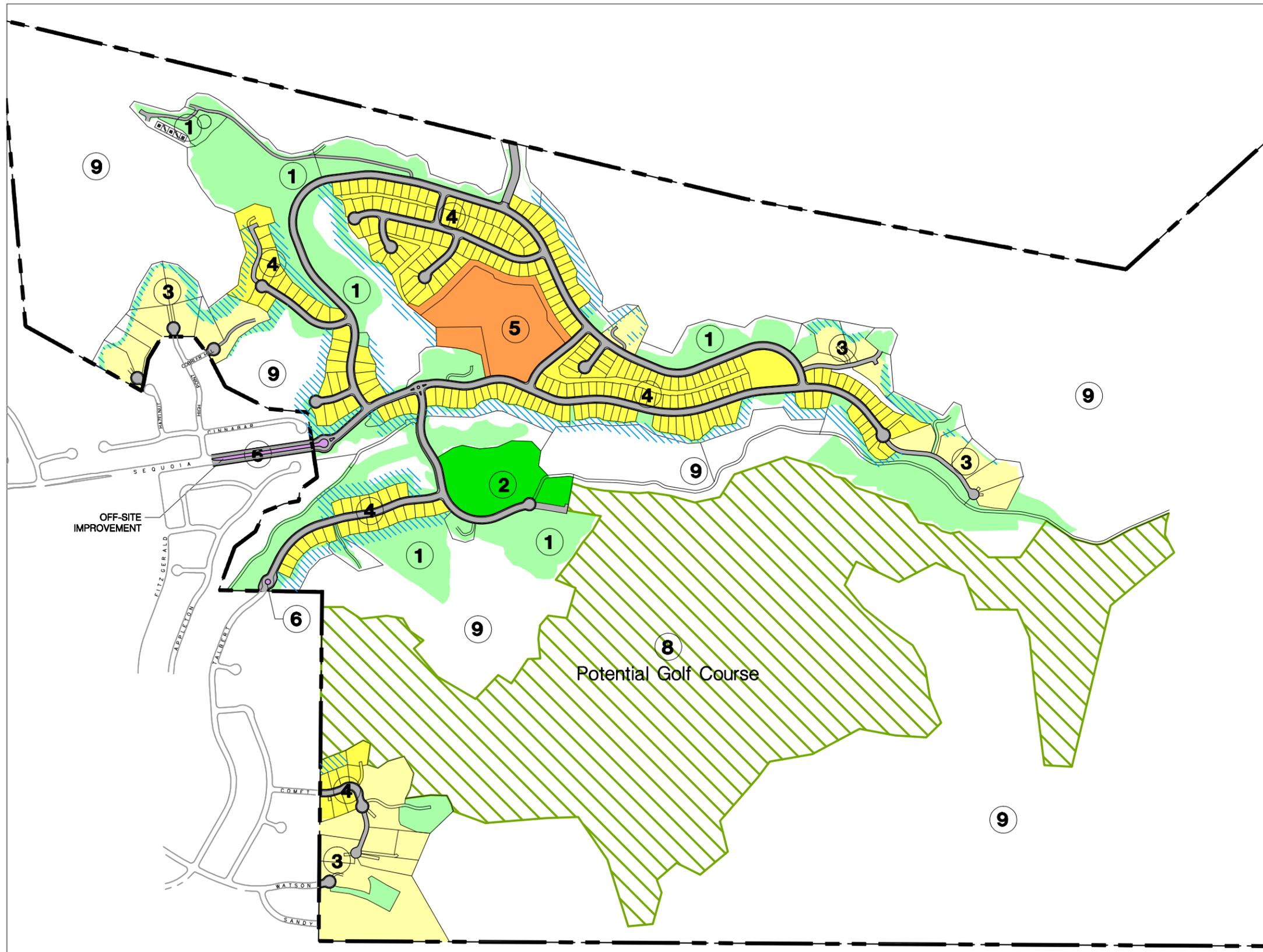
OPEN SPACE & RECREATION PLAN

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC





LEGEND

--- PROJECT BOUNDARY

— STREETS

LANDSCAPE AREAS

① RE-ESTABLISHED NATURAL LANDSCAPE (GRADED AREAS)

② RECREATIONAL OPEN SPACE

③ RESIDENTIAL ESTATE

④ RESIDENTIAL SINGLE-FAMILY

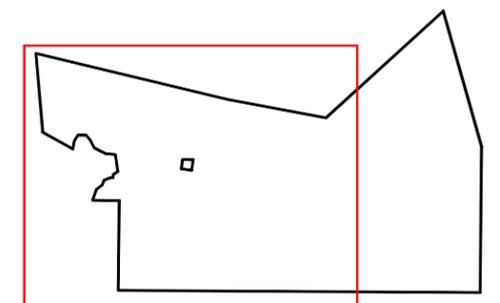
⑤ RESIDENTIAL SENIOR

⑥ COMMUNITY ENTRY

⑦ FUEL MODIFICATION

⑧ POTENTIAL GOLF COURSE

⑨ EXISTING/UNIMPROVED AREAS



ENLARGED AREA

Figure 4.5-1

MASTER LANDSCAPE CONCEPT PLAN

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

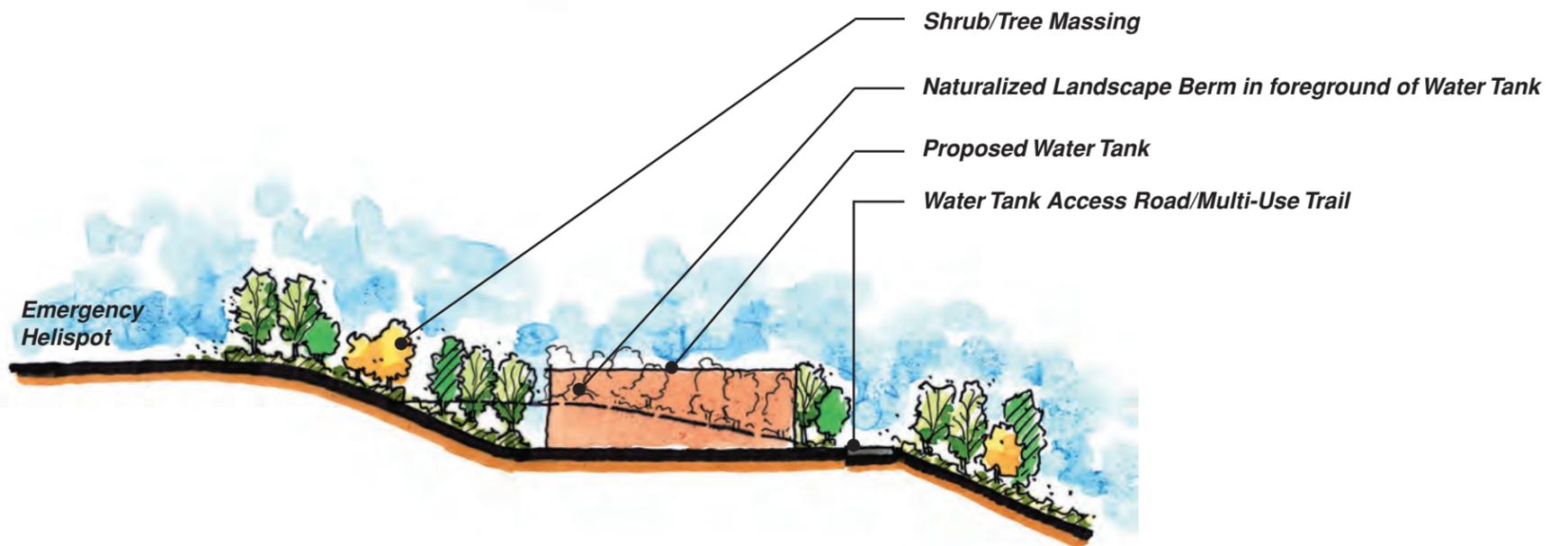
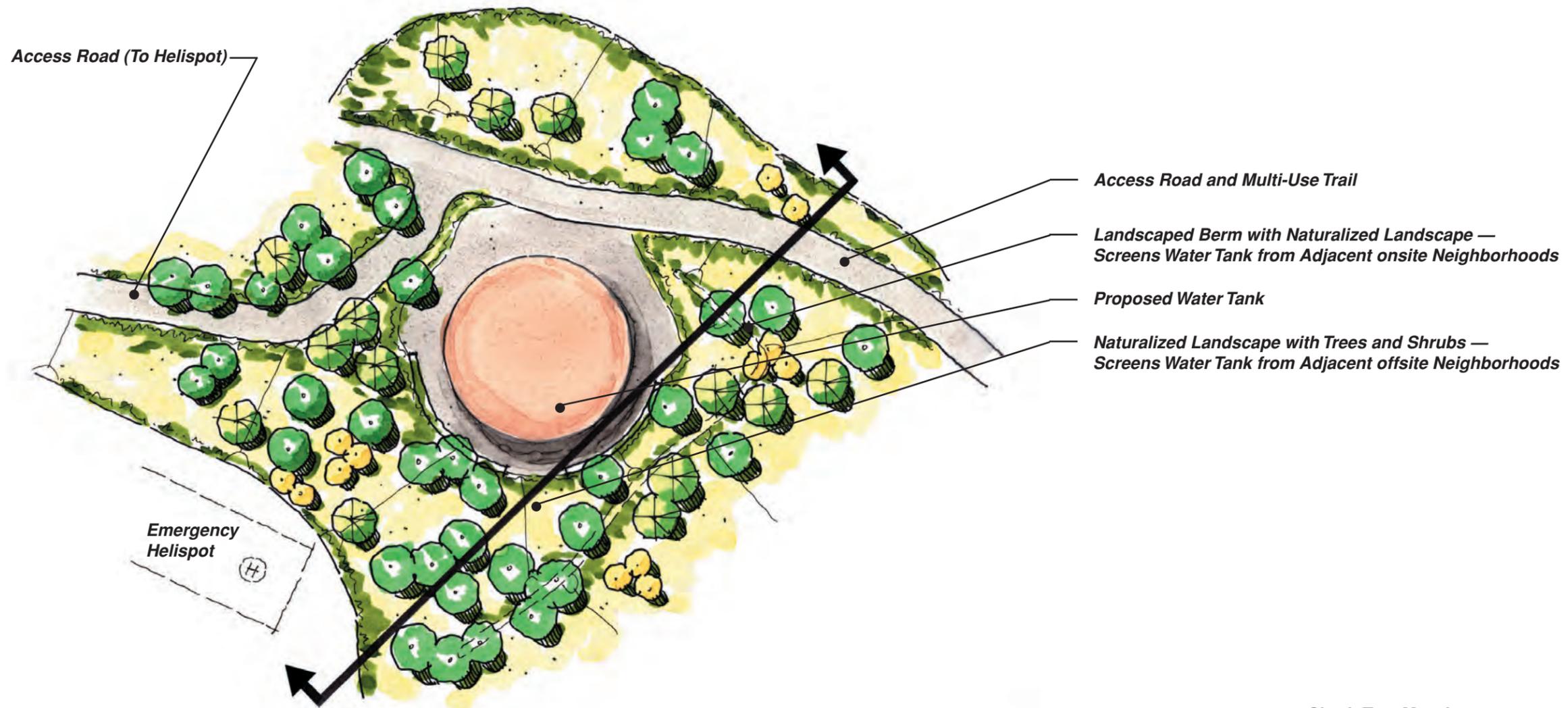
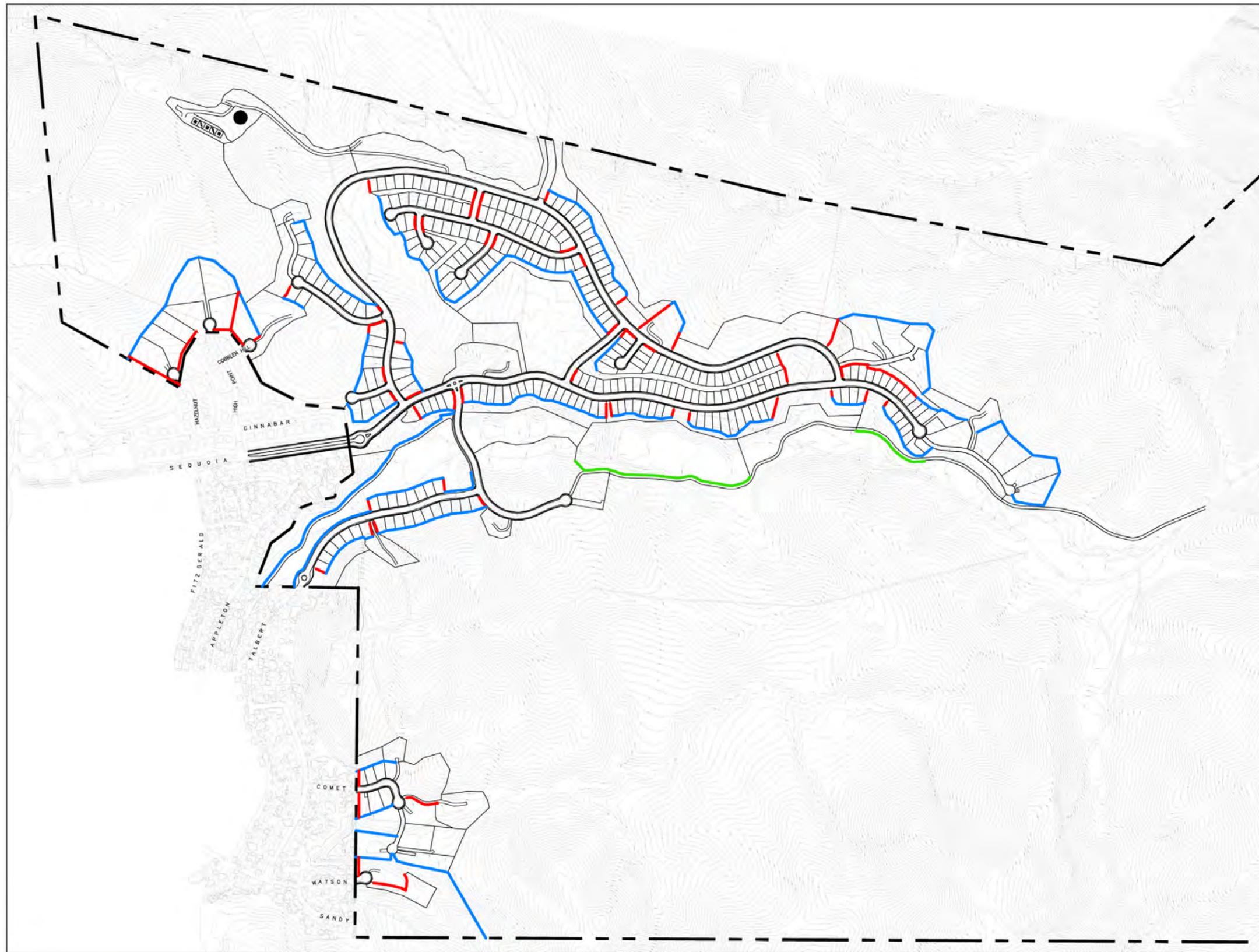


Figure 4.5-2

**WATER TANK
LANDSCAPE TREATMENT**



LEGEND

-  **VIEW FENCING**
(Refer to Implementation Guidelines, Appendix D)
-  **WALL**
(Refer to Implementation Guidelines, Appendix D)
-  **VCWPD ACCESS ROAD FENCING**

- Notes:
1. Refer to Implementation Guidelines for Additional Fencing and Entry Monumentation Guidelines.
 2. Final locations and materials shall be subject to the approval of Planned Development Permits.
 3. All walls and fencing shall not interfere with or obstruct the required driver's sight safety visibility areas at any street intersection or driveway.

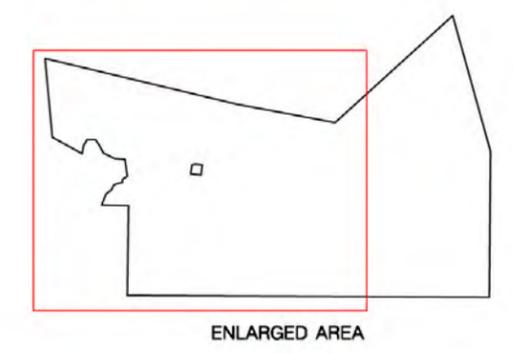
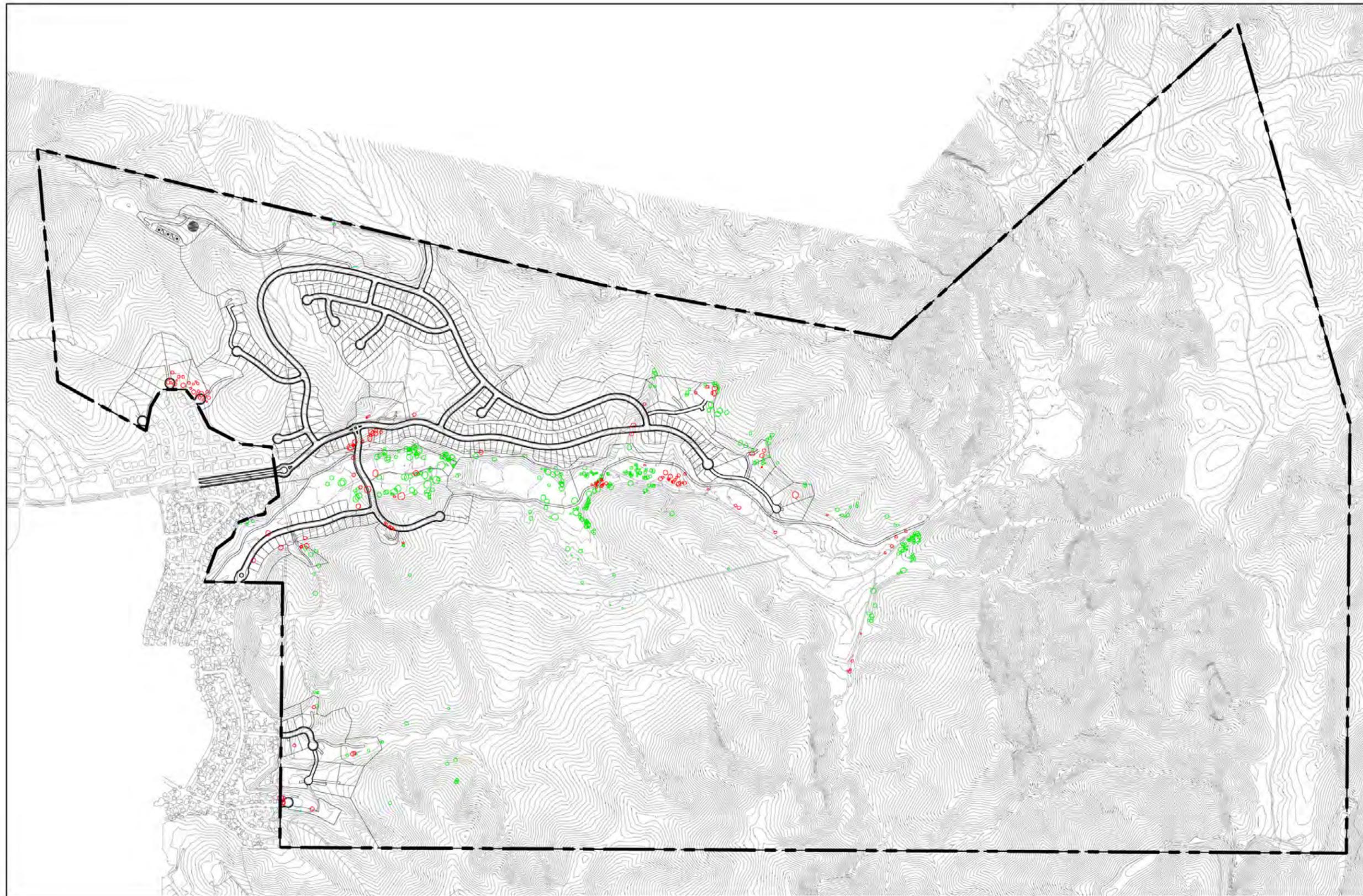


Figure 4.5-3
CONCEPTUAL PERIMETER WALL AND FENCE PLAN
 Runkle Canyon Specific Plan



LEGEND

EXISTING TREES WITHIN
100' OF DEVELOPMENT

-  TREES TO BE PRESERVED
-  TREES TO BE REMOVED,
RELOCATED OR REPLACED

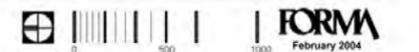
Figure 4.6-1

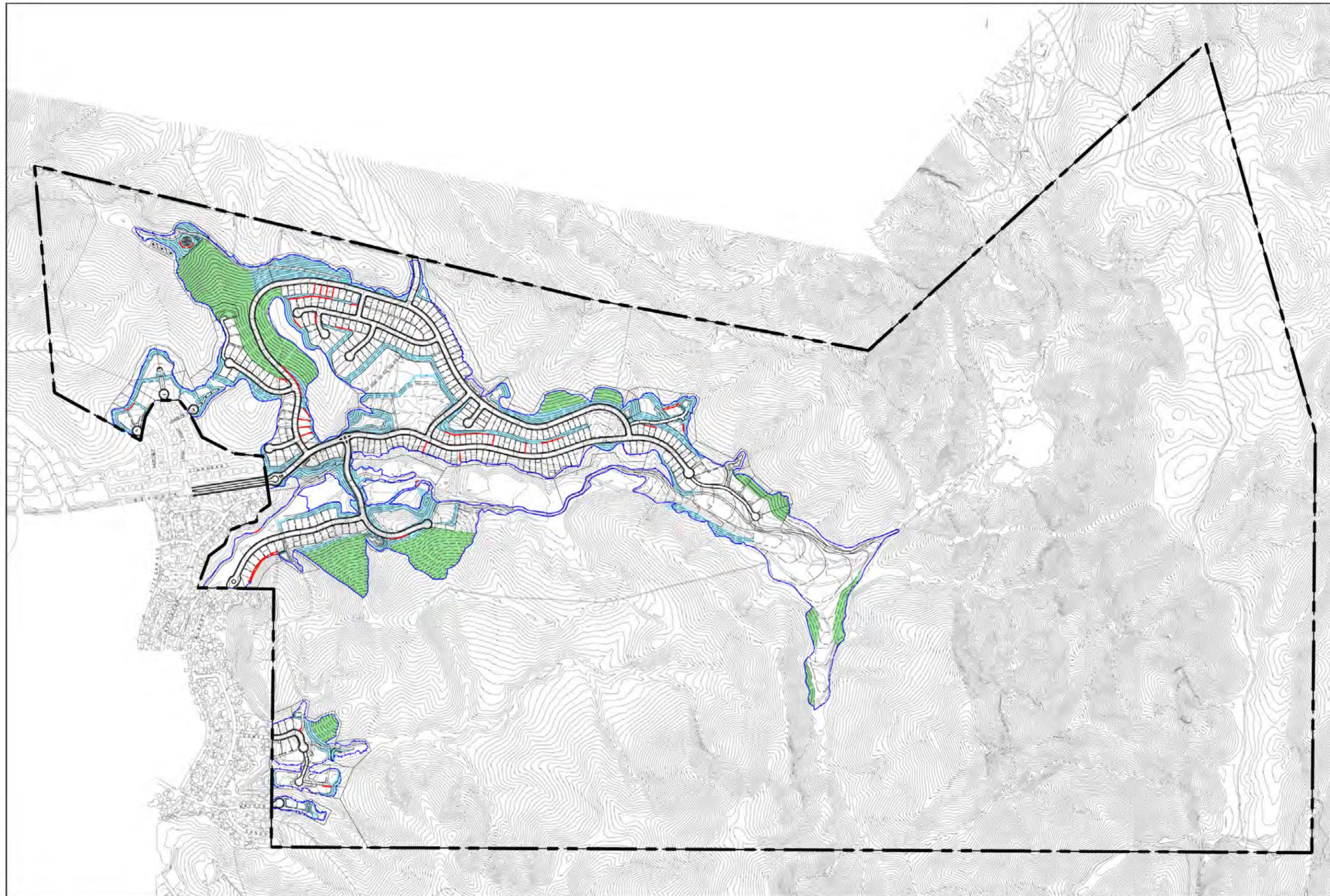
**EXISTING
TREE PRESERVATION/
REMOVAL PLAN**

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC





LEGEND

--- PROJECT BOUNDARY

SLOPE GRADING

CONTOURED SLOPES
INCORPORATING 3:1 SLOPES

CONVENTIONAL
SLOPE TREATMENT

LIMIT OF GRADING

RETAINING WALL

Note: Intrusions into 20% for steeper slopes are shown for illustrative purposes. The Tentative Tract and related Geotechnical documents will govern final development of the project.

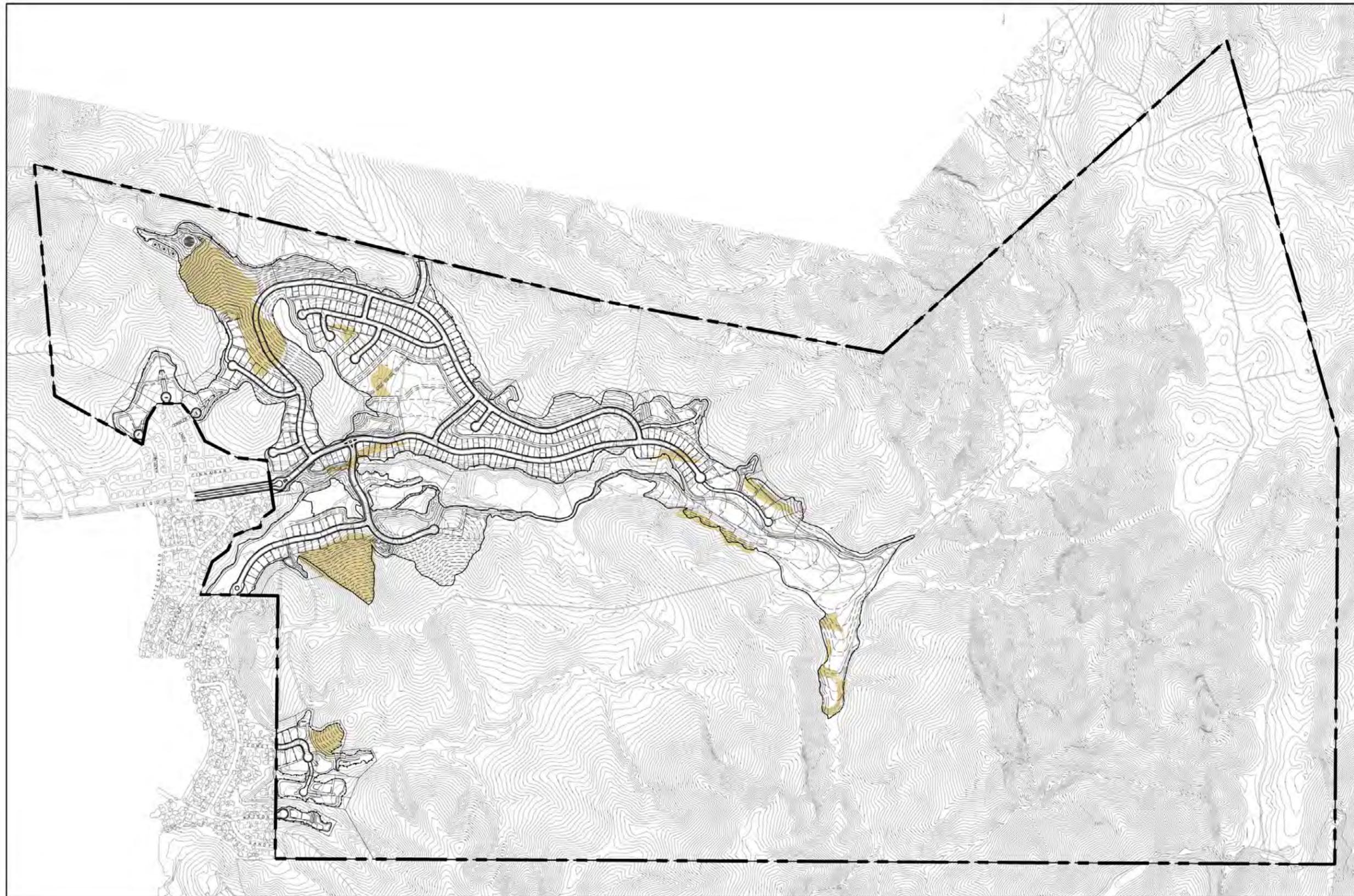
Figure 4.7-1

**CONCEPTUAL
MASTER GRADING PLAN**
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC





LEGEND

 PERMITTED GRADING FOR THE STABILIZATION OF HAZARDOUS GEOLOGIC AND SOIL CONDITIONS
 [Per SVMC Section 9-1.161(a)(7)]

Note: Intrusions into 20% for steeper slopes are shown for illustrative purposes. The final review of these intrusions will occur with the Tentative Map and related Geotechnical documents for the project, and shall be consistent with the City's Hillside Performance Standards.

Figure 4.7-2

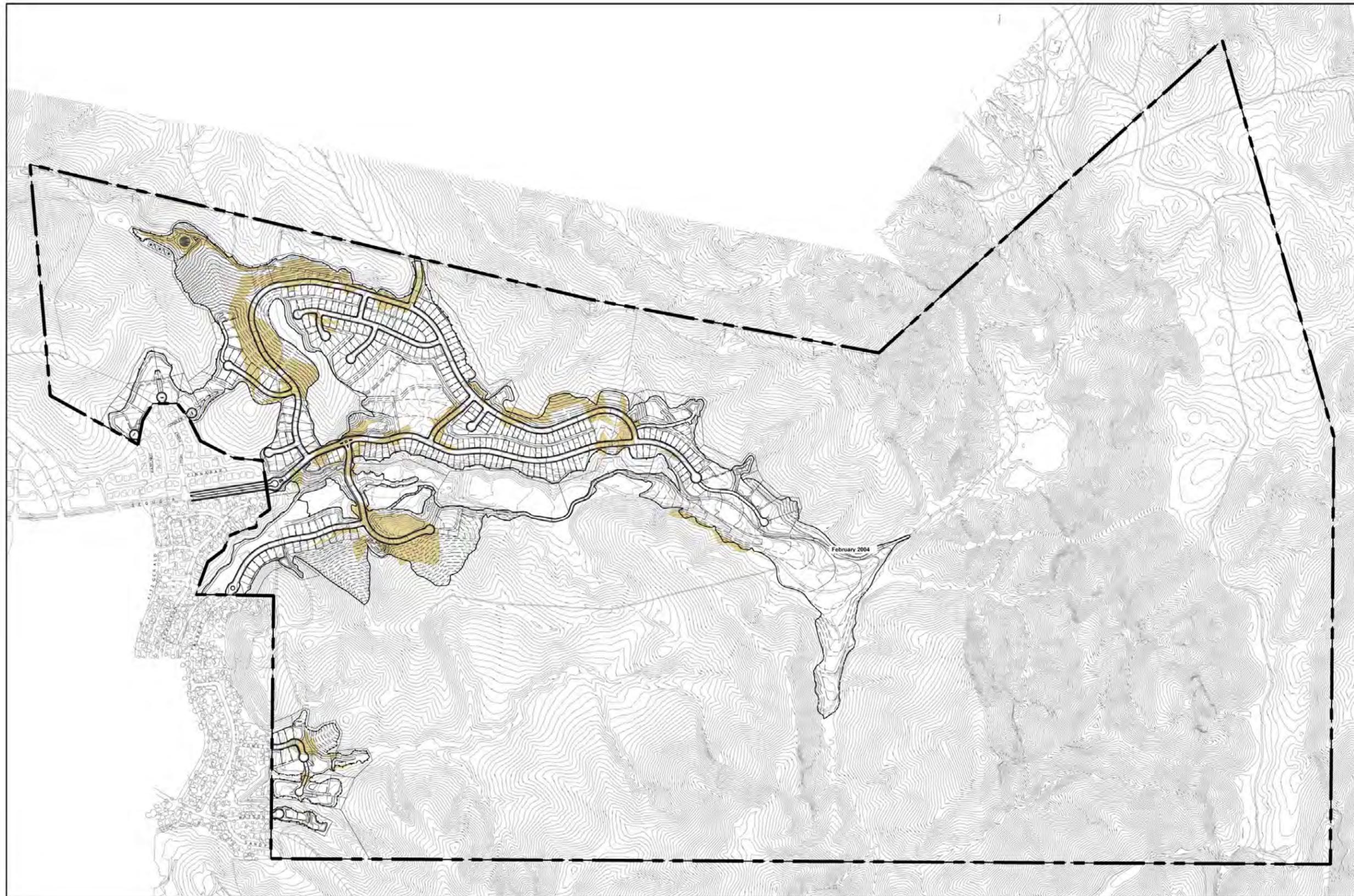
GEOLOGIC SLOPE ENCROACHMENT

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC





LEGEND

 PERMITTED GRADING FOR PUBLIC WORKS IMPROVEMENTS AND ACCESS ROADS
(Per SVMC Section 9-1.1604)

Note: Intrusions into 20% for steeper slopes are shown for illustrative purposes. The final review of these intrusions will occur with the Tentative Map and related Geotechnical documents for the project, and shall be consistent with the City's Hillside Performance Standards.

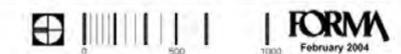
Figure 4.7-3

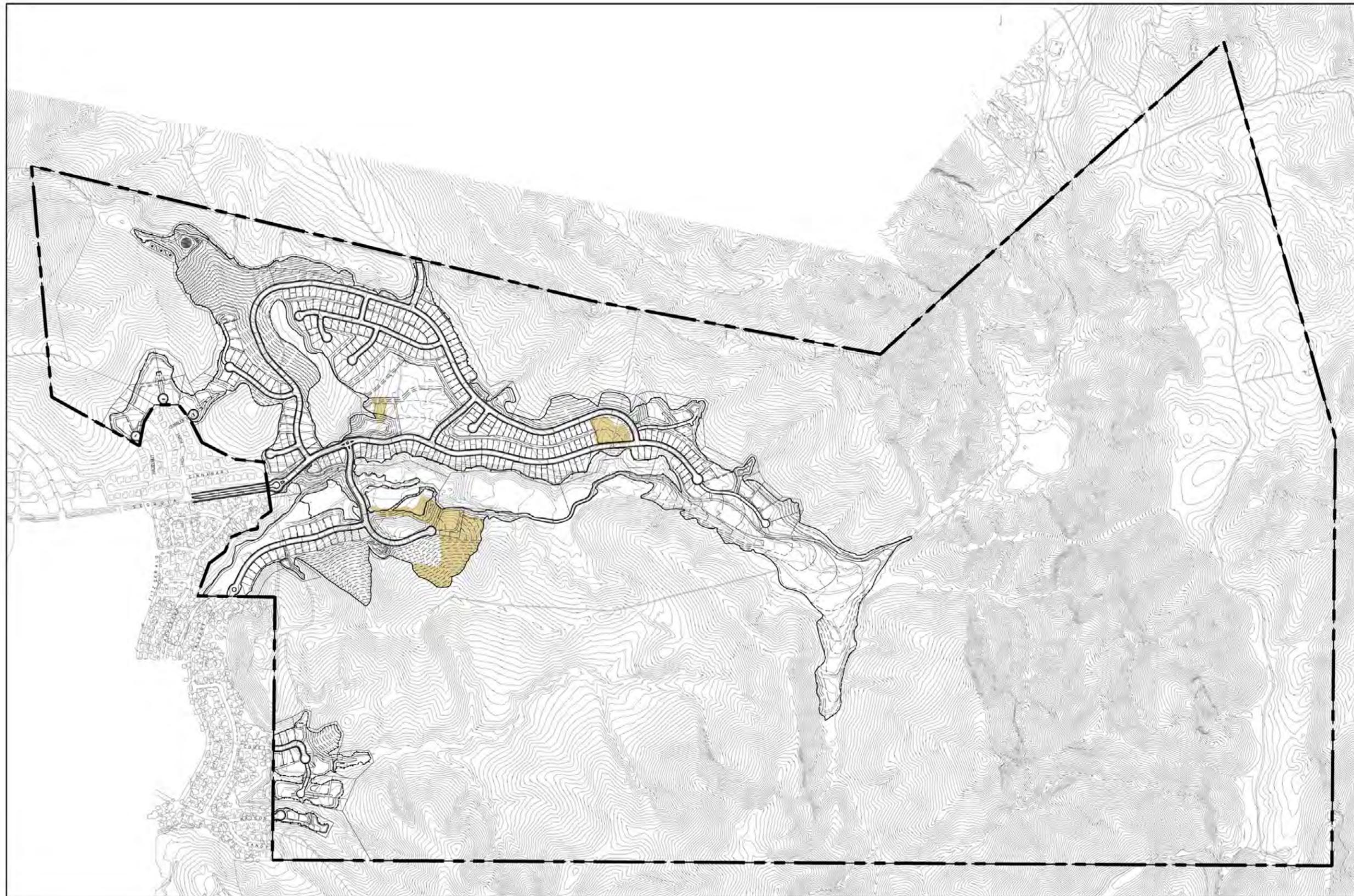
PUBLIC WORKS ENCROACHMENT

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC





LEGEND

 PERMITTED GRADING FOR RECREATION USES (Per SVMC Section 9-1.1604)

Note: Intrusions into 20% for steeper slopes are shown for illustrative purposes. The final review of these intrusions will occur with the Tentative Map and related Geotechnical documents for the project, and shall be consistent with the City's Hillside Performance Standards.

Figure 4.7-4

RECREATION ENCROACHMENT
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

5.1 OFF-SITE CIRCULATION AND ACCESS

Figure 5.1-1, Area Circulation, details the regional circulation network serving the Specific Plan Area. Regional access to the Specific Plan Area is provided via State Highway 118 (Ronald Reagan Freeway), located approximately 2¼ miles to the north, and the Metrolink (rail transit) System. A station is situated approximately 2½ miles to the northeast. Local access is provided via Sequoia Avenue and Talbert Avenue located directly to the north of the Specific Plan Area.

The primary access to the Specific Plan Area is provided via Sequoia Avenue. Sequoia Avenue provides north-south access through the City and is located between Tapo Canyon Road and Sycamore Drive, which provide State Highway 118 access points. The majority of Specific Plan Area residents access the community via the extension of Sequoia Avenue through the property, consistent with the General Plan. The Specific Plan provides for the off-site improvement to modify Sequoia Avenue from the northern property line north to the intersection with High Point Place. Refer to Section 5.2 for further discussion.

Access to the estate lot neighborhoods is provided via Hazelnut Court, High Point Place, Cobbler Hill Court, Comet Avenue, and Watson Avenue.

The present configuration of the Talbert Avenue terminus anticipates its future southerly extension. Talbert Avenue is extended into the Specific Plan Area to provide pedestrian and a second vehicle access between the existing northerly residential neighborhood and the Runkle Canyon community.

5.2 INTERNAL CIRCULATION

The circulation system for the Specific Plan Area provides multi-modal access serving vehicles, bicycles, pedestrians, and equestrians. The components of the Circulation Plan are designed to provide safe and efficient access to the residential neighborhoods, open space, and recreational amenities within the open space. The Circulation Plan shows the location of arterial, collector, and local streets, on-street bikeways and sidewalks, and connections to existing multi-purpose paths and trails.

The primary access to the Specific Plan Area is provided via Sequoia Avenue. This roadway should be improved off-site from the property line to High Point Place and designed with a landscaped median and roundabout to better calm traffic. Sequoia Avenue within the Specific Plan Area narrows to a residential collector with residential driveways taking direct access to it.

Access to the estate lot homes and a small number of single-family homes is provided through the extensions of truncated streets along the northern portion of the Specific Plan Area. These extensions consist of: the extension of Watson Avenue, which serves one estate home; an extension of Comet Avenue, which serves six estate homes and seven single-family homes; an extension of Cobbler Hill Court, which serves two single-family homes; the extension of High Point Place, which serves four estate homes; and a private drive at the extension of Hazelnut Court, which serves three more estate homes.

Extensions of existing truncated streets that exceed 800 feet prior to extension must terminate in a cul-de-sac bulb designed and constructed to accommodate emergency vehicle turnaround as required by VCFPD and City standards. They shall not extend the truncated street more than the length of the cul-de-sac bulb.

When extensions of existing truncated streets less than 800 feet in length result in an overall street length that exceeds 800 feet, those streets must also terminate in a cul-de-sac bulb designed and be constructed to accommodate emergency vehicle turnaround as required by VCFPD and City standards. The length of any extension of those streets beyond 800 feet shall be no greater than the length of the cul-de-sac bulb. No further extensions of those streets shall be allowed.

A second Project access is provided via an extension from the previous terminus of Talbert Avenue. This access is designed with a landscaped roundabout and enhanced parkway at the Specific Plan boundary to calm traffic and mitigate vehicular impacts to existing homes.

The streets have been identified by letter designations within this Specific Plan. Sequoia Avenue remains the same name as it extends into the Specific Plan Area. A list of names for the other streets and private drives will be submitted to the City for approval at a subsequent date.

Future access to the adjacent Brandeis-Bardin property is provided in the northeast portion of the Specific Plan Area, consistent with the General Plan.

All street and roadway design plans shall incorporate and adhere to the required driver's line of sight safety areas per City standards at all intersections and driveways. These areas are referred to as "driver's sight safety visibility areas" or "restricted areas" within which plants, berms, walls, fences, monuments, water backflow devices, and other structures are either prohibited or are to be restricted in height.

5.2.1 Roadways

Several classifications of roadways provide service to the community. The various types of roadways classifications are illustrated in Figure 5.2-1, Street Classifications, and their representative cross sections shown in Figure 5.2-3, Street Sections. The following provides a discussion of the on-site roadways designated within the Specific Plan.

1. Residential Collector Streets

a. Off-Site Collector Streets (Sequoia Avenue)

As an off-site improvement, Sequoia Avenue is improved to add a 24-foot landscaped center median from High Point Place to the Project's northern boundary. The improvements to Sequoia Avenue will be undertaken in conjunction with the installation of a new 12-inch water main within the street. The 84-foot-wide right-of-way consists of two 20-foot travel lanes (one in each direction) and two 10-foot parkways (including 4-foot-wide existing sidewalks) on each side of the street. The existing 2-5 foot enriched parkway on each side of the street shall remain in place. The existing 64-foot roadway area will be reduced to 40 feet in width to accommodate a new 24-foot raised, landscaped center median for the purpose of extending the character of the existing median in Sequoia Avenue and reducing vehicular traffic speeds. The raised landscaped center median extends from the Specific Plan boundary north to the intersection with High Point Place. Refer to Figure 5.2-2, Sequoia Avenue Improvements.

b. Residential Collector Street with Enriched Parkway (Sequoia Avenue Project Entry)

The extension of Sequoia Avenue consists of a 66-foot right-of-way, with 40 feet of paved road travel surface, 6-foot wide parkways, and 4-foot-wide sidewalk within a 10-foot easement on one side of the street. Additionally, the extension of Sequoia Avenue, from the northern boundary to its intersection with "C" Street contains an enriched parkway. The enriched parkway provides four feet of landscaping in addition to the standard parkway width and building setback. Refer to Figure 5.2-1, Street Classifications for the street designated as Residential Collector Streets with Enriched Parkway.

c. Residential Collector Streets

The Residential Collector Streets consist of a 60-foot right-of-way, with 40 feet of paved travel surface, 6-foot-wide parkways, and 4-foot-wide sidewalks within a 10-foot easement on each side of the street. Refer to Figure 5.2-1, street classifications for those streets designated as Residential Collector Streets. The sidewalk, along a portion of the northerly side of "C" Street, will be expanded from 4' to 10', to allow for off-street bicycle circulation. Refer to Figure 5.3-1, Conceptual Trail System Master Plan.

2. Residential Minor Streets

The Residential Minor Streets consist of a 56-foot right-of-way, with 36 feet of paved road surface, 6-foot wide parkways and 4-foot wide sidewalks on each side of the street, to be consistent with existing City standards. Refer to Figure 5.2-1, Street Classifications for those streets designated as Residential Minor Streets. The extensions of High Point Place, Hazelnut Court, and Cobbler Hill Court maintain the existing streets' 52-foot right-of-way, which connects the new cul-de-sac seamlessly with the existing streets stub-outs.

3. HOA Private Driveways

The HOA Private Driveways are constructed to provide access for the estate lots within Planning Areas 1, 6, 7, and 10, and several lots within Planning Area 2. They consist of a 32-foot right-of-way, with 24 feet of surface pavement and 4-foot parkways on each side of the street. Refer to Figure 5.2-1, Street Classifications for those streets designated as Private Driveways. Rolled curbs without sidewalks should be provided. Each HOA private driveway shall not serve more than four residential lots.

5.2.2 Roundabouts

Traffic circles or "roundabouts," are provided at three locations to provide community identity and reduce vehicular speeds. These traffic circles are located at the main and second Project entrances on Sequoia Avenue, Talbert Avenue, and at the intersection of Sequoia Avenue and "C" Street. Refer to Figure 5.2-1, for the conceptual locations of Project roundabouts. The final design of any traffic calming device shall be determined at the tract map/planned Development permit stage.

5.2.3 Access Roads

An asphaltic concrete 20-foot wide drive provides access to the new water tank and emergency helispot to be constructed in the northeastern portion of the Specific Plan Area. This access road is also part of the SCE easement and the multi-use trail system.

Access roads provide maintenance vehicle access to Runkle Canyon Dam and Reservoir and the various detention basins located adjacent to the Development area.

An access road with a 47-foot right-of-way provides access to the Neighborhood Park and to the potential Golf Course. The length of this road should be completed as needed for park program phasing or potential Golf Course implementation. The right-of-way includes 40 feet of paved surface per VCFPD standards, a 2-foot drainage area on the west side and a 5-foot curb adjacent sidewalk on the east side.

5.2.4 Oversized Vehicle and Trailer Parking

The parking of oversized vehicles such as recreation vehicles (RVs), as well as detached trailers for storage, transport, or recreational use, shall comply with the standards as set forth in Section 4-9.402 of the Municipal Code.

5.3 TRAILS

Trails provided within the developed portion of the Specific Plan Area will take into consideration the RSRPD Master Plan of Trails Map as per General Plan Implementation Measure VII-V. The Master Plan of Trails Map contemplates a coordinated multi-use trail network throughout the City and the region, including access to the historic “Albertsons Motorway” to the south of the Specific Plan Area and the Arroyo Simi Equestrian Center to the north. Figure 5.3-1, Conceptual Trail System Master Plan, illustrates the locations of the trail routes, trailheads, and interpretive nodes provided within the developed portion of the Specific Plan Area. Where appropriate, concrete sidewalks within street rights-of-way provide additional connectivity to the regional trail system per the RSRPD Master Plan of Trails Map.

The surface for the improved pedestrian trails located within the developed portion of the Specific Plan Area should be compacted dirt or decomposed granite with the implementation of standard erosion control measures on steeper gradients, in conformance with RSRPD standards, and the standards found in the City’s General Plan.

All trail crossings of any street, including bikeways, shall occur at intersections only and not at mid-block locations. Mid-block crossings shall be prohibited. At “C” Street, where a trail must follow the sidewalk or street right-of-way to get to an intersection crossing, the walk along the path of the trail shall be concrete and 10 feet wide.

5.3.1 Specific Plan Multi-Use Trails

The Conceptual Trail System Master Plan, Figure 5.3-1, illustrates several multi-use trails. Linkage to the trails identified on the RSRPD Master Plan of Trails Map is provided. The Applicant will construct the proposed trails identified in the developed portion of the Specific Plan. In general, these improved trails will terminate where they intersect with the currently existing unimproved paths and fire/access roads located within the open space portions of the Specific Plan Area.

1. Trails – Hiking and Bicycling: These Specific Plan multi-use trails provide a linkage between the adjoining neighborhoods and the Neighborhood Park. To the extent these trails are not on sidewalks or bikeways, they should be a minimum of ten (10) foot wide and otherwise constructed in conformance with RSRPD standards and the standards found in Appendix E of the City’s General Plan. A 10-foot wide trail will be installed in the ROW to Brandeis-Bardin property and provide access to the two trails noted on the Master Plan of Trails Map referenced in General Plan Implementation Measure VII-V. Upon dedication of this road, sidewalks will provide connectivity to the Regional Trails. RSRPD holds an easement for public recreational purposes over these trails.

5.3.2 VCWPD/HOA/Property Owner’s Access and Maintenance Road

1. A 20-foot wide road provides maintenance vehicle access to Runkle Canyon Dam and Reservoir, the other drainage facilities and improvements related to the Dam and Reservoir, as well as access to the Open Space Portion of the Specific Plan Area. A portion of this road will provide maintenance access for VCWPD. As provided for in Agreement No. FC 0-93-2A, “Agreement for Recreational Use of Flood Control District Rights-of-Way by Rancho Simi Recreation and Parks District,” the VCWPD access right-of-way will be made available for Development and use for bicycle, hiking and riding trails, as well as other park and recreation purposes, so long as those uses satisfy the criteria and conditions noted in the Agreement. RSRPD will be granted an easement for public recreational purposes over the length of this improved access/maintenance road.

5.3.3 Existing Unimproved Paths, Fire and Service/Access Roads

1. Existing Trails/Service Access Roads – Equestrian, Hiking, and Bicycling: The RSRPD holds a non-exclusive easement for public recreation purposes, including horseback riding, hiking, bicycle riding, and similar uses as well as allowing for vehicular uses for maintenance and construction purposes. As noted on The Conceptual Trail System Master Plan, Figure 5.3-1, this easement is coincident with the SCE maintenance access easement located roughly along the eastern boundary of the Specific Plan Area, as well as the fire road in the southern portion of the Specific Plan Area. These existing service access roads provide public access to the open space areas of the Specific Plan along with linkage to the RSRPD Master Trails System as illustrated in the Recreation and Park District Master Plan of Trails Map as referenced in General Plan Implementation Measure VII-V. These existing unimproved service/access roads will not be improved as part of the implementation of this Specific Plan. The Open Space portion of the Specific Plan Area has a number of other existing unimproved paths and fire and maintenance access roads. These unimproved paths and roads shall not be improved as part of the implementation of this Specific Plan.

5.3.4 Trailhead

The Specific Plan establishes a trailhead, as part of the Neighborhood Park, located at the terminus of the Talbert Avenue extension, which provides a centrally located access point to the multi-use path and trail network. The trailhead contains an informational kiosk, provides hikers and bicyclists with important information on the local and regional trail network, historical and cultural resources, and local flora and fauna that may exist in the Specific Plan Area and adjacent surroundings.

5.3.5 Interpretive Nodes/Informational Kiosk

Two interpretive nodes, similar to informational kiosks, are provided. These nodes will highlight the cultural and natural history of the area, and will be designed in a manner that complements the rustic characteristics of the area. The Applicant will construct the two interpretive nodes identified in the Specific Plan.

1. Primary Interpretive Node

The primary interpretive node is located within the Dry Lake area at a location with an expansive view of Runkle Canyon and the City to the north. This node may include the following: one to two informational kiosks highlighting the history of Simi Valley, flora and fauna, and the master trail map.

2. Secondary Interpretive Node

The secondary interpretive node is located at the end of the trail within Runkle Canyon south of the residential area. This node may include the following: one informational kiosk highlighting history, local flora and fauna, and the master trail map.

5.4 BIKEWAYS

The Specific Plan provides on-street and off-street bikeways designed to connect with the existing Citywide Class II bikeways and multi-use trails within the Specific Plan Area. . Figure 5.4-1, Conceptual Bikeway Plan, illustrates the location of the bikeways provided in the Specific Plan.

5.4.1 Bikeway Classifications

The following is a description of the various types of Specific Plan bikeways provided within the Specific Plan Area, as consistent with the City's Bicycle Master Plan, adopted June 3, 2002.

1. Class I Bikeway (Off-Street)

To maintain a continuous travel route from Sequoia Avenue to the Neighborhood Park, a 10-foot-wide off-street bikeway intersects Sequoia Avenue at "B" Street and travels west of the residential lots to avoid conflict with residential driveways and on-street parking. The Class I Bikeway then parallels "C" Street traveling west toward the intersection of "C" Street and Talbert Avenue extension. The bikeway crossing occurs at the street intersection. No mid-block crossings are allowed. The off-street bikeway continues through the Neighborhood Park and terminates at the trailhead located within the park.

2. Class II Bikeway (On-Street)

The Class II bikeway is located on Sequoia Avenue. The Specific Plan provides a 6' wide striped on-street bikeway on both sides of Sequoia Avenue from High Point Place to "B" Street.

All bikeway street crossings shall be at street intersections, not mid block. Class II bikeways should be six-foot-wide minimum striped lanes within the street right-of-way.

5.5 TRANSIT

Simi Valley Transit operates regularly scheduled service (Monday through Saturday) covering nearly every part of the City, with connections to other transit systems and local points of interest (including shopping, schools, parks, public buildings, and others). Bus stops are located ¼- to ½-mile apart along routes within Simi Valley.

The bus stops nearest to the Specific Plan Area are located near the intersections of Sequoia/Los Angeles Avenues and Sycamore Drive/Royal Avenue (per Simi Valley Transit routes effective April 2001). Simi Valley Transit should be contacted regarding the locations of any new bus stops within the Specific Plan Area. Bus turnouts would be required at any new bus stop location. Simi Valley Transit also offers a Dial-A-Ride curb-to-curb service for disabled and senior persons.

The public streets meet City standards and are thus adequate to handle any future extension of transit service up to and/or into the Specific Plan Area. Simi Valley Transit should be contacted regarding the location of any new bus stops within the Specific Plan Area. Bus turnouts would be required at any new bus stop location.

The nearby Simi Valley Metrolink Station is located northeast of the site at Los Angeles Avenue.

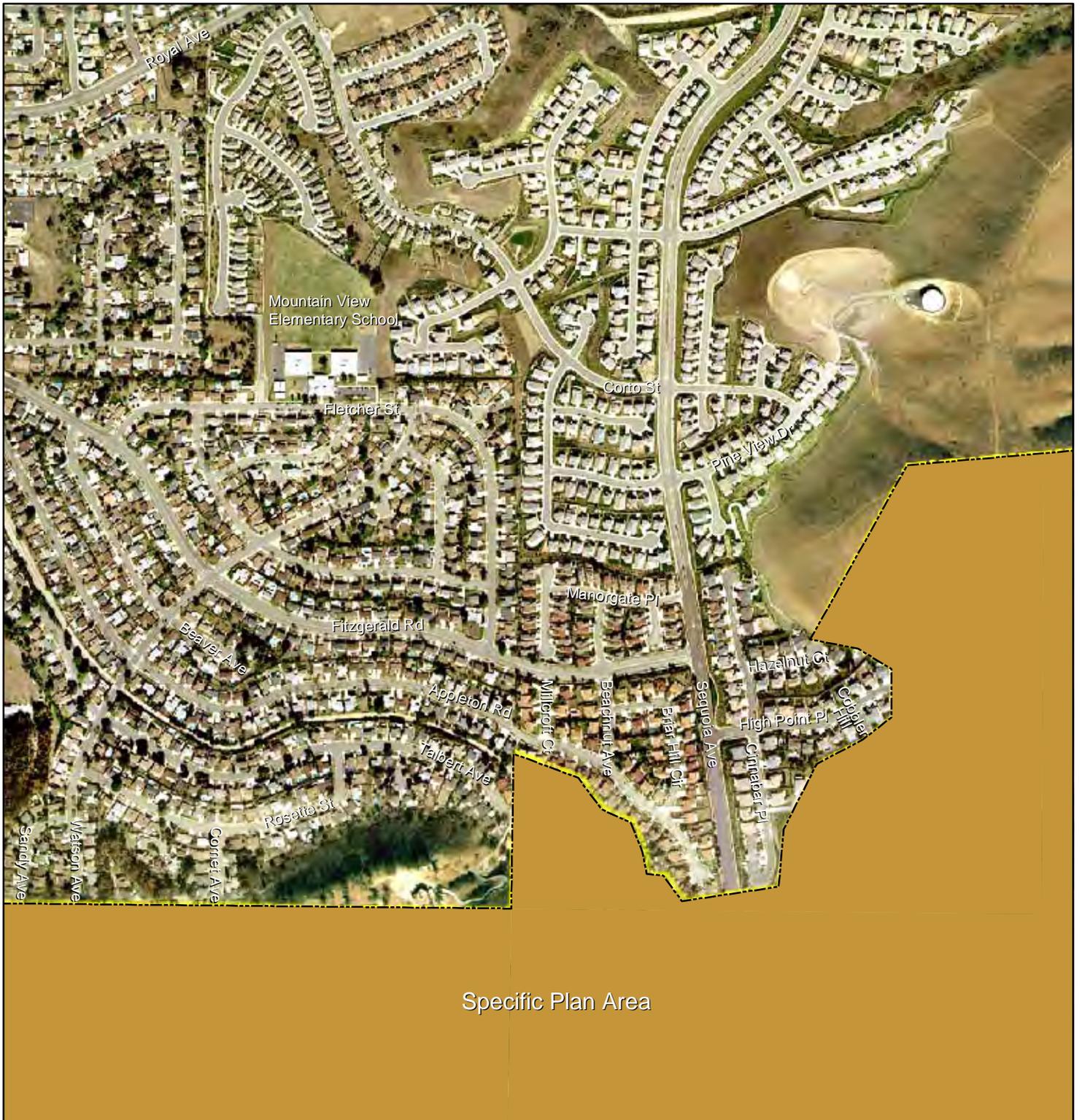
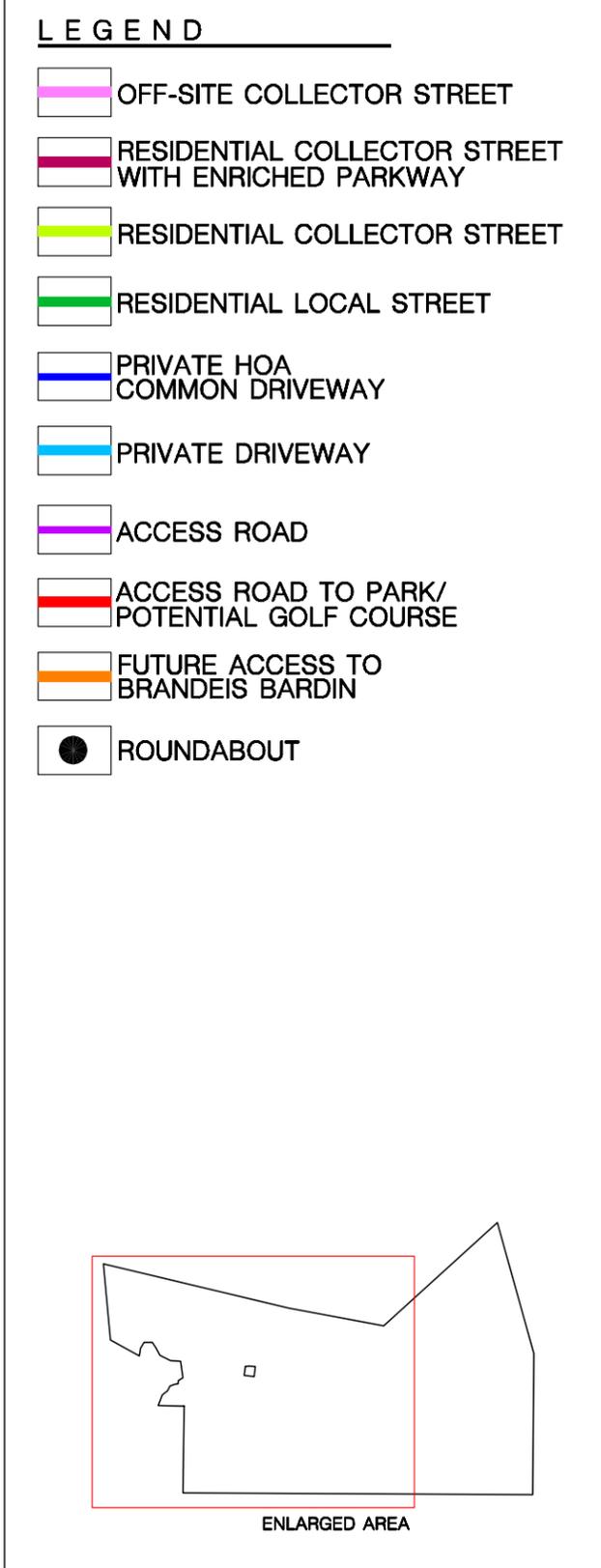
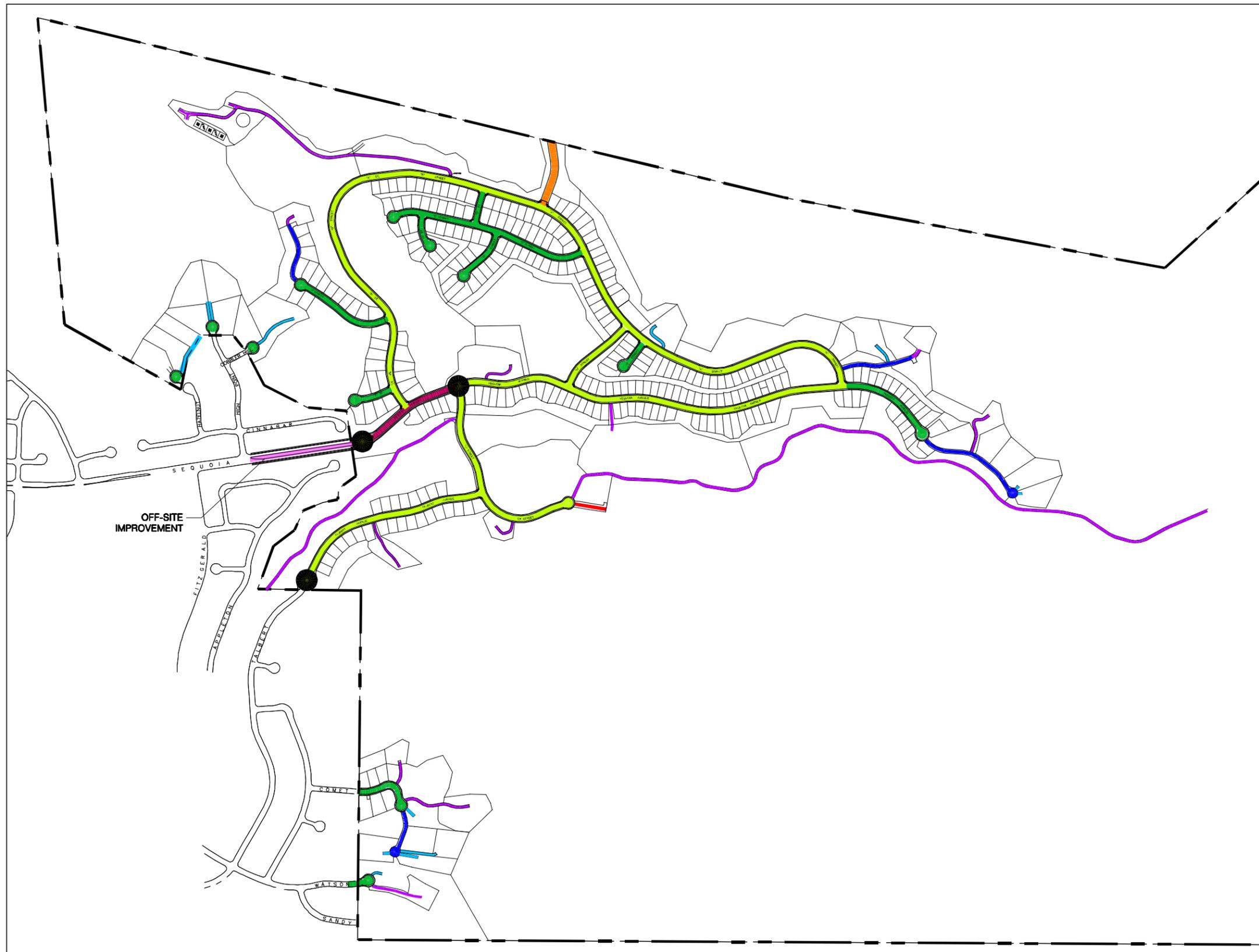


Figure 5.1-1
LOCAL AREA CIRCULATION
 Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

Figure 52-1
STREET CLASSIFICATIONS
 Runkle Canyon Specific Plan



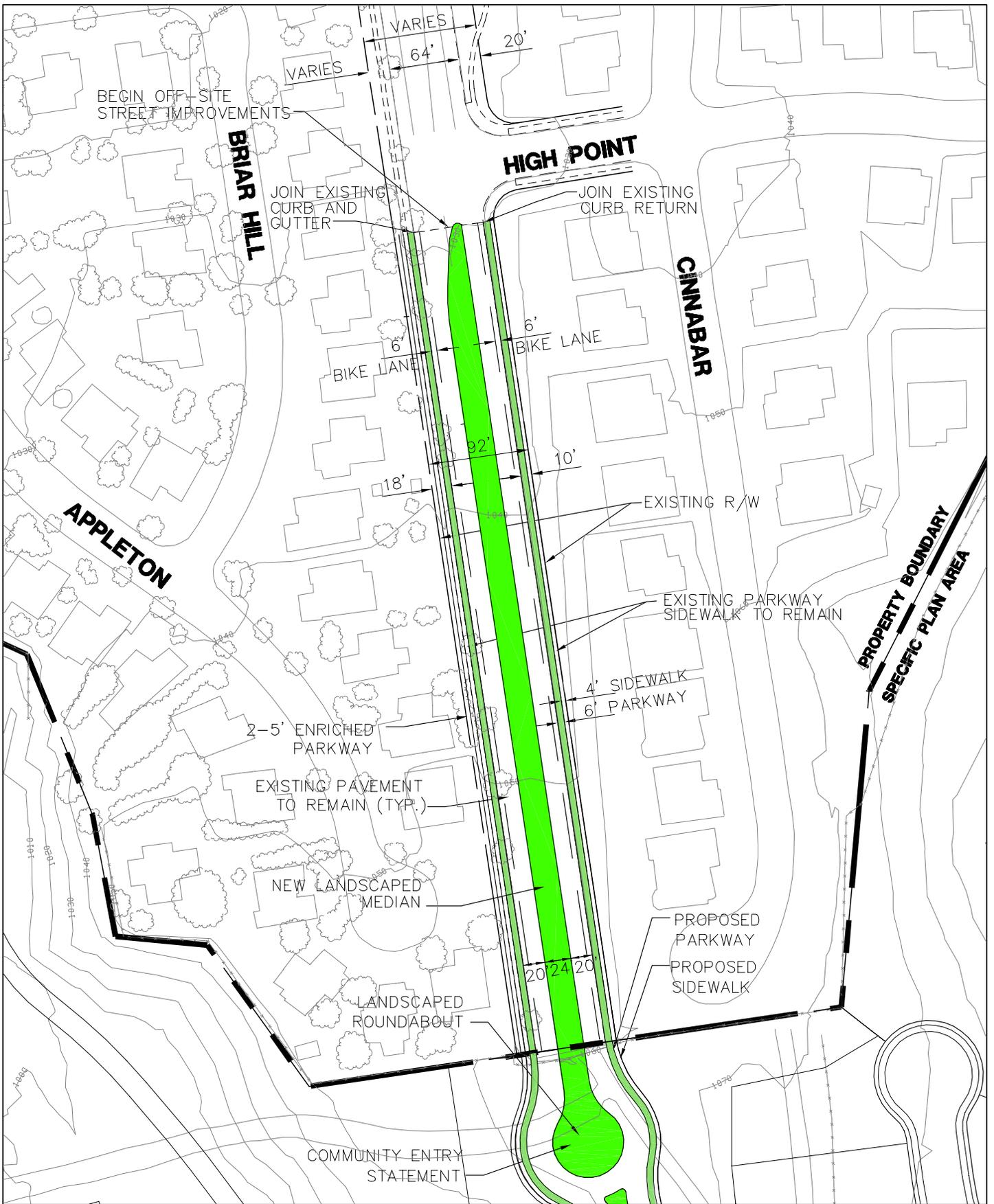


Figure 5.2-2

SEQUOIA AVENUE IMPROVEMENTS

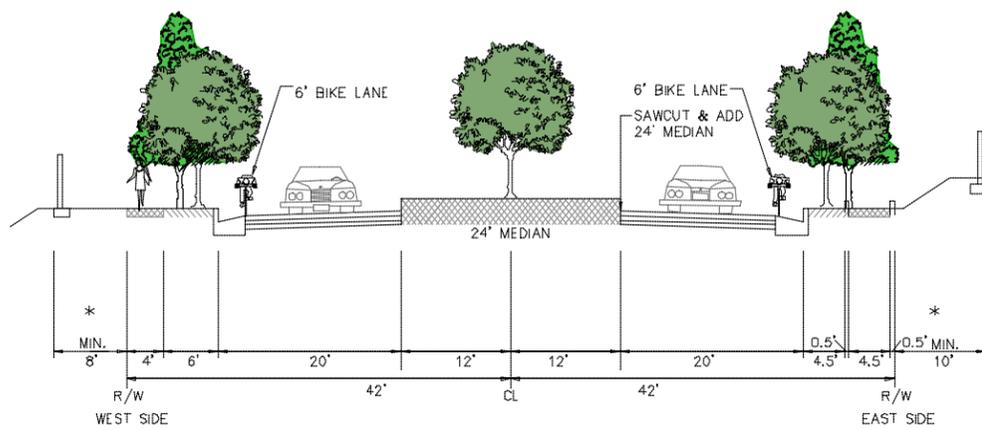
Runkle Canyon Specific Plan



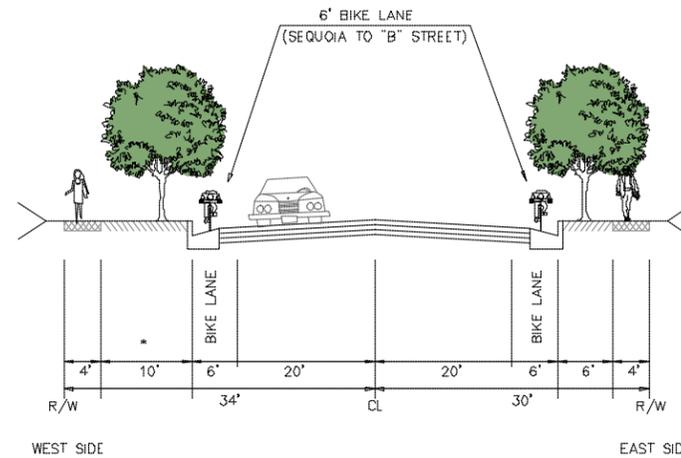
GreenPark Runkle Canyon, LLC



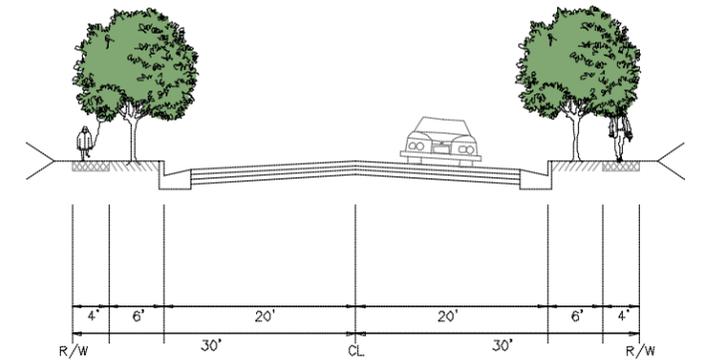
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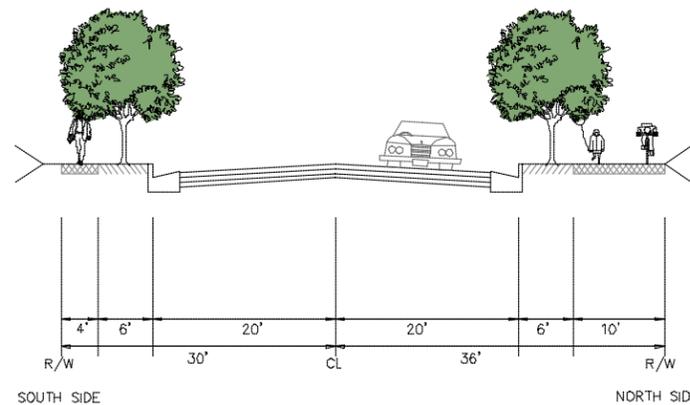
RESIDENTIAL COLLECTOR STREET
SEQUOIA AVENUE (OFF-SITE IMPROVEMENT)
 FROM HIGH POINT PLACE TO PROJECT BOUNDARY
 * INCLUDES 2-5 FOOT ENRICHED PARKWAY



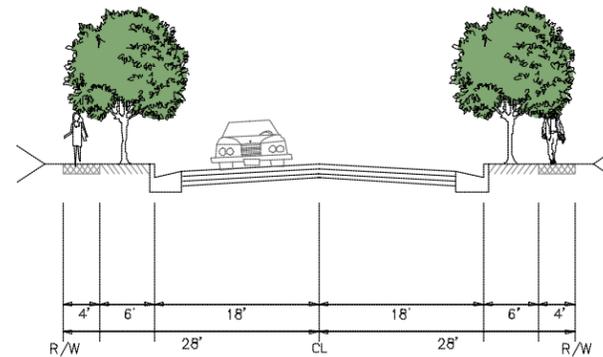
RESIDENTIAL COLLECTOR STREET
WITH ENRICHED PARKWAY
 64' RIGHT OF WAY
 SEQUOIA AVENUE FROM BOUNDARY TO "D" STREET
 * INCLUDES 4' ENRICHED PARKWAY



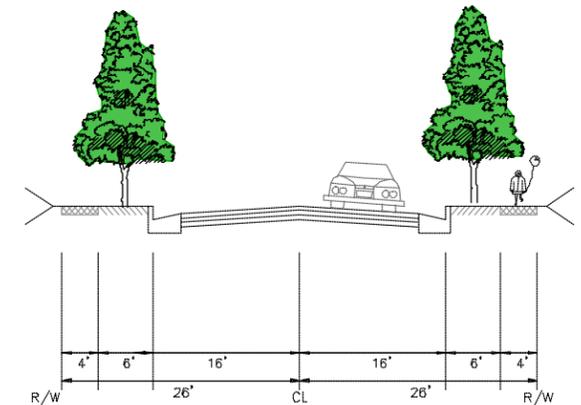
RESIDENTIAL COLLECTOR STREET
 60' RIGHT OF WAY
 "A" THROUGH "C" STREETS, "H" STREET,
 WATSON AVE., SEQUOIA AVE. SOUTH OF "C" STREET,
 AND TALBERT AVE. EXTENSION



RESIDENTIAL COLLECTOR STREET
 66' RIGHT OF WAY
 (10' WALK/BIKEWAY ON ONE SIDE)
 NORTH SIDE OF "C" STREET
 EAST OF TALBERT AVENUE EXTENSION



RESIDENTIAL LOCAL/MINOR STREET
 56' RIGHT OF WAY
 SEQUOIA AVENUE SOUTH OF "A" STREET, "D" THROUGH "G" STREETS,
 "J" THROUGH "K" STREETS, COMET AVE. AND HIGH POINT
 PLACE FROM CINNABAR PLACE TO COBBLER HILL COURT



RESIDENTIAL MINOR STREET
 52' RIGHT OF WAY
 HIGH POINT PLACE EAST OF COBBLER HILL COURT
 HAZELNUT COURT AND COBBLER HILL COURT

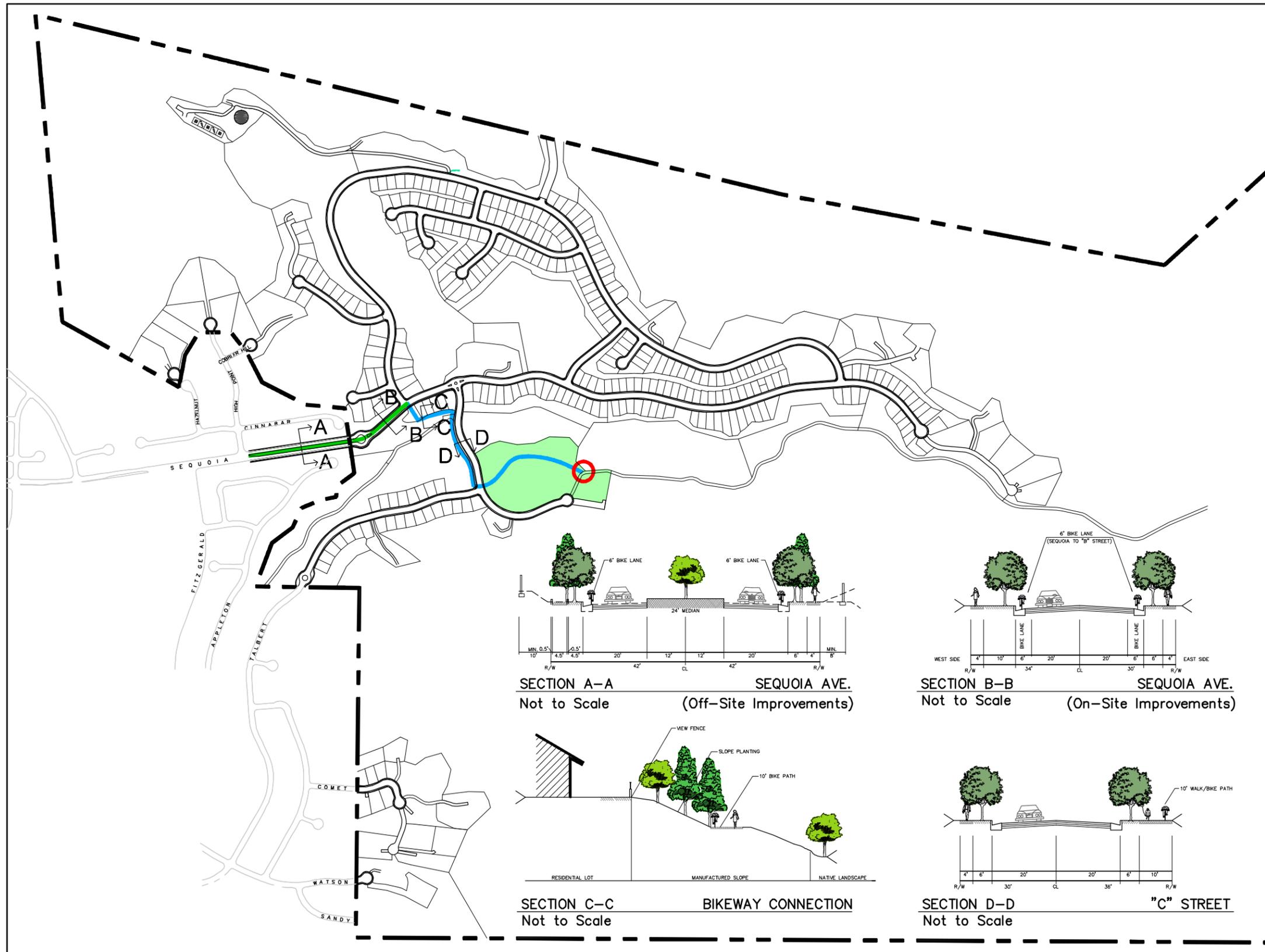


-  Existing Service Road/Unimproved Trail
Equestrian, Hiking & Bicycling (Unimproved)
-  Specific Plan Trail - Hiking and Bicycling
(Phased with Project Implementation)
-  Streets - Sidewalk Connection to
Conceptual Master Trail System
-  Primary Interpretive Node
-  Secondary Interpretive Node
-  Trail Head

- NOTES:
1. Refer to the "Runkle Canyon Golf Course Feasibility Study" for existing path/trail and potential golf course trail relationships.
 2. All Trail crossings of streets must be located at street intersections; no mid-block crossings are allowed.

Figure 5.3-1

CONCEPTUAL TRAIL SYSTEM MASTER PLAN



LEGEND

-  NEIGHBORHOOD PARK
-  CLASS I BIKEWAY
10' WIDE OFF STREET
-  CLASS II BIKEWAY
6' WIDE ON STREET
-  TRAILHEAD

Note: All bikeway crossings must be at street intersections; no mid-block crossings are allowed.

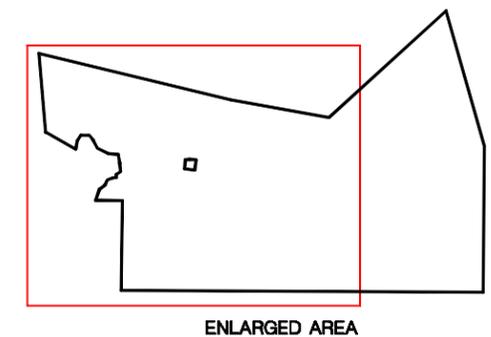


Figure 5.4-1

**CONCEPTUAL THRUWAY
BIKEWAY PLAN**

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

6.1 PUBLIC FACILITIES AND SERVICES

A portion of the Specific Plan Area is within the jurisdictional boundaries of the City. Reorganization will be sought so that the remaining portion is also brought within the City’s jurisdiction in a manner consistent with Ventura County’s guidelines for orderly development. Utilities and public services are provided to the Specific Plan Area by the agency/entities indicated in Table 6-1, Public Facilities and Services Providers.

**TABLE 6-1
PUBLIC FACILITIES AND SERVICES PROVIDERS**

PUBLIC UTILITY/SERVICE	AGENCY/ENTITY
Water - infrastructure	Southern California Water Company (SCWC)
Water - supply	Southern California Water Company (retailer) (SCWC)
Water - supply	Calleguas Municipal Water District (wholesaler)
Sewer	City of Simi Valley (City)
Storm Drain/Flood Control	Ventura County Watershed Protection District (VCWPD)
Electricity	Southern California Edison Company (SCE)
Gas	Southern California Gas Company (SDGC)
Telephone	Pacific Bell
Cable Television	Adelphia Cable
Refuse	American-Simi Rubbish
Police	City of Simi Valley (City)
Fire	Ventura County Fire Protection District (VCFPD)
Schools	Simi Valley Unified School District (SVUSD)
Recreation	Rancho Simi Recreation and Park District (RSRPD)

All electric, gas, telephone and cable television lines are installed underground with the exception of existing SCE transmission lines. Utility lines primarily follow street alignments and connect into existing lines located in Sequoia Avenue, Watson Avenue, Comet Avenue, Talbert Avenue, and High Point Place. Existing storm drain and sewer systems located north of the project boundary are of adequate size and capacity to service the total units and land uses included in this Specific Plan.

6.2 NEIGHBORHOOD PARK

Residents of the Specific Plan Area and the surrounding neighborhoods benefit from the recreational opportunities afforded by the Neighborhood Park owned and operated by the RSRPD. The Neighborhood Park is situated in Planning Area 11 of this Specific Plan. The size of the park conforms to the RSRPD's adopted standard of 6-10 acres for Neighborhood Parks.

The 10.1-acre Planning Area contains the approximately 9.2 net acre park parcel as shown on the Tentative Map (the remainder of the Planning Area includes a portion of "C" Street and the Golf Course access road located west of the park).

The 9.2 net acre park parcel contains approximately 4.7 acres of relatively flat useable parkland conducive to recreation and parking. The remaining approximate 4.5 acres will remain in its natural state or revegetated. The Conceptual Neighborhood Park Plan is illustrated in Figure 6.2.1. The Applicant will be responsible for rough grading of the parksite, utilities, and other required public improvements within the public right-of-way that are contiguous to the parksite. The Applicant will receive credit toward the City's Park Dedication Ordinance for provision of the fully-graded park site.

Planned recreational amenities on those pads include:

- age-separated tot-lot and preteen playground;
- basketball half-court;
- picnic facilities including two shelters and picnic tables grouped throughout the park;
- open grassy areas for informal play;
- walkways which loop around the park and connect into the multi-use trail network;
- trailhead facilities including an informational kiosk providing information on the local and regional trails;
- restroom building;
- parking lots (per RSRPD standards); and
- safety lighting for the parking lot, walkways, and picnic shelters.

The park has been designed to be completed in two or more phases. Phase 1 will include construction of the park's lower west pad consisting of approximately 1.7 acres and a majority of the park's recreation amenities, parking and the restroom/trailhead. The RSRPD has agreed to construct Phase 1 within one (1) year of delivery of the graded parksite. Phases 2 and 2A will be built by the RSRPD in the future as additional funding becomes available.

The park's location adjacent to a natural drainage course adds to the ambiance of the park. A portion of the lower/eastern pad is located within the 100-year storm line and is designed without permanent structures. Surrounded by open space, the park boundaries blend into the natural surroundings. A natural landscape plant palette including slopes within the park will add to its natural character.

6.3 SCHOOLS

The Specific Plan Area is within the jurisdictional area of the SVUSD. SVUSD utilizes a student generation rate of 0.60 students per household. With a total of 461 residential units, and recognizing that 30% of the households are age restricted, 323 of the households have the potential to generate students. Utilizing this generation rate, approximately 194 grade-K-through-12-students are generated by the Specific Plan and are projected to utilize SVUSD schools. Although there are elementary, middle, and high schools within the area, students may attend other schools through the open attendance policy of the SVUSD.

6.4 FIRE

Fire protection services are provided to the Specific Plan Area by the VCFPD. The Fire Station closest to the Specific Plan Area is Station No. 41 located 1.5 miles away at 1910 Church Street.

The Specific Plan provides for the dedication of land for an emergency helispot to provide tactical water-loading services in the event of emergency. The site, located adjacent to the Specific Plan water tank, accommodates emergency fire-fighting equipment and is accessed via a 20-foot wide decomposed granite or asphaltic concrete access/service road. The Applicant will grade and construct the helispot and the access road from "A" Street to the helispot. The VCFPD will maintain the emergency helispot.

6.5 LAW ENFORCEMENT

Police protection is provided to the Specific Plan Area by the City Police Department, headquartered at 3901 Alamo Street, near the intersection of Tapo Canyon Road. This facility is located approximately 3 miles from the northern primary access to the Specific Plan Area at Sequoia Avenue.

6.6 WATER

The SCWC provides domestic water service to the Specific Plan Area. A new 12-inch water line will be constructed within Sequoia Avenue connecting to a new pump station and to the 2-million-gallon Runkle Canyon water tank to be constructed on a site located within the northeasterly corner of the Specific Plan Area. The new water tank serves the Specific Plan Area through new 12-inch and, where appropriate, 8-inch water lines (Refer to Figure 6.6-1, Residential Water Plan). The water tank is located below the existing ridgeline and is screened with earthen berms and landscaping consistent with site characteristics to limit the views of the water tank from the Simi Valley floor (Refer to Figure 6.6-2, Water Tank Line-of-Sight Section).

The Runkle Canyon water tank services the Project and will enhance service to the adjacent community. The single-family estate lot at the end of Watson Avenue connects to an existing water line within that street. The six single-family estate and seven single-family lots at the end of Comet Avenue connects to an existing water line within that street. SCWC indicated in its Water Supply Assessment, that there is adequate water supply and capacity to serve the Specific Plan Area, including the 14 single-family lots served from existing lines in Watson Avenue and Comet Avenue.

6.7 WASTEWATER

The City provides sewer service to the Specific Plan Area. Sewer service is provided by connecting to the existing sewer lines at Watson Avenue, Comet Avenue, Hazelnut Court, High Point Place, and Sequoia Avenue (Refer to Figure 6.7-1, Residential Wastewater Plan). Eight-inch PVC sewer lines service all Planning Areas. The community is expected to generate approximately 167,000 gallons of wastewater per day. Sewage is transported to the existing Simi Valley Water Treatment Facility located at 600 West Los Angeles Avenue. According to an addendum letter prepared by CMB Engineering to the Project's Sewer Study, there is adequate sewer capacity and no new off-site conveyance will be needed.

6.8 DRAINAGE

The Specific Plan Area is located within the boundaries of the VCWPD. The Specific Plan is designed to maintain the existing drainage flows, limiting developed site runoff downstream of the Runkle Canyon Dam and Reservoir to pre-Development levels. Eleven desilting basins and one central detention basin will be constructed within the community. (Refer to Figure 6.8-1, Conceptual Storm Drain and Basins Plan.) In addition, in compliance with the NPDES Permit requirements, a series of water quality basins, as well as clarifiers at various locations in the on-site storm drain system, will also be constructed within the community.

The main function of the debris basins is to prevent silt and debris, a result of natural erosion, from entering and clogging the enclosed storm drain system, while the central detention basin stores peak runoff and gradually releases the runoff at a controlled rate to the downstream storm drain facilities. The main function of the water quality basins is to remove trash and impurities from site runoff prior to its exiting the Specific Plan Area. This results in the majority of the site runoff being treated for potential pollutant removal in water quality basins. The areas, which connect directly to enclosed storm drain systems, will be treated by water clarifiers, since the runoff cannot be directly routed to a water quality basin before reaching a natural drainage course.

The central detention basin is provided to maintain or reduce the existing peak runoff from a developed 10-year frequency storm. The basin has been designed in compliance with the City's 10-year peak standard. The majority of the residential Development drains to the central detention basin.

In addition to the debris and detention basins, the Drainage Plan includes improvements to the natural drainage areas between the existing terminus of Talbert Avenue Channel and "C" Street. The Project's drainage system provides for stabilization of this area through the construction of a grade controlled, vegetated drainage channel connecting the existing concrete channel that runs between Talbert Avenue and Appleton Road to upstream drainage outlets and culverts associated with Project Development. Improvements upstream of the Runkle Canyon Dam include additional grade controlled drainage swales and energy dissipating improvements (rip rap, drop structure, or channel) to reduce erosion and sediment transport issues associated with artificial fill and mine tailings.

The residential Development of the Runkle Canyon Specific Plan is not subject to flooding during a 100-year storm flood event. Additionally, Development within the Specific Plan Area does not change any existing off-site 100-year flood conditions. Refer to Figure 6.8-2, Existing and Proposed 100-Year Floodplains.

With the incorporation of the drainage improvements discussed above into the design of the Specific Plan, the runoff from the Specific Plan Area does not exceed the existing conditions and complies with water quality requirements.

6.9 WASTE MANAGEMENT

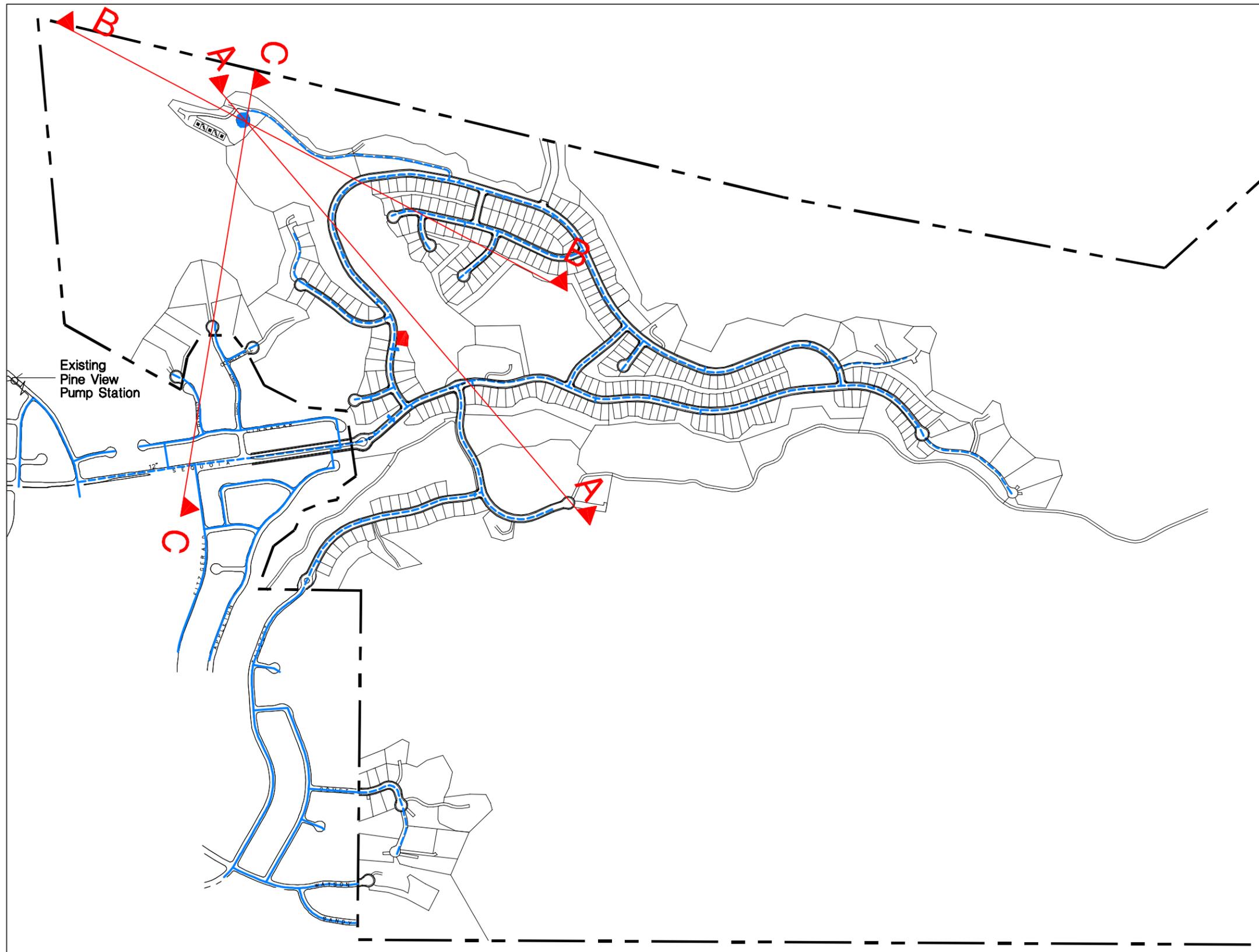
American-Simi Rubbish Company provides collection of solid wastes and recyclables for the Specific Plan Area. The waste is transported to the Simi Valley Landfill and Recycling Center located at 2801 Madera Road.

6.10 STREET LIGHTING

The lighting concept for the Specific Plan is to provide a balance between safe, well-lit streets and the prevention of light spillage on to adjacent properties and open space areas. Therefore, fixtures within the pedestrian areas, such as the trailheads and pedestrian nodes, are lower, and more traditional-fluted fixtures in keeping with the overall rustic canyon design features of the Specific Plan.



Figure 6.2-1
RUNKLE CANYON
CONCEPTUAL NEIGHBORHOOD PARK



LEGEND

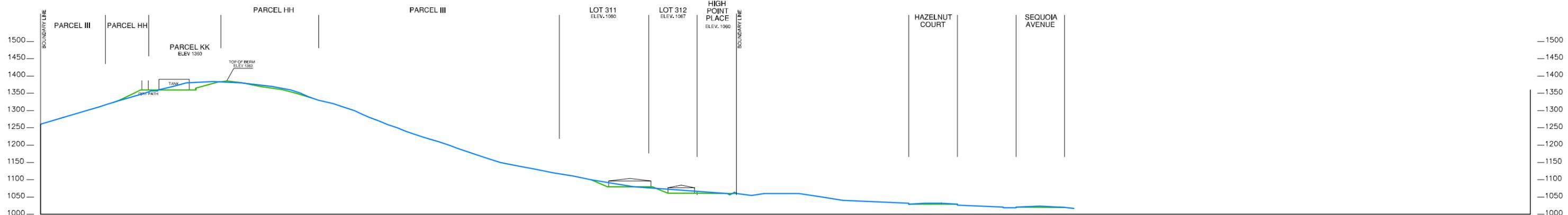
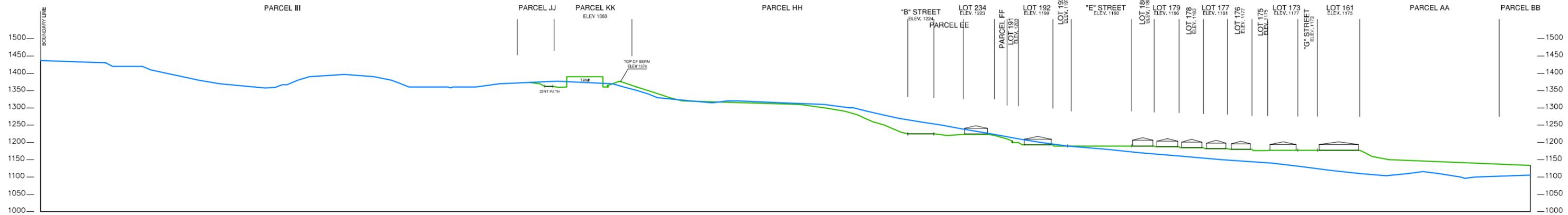
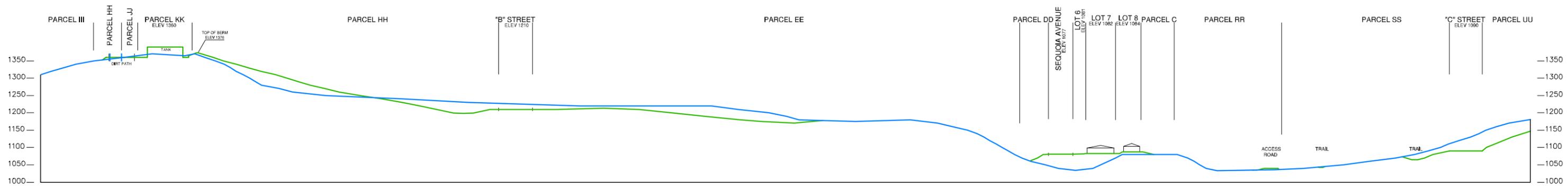
- EXISTING WATER LINE
- SPECIFIC PLAN WATER LINE(S)
- WATER TANK
- WATER TANK LINE-OF-SIGHT (Refer to Figure 6.6-2)
- PUMP STATION

ENLARGED AREA



GreenPark Runkle Canyon, LLC

Figure 6.6-1
RESIDENTIAL WATER PLAN
 Runkle Canyon Specific Plan



LEGEND:
 ——— EXISTING
 ——— SPECIFIC PLAN



GreenPark Runkle Canyon, LLC

Figure 6.6-2
WATER TANK
LINE-OF-SIGHT SECTIONS
 Runkle Canyon Specific Plan



FORMA
 November 2003

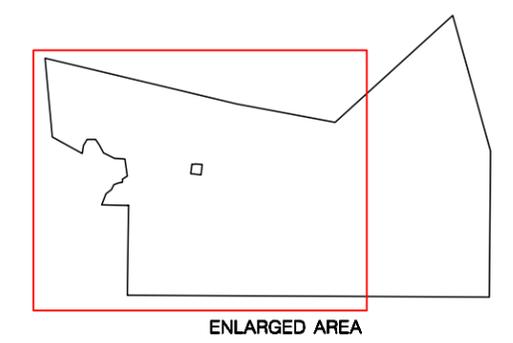
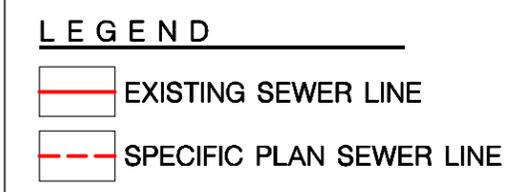
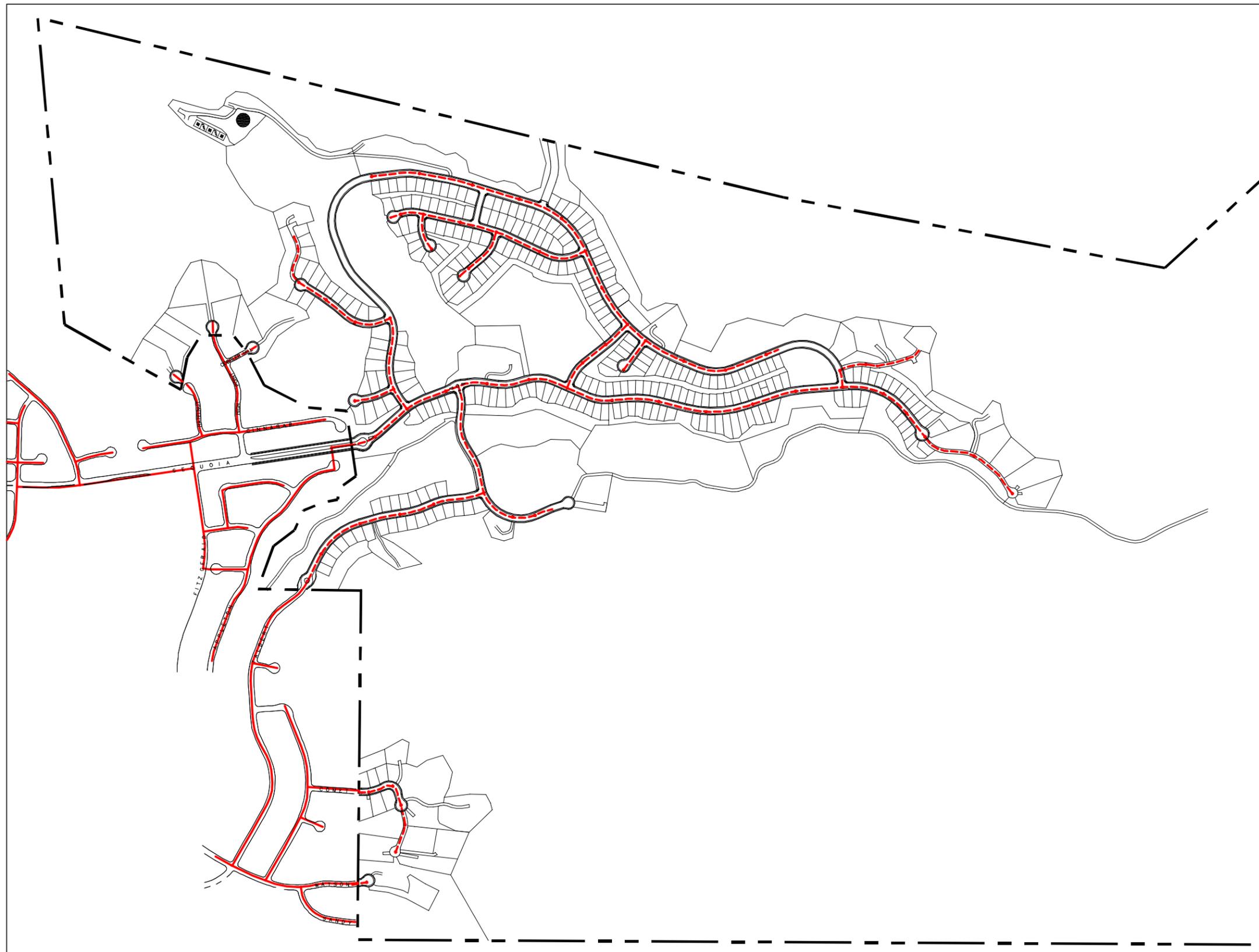
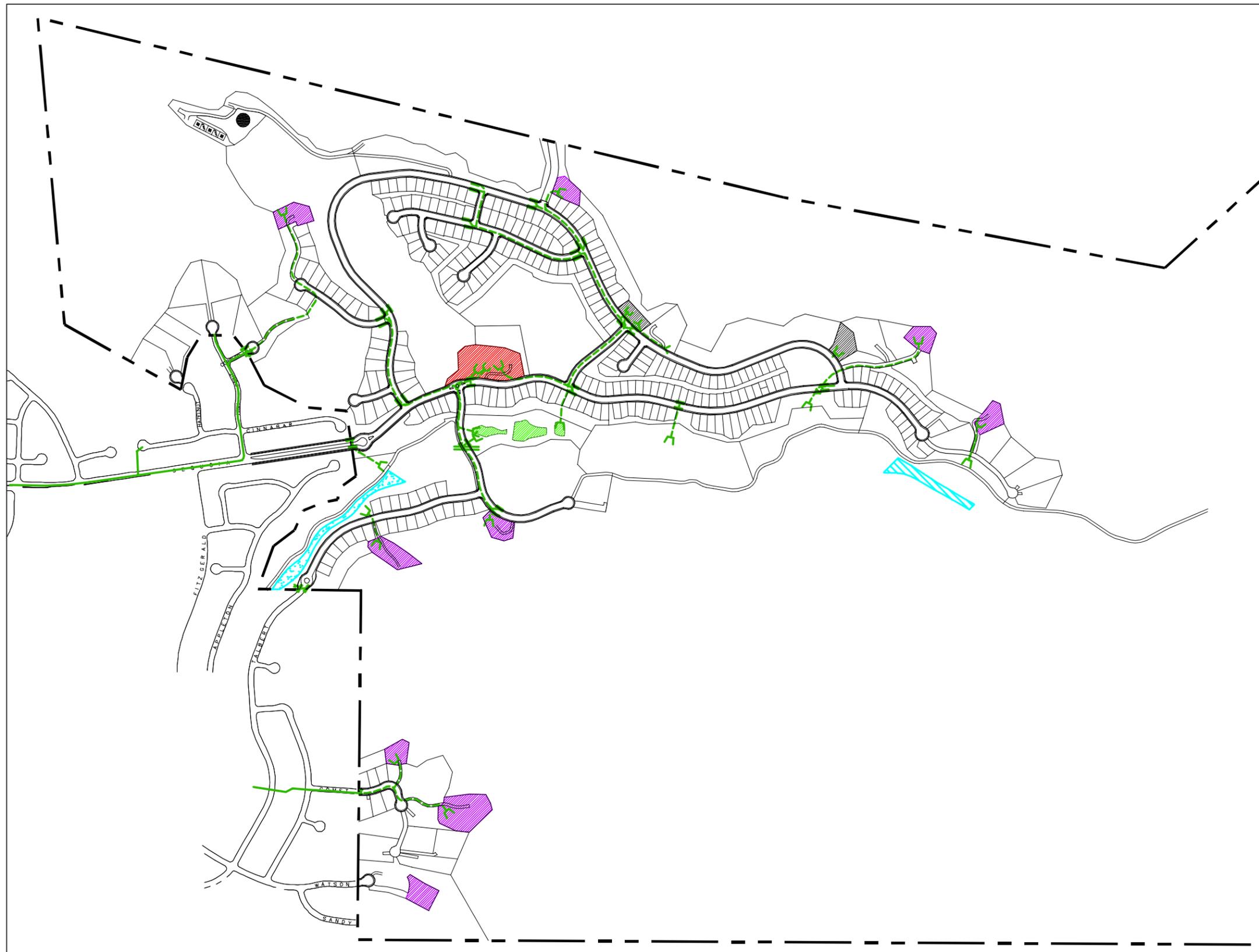


Figure 6.7-1

**RESIDENTIAL
WASTEWATER PLAN**
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC



- LEGEND**
- EXISTING STORM DRAIN
 - SPECIFIC PLAN STORM DRAIN
 - CATCH BASIN
 - STORM DRAIN CENTRAL DETENTION BASIN
 - STORM DRAIN DEBRIS/ DETENTION BASIN
 - STORM DRAIN WATER QUALITY BASIN
 - STORM DRAIN DESILTING BASIN
 - OUTLET
 - CULVERT
 - VEGETATED DRAINAGE CHANNEL
 - DRAINAGE CONTROL STRUCTURE

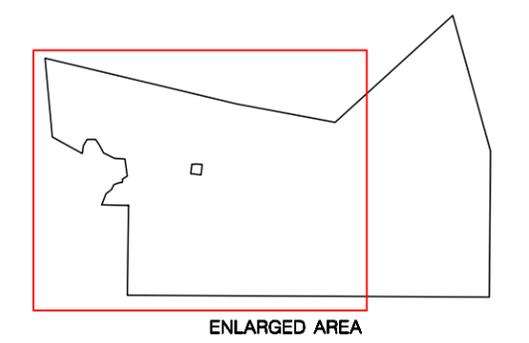


Figure 6.8-1

RESIDENTIAL STORM DRAIN AND BASINS PLAN

Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

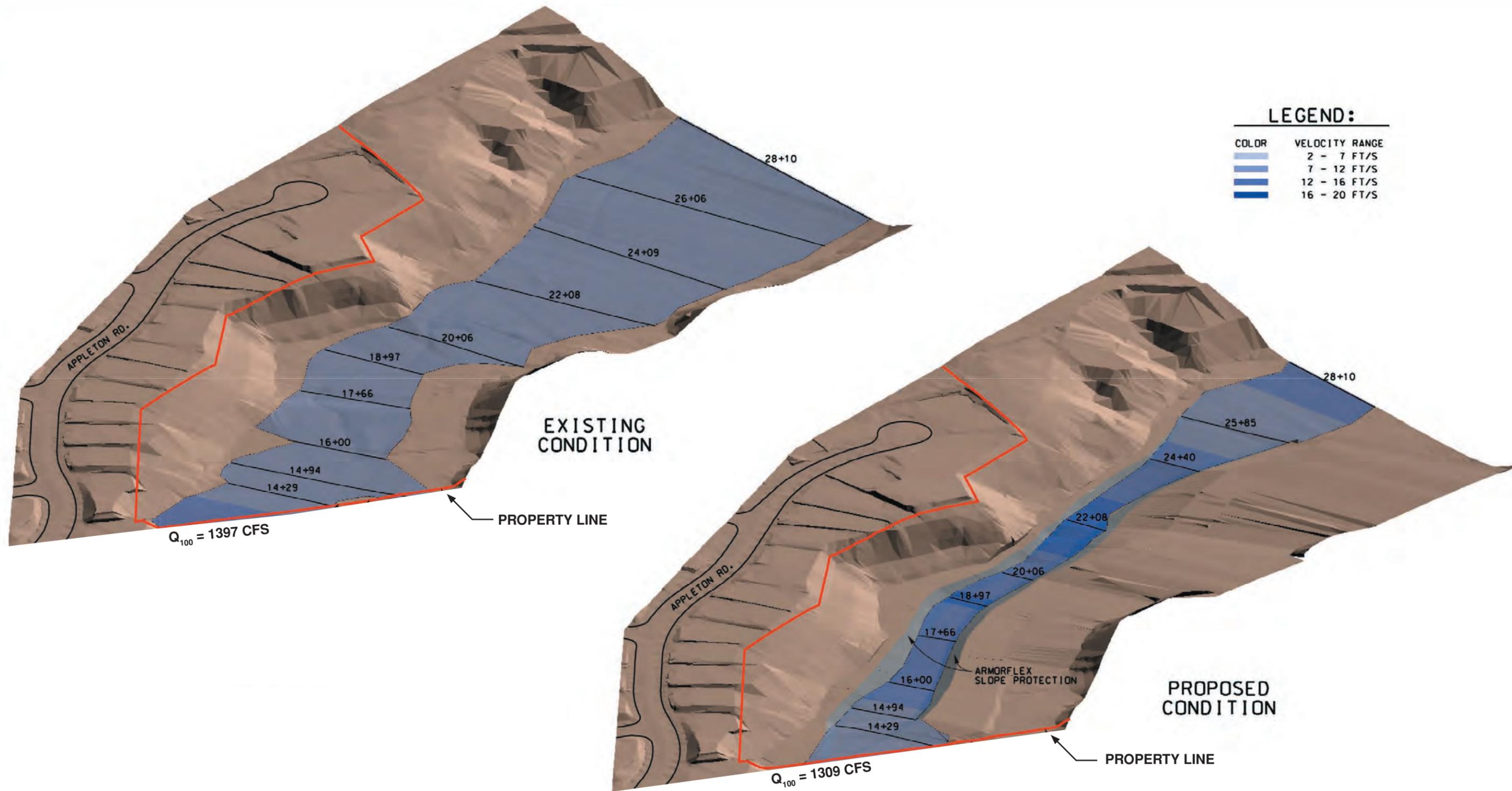


Figure 6.8-2

**EXISTING AND PROPOSED
100-YEAR FLOODPLAINS**

February 2004
Not To Scale

7.1 PURPOSE AND INTENT

This chapter provides a discussion of the implementation of the Specific Plan. Implementation is carried out through the application and processing of standard City approvals as set forth in Title 9, Chapter 1 of the Simi Valley Municipal Code, the Zoning Code.

This chapter also provides a discussion of the California Government Code provisions which govern the amendment of this Specific Plan. In addition, criteria are included under which the City Council may approve Amendments to the Specific Plan.

The Development Program for implementation of the Specific Plan and a discussion of financing alternatives are also set forth.

This chapter also discusses the maintenance responsibilities of the various areas within the Specific Plan Area. This includes the formation of a HOA to provide for the maintenance of public areas not located within residential lots. Finally, this chapter discusses the formation and the responsibility of Sub HOA that may be necessary for the maintenance of common areas. A Sub HOA should be established for the Senior Housing Area.

The foregoing base zones are followed by the suffix (SP) to signify that, in each case, the zone district is controlled by this Specific Plan and the Municipal Code. Chapter 4 of this Specific Plan describes the Land Use Categories associated with each of these zoning districts.

The Tentative Map and parcel map, and all associated permits shall comply with the standards contained within this Specific Plan, Municipal Code, State Subdivision Map Act, and CEQA. Lot line adjustments shall be undertaken in accordance with the Subdivision Map Act, CEQA, and Municipal Code.

The grading, street and infrastructure improvements, including underground utility lines, streetlights and parkway landscaping, shall be constructed concurrently with adjacent residential Development, and will be offered to the City (in the case of public street rights-of-way), or easements will be dedicated to the various utility providers as a condition of recordation of any Final Tract Map(s). The Applicant shall construct the various improvements, and the customary performance bonds shall be established pursuant to City Ordinance to ensure that the improvements are completed in accordance with City standards.

Any subsequent Development or construction shall be reviewed by the City and in cases where the Municipal Code requires discretionary and/or City administrative approval; said approval shall be in accordance with the provisions of the Municipal Code.

7.2.3 Parcel Map

A parcel map will be approved concurrent with approval of Specific Plan and Tentative Map.

7.2.4 Adjustment to Lot Line

A lot line adjustment should be recorded between Project Applicant and VCWPD to reconfigure the existing boundaries for the Runkle Canyon Dam and Reservoir.

7.2.5 Amendments to the Specific Plan

Allowing flexibility in the administration of the Specific Plan enhances the effectiveness of the Specific Plan as a comprehensive planning document for the Specific Plan area.

An amendment to the Specific Plan will be required if any of the following occur:

- (1) A major change in the intensity or character of Development;
- (2) An increase in the number of dwelling units;
- (3) A change in any other provision, purpose or standard of the Specific Plan which would significantly alter the basic intent, identity, or concepts of the Specific Plan.

Amendments to the Specific Plan will be processed in accordance with the provisions of the California Government Code, Article 6, Section 65450 through 65457, and reviewed and approved in accordance with Municipal Code Section 9-1.1701 *et seq.* Any change or adjustment to any provision, purpose or standard of the Specific Plan which would not significantly alter the basic intent, identity, or concepts of the Specific Plan shall be reviewed and approved in accordance with Municipal Code Section 9-1.1103(i).

Modifications to the Runkle Canyon Implementation Guidelines as contained in Appendix D shall not require a Specific Plan Amendment, but may be approved by the Planning Commission as part of a Cluster Development Permit or Planned Development Permit or Modification in accordance with the Municipal Code. Modifications of the Runkle Canyon Implementation Guidelines shall reflect the intent of the City's Residential and Landscape Design Guidelines upon which the Runkle Canyon Implementation Guidelines are intended to implement for the Specific Plan Area.

Initial Development and construction shall be in accordance with this Specific Plan. Subsequent modifications and/or construction, such as room additions, remodels and construction of accessory structures shall be undertaken in accordance with Titles 8 and 9 of the Municipal Code, the Building Code and the Planning and Zoning Code.

7.2.6 Changes to Approved Grading

If the final grade of a grading plan or adjustment in the field differs from that which was approved by: a) no more than 2 feet along the project boundary when adjacent to existing homes; b) no more than 4 feet along the project boundary when not adjacent to existing homes; c) no more than 4 feet of increased elevation within the interior of the map; or d) no more than 6 feet of decreased elevation within the interior of the map, the grading may be approved by the City Engineer.

7.2.7 Dedication of Neighborhood Park (PA 11)

It is the intent of this Specific Plan that dedication of land within the Specific Plan Area for implementation as Neighborhood Park, Planning Area 11 (10.1 gross acres) shall occur concurrently with residential Development, as follows:

1. The developer, at its sole cost and expense, will secure a Special Use Permit for development of the park. All design submittals shall be subject to the prior written approval of the Rancho Simi Recreation and Park District (RSRPD).
2. Rough grading of the Neighborhood Park (PA 11) including road and pads shall be completed during the same time frame as the rough grading of the residential lots contained in Planning Area 8 of the Specific Plan Land Use Plan.
3. The developer will deliver a park site to the RSRPD consisting of a minimum of 4.7 acres of flat useable parkland including surrounding public infrastructure (streets, sidewalks, streetlights, driveway approaches, and stub-ins for utilities – water, electrical, sewer, and telephone). The developer shall furnish the RSRPD with as-built grading plans and utility stub-in locations.

4. RSRPD agrees to complete construction of the park within twelve months of completion of grading.
5. Dedication of the Neighborhood Park site or an Offer of Dedication to the RSRPD's discretion shall occur prior to or concurrent with the recordation of a final tract map authorizing the residential lots contained in Planning Area 8 of the Specific Plan Land Use Plan.

7.3 DEVELOPMENT PROGRAM

The Applicant shall construct the backbone infrastructure system, including roads and utilities for the Project. The infrastructure necessary for each individual Planning Area of the Specific Plan Area shall be installed as necessary by the Applicant and/or the Builders.

7.3.1 Phasing Concept

The following represents a conceptual construction program for the Development of the Runkle Canyon Project. Refer to Figure 7.3-1, Conceptual Phasing Plan. Construction phases are organized using phasing boundaries on the Tentative Map and the parcel boundaries of the Project's parcel map.

Grading for the Project will commence with the initial phases of the Project and continue until complete respective of market conditions. Grading for Phases 1 and 2 may proceed independently of the balance of the Specific Plan Areas, but mass grading for Phases 3 and 4, once commenced, shall continue for both until complete.

1. Phase 1

Phase 1 consists of 70-foot-wide lots and estate lots at the existing terminus of Watson and Comet. Improvements for this phase are separate from the rest of the Project and could proceed independently on its own construction schedule. Planned improvements consist of:

- Extension of street improvements for Watson and Comet
- Storm drain, sewer, water, and utility extensions
- Two debris basins
- Access to potential Golf Course maintenance area (Comet extension)

2. Phase 2

Phase 2 consists of estate lots at the existing terminus of Highpoint, Cobbler Hill, and Hazelnut. Infrastructure improvements for this phase are integral to the remaining portions of the Project with respect to grading and storm drain connections to future Phase 3. Planned improvements consist of:

- Cul-de-sac street improvements on Highpoint, Cobbler Hill, and Hazelnut
- Sewer, water, and utility extensions
- Off-site storm drain to Phase 3 southeasterly of Cobbler Hill (may include temporary debris basin)

3. Phase 3

Phase 3 represents the extension of Sequoia Avenue. The westerly portion of Phase 3 consists of 70-foot-wide and 55-foot-wide lots at the existing terminus of Sequoia and Talbert. This phase would also include the Neighborhood Park site between VCWPD's existing basin and "C" Street. Planned improvements consist of:

- Extension of street improvements to provide looped access for Sequoia and Talbert
- Median improvements for off-site Sequoia
- Extension of storm drain, sewer, water, and utilities
- Drainage channel extension of existing Talbert Channel
- Culvert storm drain improvements under "C" Street
- Additional access for VCWPD to its existing basin
- Access to potential Golf Course clubhouse area
- Completion and dedication of the PA 11 public park delivered within 12 months of completion of graded pad

The easterly portion of Phase 3 consists of 70-foot-wide, 60-foot-wide, and 55-foot-wide lots taking access from the planned extension of Sequoia. This phase would also include the senior housing component of the Project. Planned improvements consist of:

- Extension of street improvements to provide looped access for Sequoia and planned street improvements
- Future street connection to Brandeis-Barden
- Two million gallon domestic storage tank
- Domestic pump station improvements (on-site)
- Water trunk improvements in Sequoia (off-site) and "B" Street
- Extension of storm drain, sewer, water, and utilities
- Central detention basin along Sequoia
- Three debris basins
- Off-site storm drain connecting to Cobbler Hill

4. Phase 4

Phase 4 consists of 55-foot-wide lots and an estate lot along the planned extension of Sequoia and “B” Street. This phase would also include a private HOA Neighborhood Park and/or open space site at the intersection of Sequoia and “B” Street. Planned improvements consist of:

- Extension of Street improvements to provide looped access from Sequoia and “B” Street
- Extension of storm drain, sewer, water, and utilities
- One debris basin
- Streambed stabilization and drainage improvements upstream of the existing VCWPD basin
- Extension of storm drain, sewer, water, and utilities within HOA private driveways
- Two debris basins
- Streambed stabilization and drainage improvements upstream of the existing VCWPD basin

7.4 FINANCING

The Development of public facilities and the provision of public services associated with the Specific Plan Area could occur through a combination of financing mechanisms. These mechanisms are described below:

7.4.1 Possible Financing Mechanisms

An infrastructure financing program is important to implementation of the Specific Plan. The financing program needs to assure the timely financing of public streets, utilities, and other necessary capital improvements.

Various techniques are available for financing of the improvements associated with Project Development. The exact financing method for various improvements will be determined in conjunction with the phasing of the infrastructure. Some of the possible funding mechanisms for public improvements include, but are not limited to:

- Impact fees;
- Conventional subdivision financing;
- Turn key construction by Project Applicants;
- Land reservation, offers of dedication, fee dedications and/or easements;
- Per unit hook up charges;
- Reimbursement agreements; and
- State and/or Federal grants and loans (e.g., Federal Transportation Funds and various infrastructure financing programs).

7.4.2 Impact Fees

Development within the Specific Plan and the provision of public services shall be subject to impact fees from the City, special districts, and other governmental agencies (e.g., SVUSD) except for those fees that are specifically addressed in a Development Agreement.

7.5 MAINTENANCE RESPONSIBILITIES

This section describes the various agencies or groups that will be responsible for maintaining the different land uses within the Specific Plan Area. Refer to Figure 7.5-1, Maintenance Responsibilities for a graphic depiction of these areas.

7.5.1 City of Simi Valley

The City will maintain the public right-of-ways including streets, on-street bikeways, and sidewalks. The City, RSRPD, and/or other public or non-profit agencies will also maintain the open spaces within the potential Golf Course area upon their dedication of land-in-fee to such an agency(ies).

7.5.2 Open Space Conservation Entity(ies)

The majority of the Specific Plan Area is preserved as open space and agricultural use through deed restrictions and/or conservation easement. Maintenance of the property will remain the responsibility of the property owner or beneficiary of the conservation easement.

7.5.3 Rancho Simi Recreation and Park District

The Neighborhood Park located near the center of the Project Area will be maintained by the RSRPD.

7.5.4 Ventura County Watershed Protection District

This area for ongoing regional flood control purposes will be maintained by the VCWPD.

7.5.5 Ventura County Fire Protection District

The parcel containing the Emergency Helispot (within the Planning Area 12) will be maintained by the VCFPD.

7.5.6 Southern California Water Company

The parcel containing the water storage facility (within Planning Area 12) will be maintained by the SCWC.

7.5.7 Master Homeowners Association

All common areas, as called out on the Tentative Map, shall be maintained by a HOA. The HOA will be formed to provide for the maintenance of: slope areas not located within individual lots; fuel modification zones; landscape and irrigation in the median within Sequoia Avenue between the northern Specific Plan Area boundary to High Point Place; landscaping and irrigation in parkways of streets; storm drain facilities that may include surface drains, detention basins, debris basins, stormwater pollution control devices and other appurtenances thereto; and other landscaping, irrigation, and improvements in common areas. Landscape maintenance may include, but not necessarily be limited to, weeding, removal and replacement of dead or dying plants, pruning, irrigation management, and periodic fertilization. The HOA areas of maintenance responsibility are shown in concept on Figure 7.5-1, Maintenance Responsibilities. The Applicant shall submit a master maintenance plan showing all areas, within the Specific Plan Area, for which the HOA is to have maintenance responsibility. The final master maintenance program and plan is to be reviewed and approved by the Public Works and Environmental Services Departments prior to the approval and the recordation of any Final Tract Map.

The HOA will be responsible for certain, designated maintenance responsibilities related to the public open space properties to be dedicated to a public entity(ies). These include: (1) maintenance of those portions of required 100-foot fuel modification buffer zones located within the public open space parcels, (2) maintenance of all drainage devices located within the public open space parcels not maintained by public agencies, 3) HOA private driveways as set forth in Section 5.2.1.3, and (4) any other maintenance required by the City of Simi Valley, Ventura County Watershed Protection District, Department of Fish and Game, or other agencies with jurisdiction over site resources. A Maintenance Agreement between the HOA and the governmental entity(ies) will define any required maintenance responsibilities and will be recorded as part of the Project's CC&Rs.

The Applicant shall establish the Runkle Canyon HOA for maintenance of all common areas included within the Specific Plan. The HOA shall include representation from all of the Planning Areas and shall enforce the recorded CC&Rs as prepared by the Applicant. The CC&Rs will implement the Development standards, private uses and maintenance program for each Planning Area within the Specific Plan Area. The Runkle Canyon residents will pay a monthly assessment to the HOA, which will pay for the costs of maintaining and operating the common areas.

7.5.8 Tree Maintenance/Monitoring Program

The master landscape plan for Runkle Canyon will incorporate several relocated or replaced Mature Trees as part of the Mature Tree mitigation program as described in the Horticultural Tree Report (Addendums) prepared by Trees, Etc. Trees, which are candidates for relocation, and/or the replacement trees, may be planted at Project or neighborhood entries, on graded slopes within the reestablished landscape area, or within other HOA maintained landscape areas. (Refer to Figure 4.5-1, Master Landscape Concept Plan and Figure 7.5-1, Maintenance Responsibilities).

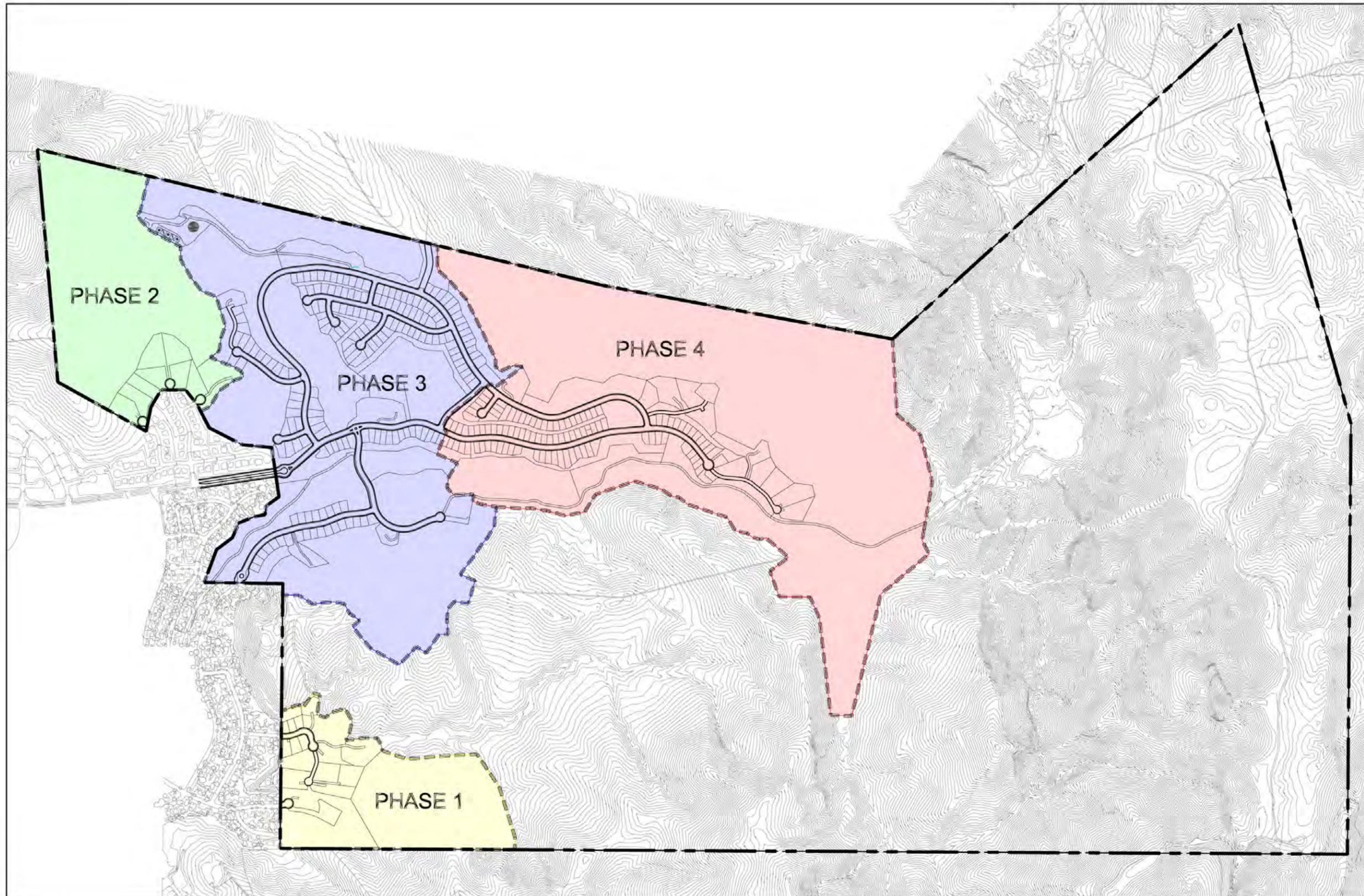
A Tree Maintenance / Monitoring Program for the relocated and replacement trees and preserved trees immediately adjacent to grading limits, shall be established, by the Applicant prior to issuance of the grading permit. The City-approved and HOA-maintained Program shall contain provisions to monitor the health of these trees for a period of three years from the date of planting. The Program shall define the following monitoring actions: assure the establishment and initial growth of mitigation plantings; coordinate and undertake the required planting maintenance and monitoring requirements of the applicable governmental agencies; and annually document the growth and health of such plantings over the three-year period. The Program shall also provide for a replacement program of trees of equal value in the event that any of the referenced trees die or require removal within the three-year time period.

7.5.9 Senior Homeowners Association(s)

A Senior HOA may be created for maintenance of common areas within a Planning Area.

The senior housing neighborhood (Planning Area 4) should require the formation of a Senior HOA for maintenance of its common ownership structures and areas, and the Senior Recreation Facility.

All residents within the Senior HOA shall also be part of the HOA.



LEGEND

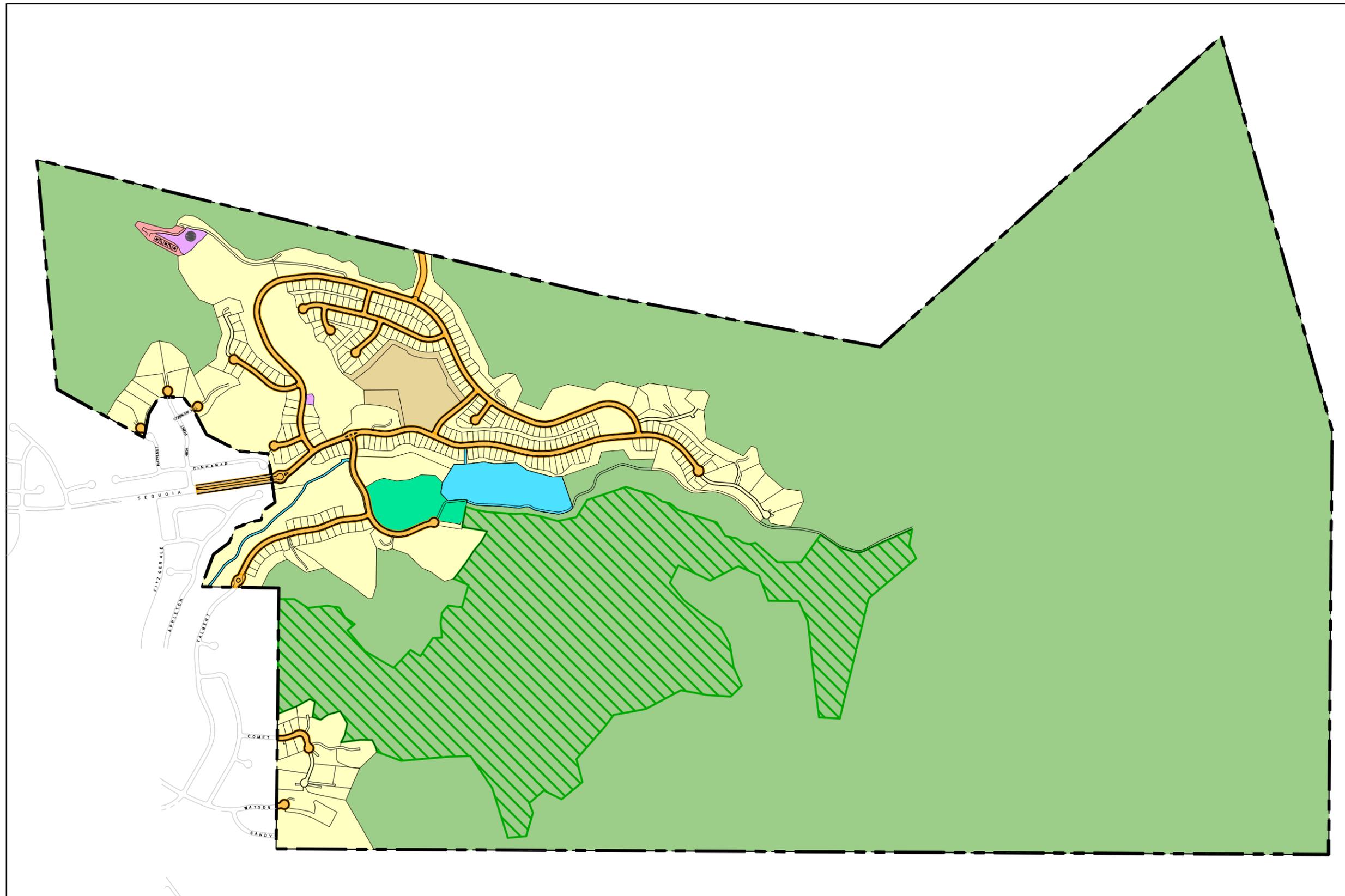
-  PHASING BOUNDARY
-  PHASE 1
-  PHASE 2
-  PHASE 3
-  PHASE 4

Figure 7.3-1

CONCEPTUAL PHASING PLAN
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC



LEGEND

--- PROJECT BOUNDARY

MAINTENANCE RESPONSIBILITIES

POTENTIAL GOLF COURSE

MASTER AND SUB SINGLE FAMILY HOA

SENIOR HOA

CITY OF SIMI VALLEY (Exclusive of Parkways and Medians)

RANCHO SIMI RECREATION AND PARKS DISTRICT

VENTURA COUNTY WATERSHED PROTECTION DISTRICT

VENTURA COUNTY FIRE PROTECTION DISTRICT

SOUTHERN CALIFORNIA WATER COMPANY

PRIVATE/PUBLIC RANCH MANAGEMENT

Figure 7.5-1

MAINTENANCE RESPONSIBILITIES
Runkle Canyon Specific Plan



GreenPark Runkle Canyon, LLC

LEGAL DESCRIPTION/OWNERSHIP

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: (634-010-049)

PARCEL 3, IN THE CITY OF SIMI VALLEY, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT AN UNDIVIDED FIFTY PERCENT (50%) OF ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES AND MINERALS IN AND UNDER THE SAID LAND, WITHOUT, HOWEVER, ANY RIGHT TO ENTER ON THE SURFACE OR WITHIN 500 FEET BENEATH THE SURFACE THEREOF, AS RESERVED BY JOHN H. RUNKLE, ET AL., IN DEED RECORDED DECEMBER 3, 1979 IN BOOK 5553, PAGE 1 OF OFFICIAL RECORDS.

PARCEL A1:

A NONEXCLUSIVE EASEMENT ON, OVER AND ACROSS THE EQUESTRIAN TRAILS ON PARCELS 1, 2 AND 6, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED IN DECLARATION OF RESTRICTIONS RECORDED DECEMBER 3, 1979 IN BOOK 5552, PAGE 954 OF OFFICIAL RECORDS, EXECUTED BY JOHN H. RUNKLE, ET AL., AND PERTAINING TO PARCELS 1, 2, 3, 4, 5 AND 6 OF SAID PARCEL MAP.

PARCEL B: (685-040-007, 09, 10, 14, 16, 19, 20, 21, 22, 24; 685-051-022, 23; 685-130-016)

ALL OF PARCEL 4, AND A PORTION OF PARCEL 6 IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30, PAGE 7 OF PARCEL MAPS, SHOWN AS PARCEL A OF THAT CERTAIN PARCEL MAP WAIVER NO. 567 RECORDED JANUARY 3, 1992 AS INSTRUMENT NO. 92-414 OF OFFICIAL RECORDS.

EXCEPT AN UNDIVIDED FIFTY PERCENT (50%) OF ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES AND MINERALS IN AND UNDER SAID LAND, WITHOUT, HOWEVER, ANY RIGHT TO ENTER ON THE SURFACE, OR WITHIN 500 FEET BENEATH THE SURFACE THEREOF, AS RESERVED BY JOHN H. RUNKLE, ET AL., IN DEED RECORDED DECEMBER 3, 1979 IN BOOK 5553, PAGE 27 OF OFFICIAL RECORDS.

PARCEL BI:

A NONEXCLUSIVE EASEMENT ON, OVER AND ACROSS THE EQUESTRIAN TRAILS ON PARCELS 1, 2 AND 3 OF PARCEL MAP 3268, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, RECORDED IN BOOK 30, PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED IN DECLARATION OF RESTRICTIONS RECORDED DECEMBER 3, 1979 IN BOOK 5552, PAGE 954 OF OFFICIAL RECORDS, EXECUTED BY JOHN H. RUNKLE, ET AL. AND PERTAINING TO PARCELS 1, 2, 3, 4, 5 AND 6 OF SAID PARCEL MAP 3268.

PARCEL C: (685-040-025)

PARCEL 5, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT AN UNDIVIDED 50% OF ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES AND MINERALS IN AND UNDER THE SAID PARCEL 5, WITHOUT HOWEVER, ANY RIGHT TO ENTER ON THE SURFACE OR WITHIN 500 FEET BENEATH THE SURFACE THEREOF, AS RESERVED BY JOHN H. RUNKLE, ET AL., IN DEED RECORDED DECEMBER 6, 1979 IN BOOK 5555, PAGE 211 OF OFFICIAL RECORDS.

PARCEL CI:

A NON-EXCLUSIVE EASEMENT ON, OVER AND ACROSS PARCEL 6, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, FOR PURPOSES OF INGRESS AND EGRESS AND PUBLIC UTILITY PURPOSES, BEING AN EASEMENT 60.00 FEET WIDE, LYING EQUALLY 30.00 FEET ON EACH SIDE, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF THAT CERTAIN RESERVOIR SITE DESCRIBED AS PARCEL B IN BOOK 865 PAGE 178 OF OFFICIAL RECORDS OF SAID COUNTY WHICH BEARS NORTH 82° 28' 41" WEST 25.00 FEET FROM THE NORTHEASTERLY CORNER OF SAID RESERVOIR SITE; THENCE PARALLEL TO SAID EASTERLY LINE,

1ST: SOUTH 7° 31' 19" WEST 240 FEET; THENCE,

2ND: SOUTH 42° WEST 240 FEET; THENCE,

3RD: SOUTH 12° WEST 300 FEET; THENCE,

4TH: WEST 215.75 FEET.

THE SIDELINES OF SAID STRIP OF LAND, 60.00 FEET WIDE SHALL BE PROLONGED OR SHORTENED SO AS TO INTERSECT ONE ANOTHER AT THE ANGLE POINTS, THE NORTHERLY LINE OF SAID PARCEL B PER BOOK 865 PAGE 178 OF OFFICIAL RECORDS AND A LINE HAVING A BEARING OF NORTH 5° 55' 32" WEST AT THE WESTERLY TERMINUS OF THE ABOVE DESCRIBED FOURTH COURSE.

PARCEL C2:

A NON-EXCLUSIVE EASEMENT ON, OVER AND ACROSS PARCEL 6, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCELS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, FOR AN EQUESTRIAN BRIDLE PATH DESCRIBED AS FOLLOWS:

AN EASEMENT 30.00 FEET WIDE, LYING EQUALLY 15.00 FEET ON EACH SIDE, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT WHICH BEARS SOUTH 0° 09' 23" EAST 4650 FEET FROM THE COMMON CORNER OF SECTIONS 14, 15, 22 AND 23, TOWNSHIP 2 NORTH RANGE 18 WEST, RANCHO SIMI AS SHOWN ON MAP RECORDED IN BOOK 30 PAGES 59 AND 60 OF RECORD OF SURVEYS OF SAID COUNTY; THENCE,

1ST: SOUTH 71° EAST 1280 FEET; THENCE,

2ND: EAST 700° FEET; THENCE,

3RD: NORTH 68° EAST 400 FEET.

THE SIDE LINES OF SAID STRIP OF LAND, 30.00 FEET WIDE, SHALL BE PROLONGED OR SHORTENED SO AS TO INTERSECT ONE ANOTHER AT THE ANGLE POINTS, A LINE HAVING A BEARING OF SOUTH 0° 09' 23" EAST AT THE NORTHWESTERLY TERMINUS, OF THE ABOVE DESCRIBED FIRST COURSE AND A LINE HAVING A BEARING OF NORTH 88° 00' 00" WEST AT THE NORTHEASTERLY TERMINUS OF THE ABOVE DESCRIBED THIRD COURSE.

THE OWNER OF THE SERVIENT TENEMENT SHALL HAVE THE RIGHT TO RELOCATE SUCH EASEMENT FROM TIME TO TIME BY RECORDING A DECLARATION OF RELOCATED EASEMENT DESCRIBING THE RELOCATED EASEMENT, PROVIDED SUCH RELOCATION IS A REASONABLE ONE CONSIDERING THE PURPOSES OF SUCH EASEMENTS.

PARCEL C3:

A NON-EXCLUSIVE EASEMENT, ON, OVER AND ACROSS PARCEL 4, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, FOR AN EQUESTRIAN BRIDLE TRAIL, DESCRIBED AS FOLLOWS:

AN EASEMENT 30.00 FEET WIDE, LYING EQUALLY 15.00 FEET ON EACH SIDE, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE MOST SOUTHEASTERLY CORNER OF SAID TRACT "B" AS PER MAP RECORDED IN BOOK 3 PAGE 7 OF MAPS AND AS SHOWN ON MAP RECORDED IN BOOK 30 PAGES 59 AND 60 OF RECORD OF SURVEYS OF SAID COUNTY; THENCE ALONG THE EASTERLY LINE OF SAID TRACT "B" AS SHOWN ON MAP RECORDED IN BOOK 30 PAGES 59 AND 60 OF RECORD OF SURVEYS THE FOLLOWING THREE COURSES, NORTH 42° 42' 48" WEST 4632.68 FEET; THENCE NORTH 9° 53' 33" EAST 2914.66 FEET; THENCE NORTH 12° 56' 32" EAST 1840.47 FEET TO THE TRUE POINT OF BEGINNING; THENCE FROM SAID TRUE POINT OF BEGINNING,

1ST: WEST 280 FEET; THENCE,

2ND: NORTH 50° WEST 350 FEET; THENCE,

3RD: SOUTH 79° WEST 480 FEET; THENCE,

4TH: WEST 320 FEET; THENCE,

5TH: NORTH 54° WEST 500 FEET; THENCE,

6TH: WEST 365.49 FEET TO A POINT IN THE CENTERLINE OF THE BELOW DESCRIBED PARCEL E WHICH BEARS NORTH 23° WEST 556.67 FEET FROM THE SOUTHEASTERLY TERMINUS OF THE 3RD COURSE OF SAID PARCEL E DESCRIBED AS SOUTH 23° EAST 996.88 FEET.

THE SIDE LINES OF SAID STRIP OF LAND 30.00 FEET WIDE, SHALL BE PROLONGED OR SHORTENED SO AS TO INTERSECT ONE ANOTHER AT AN ANGLE POINT, THE EASTERLY LINE OF SAID TRACT "B" AND THE EASTERLY LINE OF SAID PARCEL E.

THE OWNER OF THE SERVIENT TENEMENT SHALL HAVE THE RIGHT TO RELOCATE SUCH EASEMENT FROM TIME TO TIME BY RECORDING A DECLARATION OF RELOCATED EASEMENT DESCRIBING THE RELOCATED EASEMENT, PROVIDED SUCH RELOCATION IS A REASONABLE ONE CONSIDERING THE PURPOSES OF SUCH EASEMENT.

PARCEL C4:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS ON, OVER AND ACROSS PARCELS 3 AND 4, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

AN EASEMENT 60.00 FEET WIDE, LYING EQUALLY 30.00 FEET ON EACH SIDE, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF THAT CERTAIN COURSE OF PARCEL A AS SHOWN ON MAP RECORDED IN BOOK 27 PAGE 32 OF PARCEL MAPS OF SAID COUNTY, HAVING A BEARING OF NORTH 80° 58' 36" EAST AND A LENGTH OF 492.00 FEET, DISTANT THEREON NORTH 80° 58' 56" EAST 242.00 FEET FROM THE WESTERLY TERMINUS OF SAID COURSE; THENCE,

1ST: SOUTH 9° 01' 14" EAST 345.83 FEET, AT 85.83 FEET THE SOUTH LINE OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 18 WEST, RANCHO SIMI AS SHOWN ON MAP FILED IN BOOK 27 PAGE 34 OF PARCELS MAPS OF SAID COUNTY; THENCE,

2ND: SOUTH 15° WEST 260 FEET; THENCE,

3RD: SOUTH 23° EAST 996.88 FEET; THENCE,

4TH: SOUTH 7° 31' 19" WEST 593.98 FEET TO A POINT IN THE NORTHERLY LINE OF THAT CERTAIN RESERVOIR SITE DESCRIBED AS PARCEL B IN BOOK 865 PAGE 178 OF OFFICIAL RECORDS OF SAID COUNTY WHICH BEARS NORTH 82° 32' 05" WEST 25.00 FEET FROM THE NORTHEASTERLY CORNER THEREOF.

THE SIDELINES OF SAID STRIP OF LAND, 60.00 FEET WIDE, SHALL BE PROLONGED OR SHORTENED SO AS TO INTERSECT ONE ANOTHER AT THE ANGLE POINTS, THE SOUTHERLY LINE OF SAID PARCEL A PER BOOK 27 PAGE 32 OF PARCEL MAPS AND THE NORTHERLY LINE AND EASTERLY PROLONGATION THEREOF OF SAID PARCEL B PER BOOK 865 PAGE 178 OF OFFICIAL RECORDS.

PARCEL C5:

A NON-EXCLUSIVE EASEMENT ON, OVER AND ACROSS THE EQUESTRIAN TRAILS ON PARCELS 1, 2, 3, 4, AND 6, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED IN DECLARATION OF RESTRICTIONS DATED NOVEMBER 7, 1979, AND RECORDED ON DECEMBER 3, 1979 AS INSTRUMENT NO. 79-135447, IN BOOK 5552 PAGE 954 OF

OFFICIAL RECORDS, EXECUTED BY JOHN H. RUNKLE, ET AL., AND PERTAINING TO PARCELS 1, 2, 3, 4, 5, AND 6 OF SAID PARCEL MAP.

PARCEL C6:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS ON AND OVER PARCEL "A" IN THE CITY OF SIMI VALLEY, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 27 PAGE 32 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS SET FORTH IN THAT CERTAIN ACCESS AGREEMENT, DATED MAY 25, 1978 AND RECORDED JANUARY 16, 1979 IN BOOK 5306 PAGE 193 OF OFFICIAL RECORDS.
PARCEL D: (685-130-018)

THAT PORTION OF PARCEL 6 IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30, PAGE 7 OF PARCEL MAPS, SHOWN AS PARCEL B OF THAT CERTAIN PARCEL MAP WAIVER NO. 567 RECORDED JANUARY 3, 1992 AS INSTRUMENT NO. 92-414 OF OFFICIAL RECORDS.

EXCEPT AN UNDIVIDED FIFTY PERCENT (50%) OF ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES AND MINERALS IN AND UNDER SAID LAND, WITHOUT, HOWEVER, ANY RIGHT TO ENTER ON THE SURFACE, OR WITHIN 500 FEET BENEATH THE SURFACE THEREOF, AS RESERVED BY JOHN H. RUNKLE, ET AL., IN DEED RECORDED DECEMBER 3, 1979 IN BOOK 5553, PAGE 1 OF OFFICIAL RECORDS.

PARCEL DI:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS ON, OVER AND ACROSS PARCELS 3 AND 4, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

AN EASEMENT 60.00 FEET WIDE, LYING EQUALLY 30.00 FEET ON EACH SIDE, MEASURED AT RIGHT ANGLES FROM THE FOLLOWING DESCRIBED CENTERLINE,

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF THAT CERTAIN COURSE OF PARCEL A AS SHOWN ON MAP RECORDED IN BOOK 27 PAGE 32 OF PARCEL MAPS OF SAID COUNTY, HAVING A BEARING OF NORTH 80° 58' 36" EAST AND A LENGTH OF 492.00 FEET, DISTANT THEREON NORTH 80° 58' 56" EAST 242.00 FEET FROM THE WESTERLY TERMINUS OF SAID COURSE; THENCE,

1ST: SOUTH 9° 01' 14" EAST 345.83 FEET, AT 85.83 FEET THE SOUTH LINE OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 18 WEST, RANCHO SIMI AS SHOWN ON MAP FILED IN BOOK 27 PAGE 34 OF PARCELS MAPS OF SAID COUNTY; THENCE,

2ND: SOUTH 15° WEST 260 FEET; THENCE,

3RD: SOUTH 23° EAST 996.88 FEET; THENCE.

4TH: SOUTH 7° 31' 19" WEST 593.98 FEET TO A POINT IN THE NORTHERLY LINE OF THAT CERTAIN RESERVOIR SITE DESCRIBED AS PARCEL B IN BOOK 865 PAGE 178 OF OFFICIAL RECORDS OF SAID COUNTY WHICH BEARS NORTH 82° 32' 05" WEST 25.00 FEET FROM THE NORTHEASTERLY CORNER THEREOF.

THE SIDELINES OF SAID STRIP OF LAND, 60.00 FEET WIDE, SHALL BE PROLONGED OR SHORTENED SO AS TO INTERSECT ONE ANOTHER AT THE ANGLE POINTS, THE SOUTHERLY LINE OF SAID PARCEL A PER BOOK 27 PAGE 32 OF PARCEL MAPS AND THE NORTHERLY LINE AND EASTERLY PROLONGATION THEREOF OF SAID PARCEL B PER BOOK 865 PAGE 178 OF OFFICIAL RECORDS.

PARCEL D2:

A NON-EXCLUSIVE EASEMENT ON, OVER AND ACROSS THE EQUESTRIAN TRAILS ON PARCELS 1, 2, 3, AND 4, IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A PARCEL MAP FILED IN BOOK 30 PAGE 7 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED IN DECLARATION OF RESTRICTIONS DATED NOVEMBER 7, 1979, AND RECORDED ON DECEMBER 3, 1979 AS INSTRUMENT NO. 79-135447, IN BOOK 5552 PAGE 954 OF OFFICIAL RECORDS, EXECUTED BY JOHN H. RUNKLE, ET AL., AND PERTAINING TO PARCELS 1, 2, 3, 4, 5, AND 6 OF SAID PARCEL MAP.

PARCEL D3:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS ON AND OVER PARCEL "A", IN THE CITY OF SIMI VALLEY, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED IN BOOK 27 PAGE 32 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS SET FORTH IN THAT CERTAIN ACCESS AGREEMENT. DATED MAY 25, 1978 AND RECORDED JANUARY 16, 1979 IN BOOK 5306 PAGE 193 OF OFFICIAL RECORDS.

GENERAL PLAN AND MUNICIPAL CODE CONSISTENCY ANALYSIS

1. INTRODUCTION

This section analyzes the consistency of the Specific Plan with the stated goals of the General Plan's various elements and the Municipal Code.

A Land Use Plan Amendment filed in 1998 for the Specific Plan Area reconfigured the residential designations on the property to conform to the Hillside Performance Standards (HPS). Of the total 1,595.5 acres, the Land Use Plan Amendment designates 460 acres of the Runkle Canyon Specific Plan Area for potential residential Development, with the remaining 1,135 acres designated for open space.

Table B-1 shows the approximate number of dwelling units allowed within the Specific Plan Area, excluding General Plan permitted bonus density provisions, based upon the 1988 General Plan Land Use Map and application of the City's HPS.

**TABLE B-1
1988 GENERAL PLAN LAND USE MAP
SLOPE/DENSITY CALCULATIONS**

Land Use Designation/ Density	SLOPE %	Acreage	Target Density (DU/Ac.)	Units
Open Space 1.0 DU/Acre		1,135.5	0.025	28
Estate 0-1.0 DU/Acre				
	0-10%	20.9	1.000	21
	10-15%	14.8	1.000	15
	15-20%	6.6	.250	2
	20%+	106.7	.025	3
Subtotal:		149.0		41
Medium 3.26-3.7 DU/Acre				
	0-10%	61.1	3.700	226
	10-15%	28.5	2.000	57
	15-20%	29.7	.250	7
	20%+	100.7	.025	3
Subtotal:		220.0		293
Moderate 5.1-7.0 DU/Acre*				
	0-10%	38.7	7.000	270
	10-15%	8.9	2.000	18
	15-20%	7.7	.250	2
	20%+	35.7	.025	1
Subtotal:		91.0		291
TOTALS:		1,595.5		653

* Does not include density bonus to Top of Bonus Range of 10 DU/Acre for senior housing projects.

Table B-2 shows the approximate number of dwelling units allowed within the Specific Plan Area, excluding General Plan permitted bonus density provisions, based upon the General Plan Amendment Land Use Map and application of the City's HPS.

**TABLE B-2
2003 GENERAL PLAN LAND USE MAP
SLOPE/DENSITY CALCULATIONS**

Land Use Designation/ Density	SLOPE %	Acreage	Target Density (DU/Ac.)	Units
Open Space 1.0 DU/Acre		1,350.9	0.025	34
Estate 0-1.0 DU/Acre				
	0-10%	23.6	1.000	24
	10-15%	10.1	1.000	10
	15-20%	10.3	.250	3
	20%+	5.4	.025	0
Subtotal:		49.4		37
Medium 3.26-3.7 DU/Acre				
	0-10%	24.0	3.700	89
	10-15%	22.0	2.000	44
	15-20%	22.0	.250	6
	20%+	29.5	.025	1
Subtotal:		97.5		140
Moderate 5.1-7.0 DU/Acre*				
	0-10%	33.5	7.000	234
	10-15%	17.7	2.000	35
	15-20%	19.0	.250	5
	20%+	27.5	.025	1
Subtotal:		97.7		275
TOTALS:		1,595.5		486

* Does not include density bonus to Top of Bonus Range of 10 DU/Acre for senior housing projects.
February 2004
Runkle_Cyn_SP_feb-04_appx_b_consistency_r1.doc

The following Specific Plan objectives have been applied to the planning and design process for the Specific Plan. The Specific Plan sections that address the objectives follow each.

1.1.1 Natural Resources within Preserved Open Space

- 1. Preserve 1,455.8 acres of land, ninety-one percent (91%) of the Project Area, as open space.**

The Runkle Canyon Specific Plan Land Use Plan designates 1,455.8 acres of open space, distributed among four Open Space and Recreation categories (Open Space – Neighborhood Park, Open Space – Potential Golf Course, Open Space – Emergency Helispot/Water Storage, and Open Space) as well as among specified locations within residential Planning Areas. Within Chapter 7, this Specific Plan establishes a process for the permanent dedication of open space for recreation purposes.

See Section 4.2, Land Use Designations; Section 4.2.3, Open Space Zoning; Section 4.6.1, Open Space Conservation; and Section 7.2.7, Dedication of Neighborhood Park.

- 2. Provide for the preservation of Dry Lake (the western portion of what is also known as “Burro Flats”) to preserve natural resources and scenic qualities.**

The Runkle Canyon Specific Plan Land Use Plan designates 1,455.8 acres for open space uses, including 1,150.6 acres that are to be conserved as preserved open space. A portion of this preserved open space includes the Dry Lake area located in the southerly portion of the Project area’s prominent ridgelines.

See Section 4.2, Land Use Designations; Section 4.2.3, Open Space Zoning; and Section 4.6.1, Open Space Conservation.

- 3. Provide for the preservation and/or restoration of wetland and riparian areas.**

The Runkle Canyon Specific Plan calls for the preservation of 1,150.6 acres of open space. Among this acreage includes a 0.8-acre Vernal Pool located in Dry Lake, and five drainage corridors, which are under the jurisdiction of the United States Army Corps of Engineers and the California Department of Fish and Game.

See Section 4.6.1, Open Space Conservation.

- 4. Respect the panoramic, visual, and aesthetic resources of the Specific Plan Area and surrounding region.**

The Runkle Canyon Specific Plan Land Use Plan designates 1,455.8 acres for open space uses, including 1,150.6 acres that are to be conserved as preserved open space. Portions of this preserved open space include the Dry Lake area located in the southerly portion of the Project, as well as prominent hillsides and ridgelines that characterize the Runkle Canyon area. Appendix B, Viewshed Analysis, provides graphic simulations of the potential visual impacts of Development within Runkle Canyon. The Runkle Canyon Specific Plan also includes a landscape

concept plan that emphasizes the blending of Development with the natural character of the surrounding area, in order to preserve the inherent, aesthetic nature of the Project area.

See Section 4.1.1, Community Concept; Section 4.2, Land Use Designations; Section 4.5, Landscape Concept Plan; and Appendix B, Viewshed Analysis.

5. Protect sensitive habitat areas by focusing residential Development towards areas that were historically used for cattle grazing.

The Runkle Canyon Specific Plan Land Use Plan protects sensitive habitats (Venturan sage scrub, oak woodland) and drainage/riparian areas. Residential Development within Runkle Canyon is focused in flatter, low-lying areas where grazing activities have traditionally occurred.

See Section 4.2, Land Use Designations; and Section 4.2.3, Open Space Zoning.

1.1.2 Recreational Amenities within Open Space Areas

1. Provide accessibility to the open space, including Dry Lake, via a network of paths, sidewalks, and multi-use trails with connections to existing paths and trails.

The Runkle Canyon Specific Plan provides for public access to the open space, including the Dry Lake area. Residential areas within the Project contain a system of sidewalks and improved trails that link to existing unimproved paths and service access roads.

See Section 4.2, Land Use Designations; Section 4.2.3, Open Space Zoning; and Section 5.3, Trails.

2. Establish pedestrian, bicycle and equestrian paths and trails for usage by the public with linkages to the adjacent existing neighborhoods and connections to existing paths and trails.

The Runkle Canyon Specific Plan establishes provisions for the creation of separate, yet integrated trail and bikeway systems, as shown in Figure 5.3-1, Conceptual Trail System Master Plan, and Figure 5.4-1, Class II Bikeway Plan, respectively. Both plans contain linkages between proposed residential Development and existing and proposed trails and bike paths.

See Section 5.3, Trails; and Section 5.4, Bikeways.

3. Designate 217.5 acres for a potential public Golf Course.

The Runkle Canyon Specific Plan Land Use Plan has designated a 217.5-acre area in the northwestern portion of the Project site for a potential public Golf Course (Planning Area 13). Of these 217.5 acres, approximately 168 acres could be improved for a potential, daily fee Golf Course and related facilities.

See Section 4.1.1, Community Concept; Section 4.2, Land Use Designations; Section 4.2.3, Open Space Zoning; and Section 4.6.1, Open Space Conservation.

4. Provide 6.4 acres of dedicated park land for a Neighborhood Park.

The Runkle Canyon Specific Plan Land Use Plan has designated a Planning Area in the northern central portion of the Project site for a Neighborhood Park (Planning Area 11). Within this Planning Area, a 9.2 net acre parcel is dedicated to RSRPP for a Neighborhood Park. This Neighborhood Park consists of 4.7 acres of relatively flat usable parkland and recreational improvements, with the remaining acreage to remain in a natural condition through the revegetation of manufactured slopes with drought-tolerant plants per RSRPD direction.

See Section 4.2, Land Use Designations; Section 4.2.3, Open Space Zoning; Section 6.2, Neighborhood Park; and Section 7.2.7, Dedication of Open Space/ Neighborhood Park.

5. Provide a Neighborhood Park with passive recreational opportunities.

The Runkle Canyon Specific Plan Land Use Plan has designated an area in the northern portion of the Project site for a Neighborhood Park (Planning Area 11). This park will consist of a variety of recreational amenities, including a basketball half-court, tot lot, picnic areas, open turf area, trailhead, walking trails, restrooms/maintenance building, and parking lot. The Specific Plan also contains provisions for parkland dedication as part of its Implementation Chapter 7.

See Section 4.2, Land Use Designations; Section 4.2.3, Open Space Zoning; Section 6.2, Neighborhood Park; and Section 7.2.7, Dedication of Open Space/ Neighborhood Park.

1.1.3 Community Planning

1. Minimize the modifications of the existing landforms using clustered Development techniques to achieve sensitive Development patterns.

Residential Development within Runkle Canyon is clustered within the flatter, low-lying areas where agricultural and grazing activities have traditionally occurred, and where the visual impacts of Development on the surrounding hillsides and canyons are minimized. This clustering results in a designation of 1,455.8 of the Project area's 1,595.5 acres for open space uses, including 1,150.6 acres that will

be dedicated as preserved open space. This open space includes an assortment of prominent natural features, including Dry Lake, hillsides and ridgelines, and drainage/riparian areas.

See Section 4.1.1, Community Concept; and Section 4.2.3, Open Space Zoning.

2. Locate Development adjacent to existing infrastructure in order to minimize the extension of public services and utilities.

The Runkle Canyon Specific Plan locates the vast majority of Development within the northern portion of Runkle Canyon, either contiguous to or in close proximity to existing infrastructure within the City.

See Section 4.1, Land Use Plan; Section 6.6, Water; Section 6.7, Wastewater; and Section 6.8, Drainage.

3. Design a community that results in a compatible transition to the existing adjacent residential neighborhoods.

The Runkle Canyon Specific Plan utilizes both sensitive landscape techniques and the clustering of Development within low-lying areas to create a natural transition between existing and proposed Development. The Landscape Concept Plan focuses on gently transitioning residential Development into open space portions of the Project area. Development is located within the flatter, low-lying areas of Runkle Canyon to preserve hillsides and ridgelines, thus preserving views for both future Runkle residents and those residents in adjacent neighborhoods.

See Section 4.5, Landscape Concept Plan.

4. Promote comprehensive and integrated planning and design through the assemblage of properties under multiple ownerships into the Specific Plan Area in order to prevent piecemeal Development.

Pursuant to General Plan Amendment Pre-Screening (PR-515), the Specific Plan regulates the total land assemblage.

See Section 1.1.3, Historical Background and Section 4.1, Land Use Plan.

5. Establish a maximum Development threshold of 461 residential units for the Specific Plan Area.

The Runkle Canyon Specific Plan allows for a maximum of 461 residential units within the Project area. While the Specific Plan does provide flexibility through its implementation program in allowing for minor changes to Planning Areas, it maintains the 461-unit threshold for the entire Specific Plan Area.

See Section 4.2, Land Use Designations; and Section 7.2.5, Permitting and Processing.

- 6. Provide for a variety of lot sizes ranging from a minimum of 5,500 square feet to over one acre, in a configuration consistent with the City's Residential Design Guidelines.**

The Runkle Canyon Specific Plan allows for a variety of residential lot sizes, ranging from estate lots of more than one acre, to smaller single-family detached lots of a minimum 5,500 square feet in a configuration consistent with the City's Residential Design Guidelines.

See Section 4.2.1, Residential Zoning.

1.1.4 Housing

- 1. Provide residential Development in response to the current and future demand for housing within the region.**

The Runkle Canyon Specific Plan allows for up to 461 single-family dwelling units on 139.7 acres within Runkle Canyon. The Specific Plan Land Use Plan allows for a variety of single-family residential lot sizes, ranging from estate lots to traditional single-family lots, to single-family attached, clustered units within the Senior Housing area. The Specific Plan also contains provisions for an agreement that provides 62 affordable senior housing units.

See Section 4.1.1, Community Concept; Section 4.2.1, Residential Zoning; and Section 4.4, Affordable Housing.

- 2. Promote a balanced and vital community by providing a range of housing to serve varied age groups and income levels.**

The Runkle Canyon Specific Plan Land Use Plan consists of five residential Land Use Designations, including Estate Residential, Single Family 70'-Wide Lots, Single Family 60'-Wide Lots, Single Family 55'-Wide Lots, and Senior Housing. These designations allow for a variety of single-family residential lot sizes, ranging from estate lots to traditional and smaller sized single-family lots, to single-family attached or multi-family residences within the Senior Housing area. The Specific Plan also contains provisions for an agreement that provides 62 affordable senior housing units.

See Section 4.1.1, Community Concept; Section 4.2.1, Residential Zoning; and Section 4.4, Affordable Housing.

3. Provide thirty percent (30%) of the residential units for senior housing.

The Runkle Canyon Specific Plan Land Use Plan establishes a Senior Housing residential land use designation on 14.9 acres in the northern portion of the Specific Plan Area, accommodating 138 attached residential units, or thirty percent (30%) of the total residential units allowed by this Specific Plan.

See Section 4.2, Land Use Designations; Section 4.2.1, Residential Zoning; and Section 4.4, Affordable Housing.

4. Promote housing availability for all segments of the local senior population by setting aside 62 of the residential units within the senior housing Development as affordable per the Affordable Housing Agreement.

The Runkle Canyon Specific Plan establishes provisions to provide 62 residential units as affordable within the senior housing component of the Specific Plan Land Use Plan, in conjunction with the Affordable Housing Agreement.

See Section 4.2.1, Residential Zoning and Section 4.4, Affordable Housing.

2. GENERAL PLAN ELEMENTS

LAND USE ELEMENT

GOAL III-1

Preserve and promote the image of the community as a tree-covered valley surrounded by the natural hillsides.

The Specific Plan is designed to protect the prominent ridgelines, natural hillsides, and oak woodland areas by providing ninety-one percent (91%) of the Specific Plan Area for open space uses and locating Development in a manner that avoids silhouetting against the horizon. Residential Development is primarily located on the lower elevations of the Canyon and hillsides to retain the existing open space character and preserve the natural ridgeline and existing backdrop to the community. Naturalized vegetation is used in transition areas between Development and open space as appropriate to blend with existing hillside vegetation.

GOAL III-2

Promote the efficient mapping of land uses within Simi Valley to minimize land use incompatibility and traffic impacts.

The Specific Plan is designed as an extension of the existing neighborhoods located along the northern boundary of the Project Area. The Project lots are of similar or larger size than the existing adjacent residential lots. The Specific Plan Area contains less units than allowed for by the General Plan. This will help minimize traffic impacts on Sequoia Avenue, which is designated as the main Project access and is designed with a traffic-calming median and roundabout. Both Sequoia Avenue and Talbert Avenue are designed with traffic calming devices, such as medians and traffic circles, to further reduce and minimize traffic impacts.

GOAL III-3

Preserve and protect the hillsides as an important visual aesthetic resource.

The Specific Plan Area Development protects the prominent ridgelines and unique natural land features and enhances the new community by maintaining the open character of the hillsides. The hillsides should be protected by locating residential Development at the lower elevations of the Specific Plan Area.

CONSERVATION/OPEN SPACE ELEMENT

GOAL IV-1

Conserve, enhance, and protect the natural resources of importance to the City's area of interest.

The Specific Plan provides for the permanent preservation of Dry Lake, a unique portion of the Specific Plan Area and the City's overall character. Natural resources, including hillsides, wetlands and oak woodlands will be preserved to the maximum extent feasible. There is over 1,150.6 acres of open space area that allows for the conservation and protection of the site's natural resources.

GOAL IV-2

Preserve the existing plant resources and wildlife habitat and encourage the provision of additional landscaping.

The Specific Plan provides for large, contiguous open space areas that preserves existing plant resources and wildlife habitat. Drought-resistant vegetation is utilized in Project landscape areas appropriate to the region in transition areas between Development and open space uses.

GOAL IV-3

Preserve, to the greatest extent feasible, significant archaeological and historical features of the community.

Significant archaeological and historical features if discovered within the Specific Plan Area should be excavated and collected following typical Phase III mitigation measures as prescribed by the Project entitlements.

HOUSING ELEMENT (as revised in 2002)

Overall Goals: To create a balanced community with services and housing opportunities for all economic segments of the community.

The Specific Plan provides a variety of housing types creating a balanced community with housing opportunities for a variety of economic segments. The residential types include single-family estates (1-acre minimum lots), single-family detached, and Senior Housing. Per General Plan Amendment Pre-Screening (PR-515), 62 of the senior units will be affordable units, pursuant to the Affordable Housing Agreement.

Special Needs: To establish programs to meet the special needs of target groups.

The Runkle Canyon Specific Plan provides for a minimum of thirty percent (30%) of the total Project's dwelling units to be senior citizen housing. The senior housing units are attached, clustered or a combination of both depending on Builder, market, and site topography considerations.

RECREATION ELEMENT

GOAL VI-1

Encourage the Development of a variety of recreational opportunities to the public.

The Specific Plan provides exceptional opportunities for low intensity outdoor recreational activities such as hiking, bicycling, and equestrian use and establishing passive recreational areas such as vista points and picnic areas. The character of the new community is based on, and enhanced by, the compatible integration of Development with these natural areas.

A Neighborhood Park should provide the following program elements: tot lot, half-court basketball, picnic areas, restrooms, open play turf areas, walking trails, and parking lot. This park's location in the community is ideal to serve as the trailhead for access to a Multi-Use Trail Plan linking to the regional system through a combination of existing and Specific Plan trails and paths for pedestrian, bicycle, and equestrian users. The Multi-Use Trail Plan allows access to Dry Lake and connection to the City's Master Plan of Trails.

A Senior Recreation Facility may be included within the senior housing neighborhood.

A portion of the Specific Plan Area has been designated for a potential Golf Course per the General Plan.

CIRCULATION ELEMENT

GOAL VII-1

Provide for the safe and efficient movement of people, goods, and services throughout the City while minimizing the impact of the circulation system on residential areas and the suburban character of the community.

The majority of Specific Plan's residential circulation movement utilizes ingress and egress via the southerly extension of Sequoia Avenue. The provision of a landscaped median between the northern boundary and High Point Place; and the design of traffic-calming roundabouts should potentially reduce vehicle speeds and increase safety. Residential neighborhoods will be accessed through collector and local streets designed to City standards. Actual street routing and design specifications are addressed in Chapter 5 of the Specific Plan.

SAFETY ELEMENT

GOAL VIII-1

Minimize the hazards to public health, safety, and welfare and prevent loss of life, bodily injury, and property damage resulting from natural and man-made hazards.

The Specific Plan identifies several Project constraints, including those potentially hazardous to public health, safety and welfare, such as landslides, drainage areas, and major slopes. The Project design considers these constraints, and corrective measures are incorporated into the Specific Plan.

GOAL VIII-2

In hillside areas, ensure the maximum feasible levels of safety to both existing and future hillside Development which is subject to slope and ground stability hazards.

The Specific Plan incorporates several measures to reduce slope and ground stability hazards. These include reducing hillside grading and Development by concentrating Development in the lower, flatter areas of the site, thus preserving steep hillsides and prominent ridgelines; and avoiding more severe terrain, which is more subject to flood, erosion, landslides, and mudslides. Identified landslides in proximity to Development and road improvements will also be remediated to reduce landslide hazards.

GOAL VIII-3

Adopt programs and promote actions that will minimize loss of life, injuries, and property damage resulting from flooding.

The Specific Plan incorporates City, County, and State design criteria and requirements relative to flood control and is described in Chapter 6, Public Facilities.

GOAL VIII-4

Continue the implementation and enforcement of fire prevention programs to minimize fire hazards to an acceptable level of risk.

Brush fire hazards will be minimized by the provision of fuel modification zones between Development and natural open area. This includes the utilization of fire retardant materials and establishing minimum distances between structures and natural open areas or "wet zones" (irrigated vegetation). An emergency helispot and water tank located at the northeastern corner of the Specific Plan Area provides regional fire protection.

GOAL VIII-5

The City should take appropriate actions to reduce and control the use, generation, storage and transport of hazardous materials, substances and wastes, and to minimize accidental exposure of humans and wildlife to these substances.

A network of highways for the community provide major arterials on which hazardous materials may be safely moved, to the extent determined necessary by the City, without impact to residential streets and neighborhoods.

GOAL VIII-6

The City should enforce laws and promote policies which ensure the maximum feasible seismic stability of structures and critical facilities.

Areas of potential geologic or soils instability will be appropriately investigated and mitigated during the subdivision process.

GOAL VIII-7

The City should implement programs and actions that will promote the adequate provision of emergency services during or following a natural or human caused emergency.

An emergency helispot and water tank are located at the northeastern corner of the Specific Plan Area, providing protection not just for the Project Area but for other areas of the City. Implementation of the Specific Plan also generates fees for emergency services.

GOAL VIII-8

The City should implement programs and actions that will promote public health and reduce incidents of crime.

The residential mix of the Specific Plan is designed to promote ownership by a diverse population. A balanced mix decreases the occurrence of the typical suburban, Bedroom community where entire neighborhoods are void of residents for long durations throughout the day and night. Increased ownership and resident activity decreases the potential for unobserved criminal activity.

COMMUNITY SERVICES ELEMENT

GOAL IX-1

Provide the public of Simi Valley with the maximum level of community services at a reasonable cost.

The Specific Plan includes conceptual infrastructure plans, which provide for infrastructure for the service and utility needs of the community in a cost-efficient manner.

GOAL IX-2

Maintain municipal services, public utilities and facilities at adequate levels of service.

Public infrastructure within the Project will be sized to meet Project demand. Adequate recreational facilities will be provided through a Neighborhood Park, multi-use trails, and a potential Golf Course.

GOAL IX-3

Coordinate with the Simi Valley Unified School District to identify and plan school locations and facilities.

Impact fees from this Project benefit existing school locations and facilities.

GOAL IX-4

Coordinate the phasing of Development with the provision of adequate levels of community services.

The Specific Plan includes conceptual infrastructure plans, which provide for infrastructure for the service and utility needs of the community in a timely manner, concurrent with Development.

GOAL IX-5

Maintain a water supply system capable of adequately meeting normal and emergency demands in the City.

The new water storage area located in the northeastern corner of the Specific Plan Area provides adequate supply to Runkle Canyon residents and approximately 110 existing adjacent homes that currently have a low pressure or less than reliable supply.

GOAL IX-6

Maintain a sewage disposal system to ensure its adequacy to protect the health and safety of all residents and businesses.

A Wastewater Plan is provided for in Chapter 6 and is designed to provide a level of service consistent with the master plan for the anticipated population and land uses.

GOAL IX-7

Maintain a storm drainage system adequate to protect lives and property.

The Drainage Plan of the Specific Plan, shown in Chapter 6, includes NPDES facilities to ensure the quality of runoff water. NPDES permits should be obtained for both the construction and ultimate Development phases. Best Management Practices should be incorporated into the Development and final design of drainage facilities should be proposed and reviewed as part of subsequent plan approvals (e.g., Final Tract Maps).

NOISE ELEMENT

GOAL X-1

The City shall maintain its character as a quiet suburban community.

The Specific Plan Area is located in a hillside and canyon area along the southern portion of the City. The Specific Plan land uses consist of relatively low-density residential with extensive open space, and an area for a potential Golf Course. These uses are consistent with the peaceful and quiet nature of the area, and should not introduce noise sources to existing surrounding residential uses to the north. In addition, natural hillsides have been extensively preserved, which provide a buffer between the new Development and existing Development to the north, and between the Development and the open space areas to the south.

ECONOMIC DEVELOPMENT ELEMENT

GOAL XI-1

Encourage the Development of commercial uses which meets the needs of local residents and increases tax revenues for the City.

The Specific Plan provides the opportunity to establish a Golf Course in the Specific Plan area, which could provide additional revenue to the City in the form of user fees.

AIR QUALITY ELEMENT

GOAL XII-1

Achievement of the National and California air quality standards.

The extension of public bicycle paths into the Runkle Canyon Specific Plan Area to service its residents encourages bicycle riding as an alternative transportation mode. The Applicant should coordinate with the City on innovative methods to minimize adverse air quality impacts associated with construction impacts.

3. HILLSIDE PERFORMANCE STANDARDS – VIEWSHED ANALYSIS

3.1 PURPOSE AND INTENT

The Specific Plan has been developed in general conformance with the intent of the HPS.

The hills that surround the City provide a visual backdrop to the community and serve an important component of its identity and character. The HPS, Municipal Code Sec. 9-1.1601, are intended to maintain this backdrop by preserving the open character of the visually prominent ridgelines surrounding the City. The Specific Plan Land Use Plan has been carefully and comprehensively designed to maximize preservation of important natural landforms and visually prominent ridgelines.

3.2 EXTERNAL VIEWSHED ANALYSIS

The Specific Plan Area is located in the southeasterly portion of the City. The physical characteristics of the land, including prominent ridgelines and natural landforms, provide a scenic backdrop to the City.

This section analyzes offsite views from the City's Valley floor (State Highway 118) and from existing adjacent residential neighborhoods. This analysis utilized topographic 3-D models, Project road layout, residential lots, and Project grading limits to visually demonstrate any alteration of the natural landform and the resulting effect on off-site views from several Valley floor locations, presented by the HPS, as identified in Figure B-1, View Simulations Key Map.

Figure B-1 shows View Simulations Key Map

Figure B-2 shows View 1 – Madera Road at East Los Angeles Avenue

Figure B-3 shows View 2 – Madera Road at 118 Freeway

Figure B-4 shows View 3 – Erringer Road at 118 Freeway

Figure B-5 shows View 4 – Sycamore Drive at 118 Freeway

Figure B-6 shows View 5 – Sequoia Avenue at 118 Freeway

Figure B-7 shows View 6 – Tapo Canyon Road at 118 Freeway

Figure B-8 shows View 7 – Tapo Street at 118 Freeway

Figure B-9 shows View 8 – Kadota Street at 118 Freeway

Figure B-10 shows View 9 – Stearns Street at 118 Freeway

Figure B-11 shows View 10 – Kuehner Drive at Los Angeles Avenue

Figure B-12 shows Line-of-Sight Sections

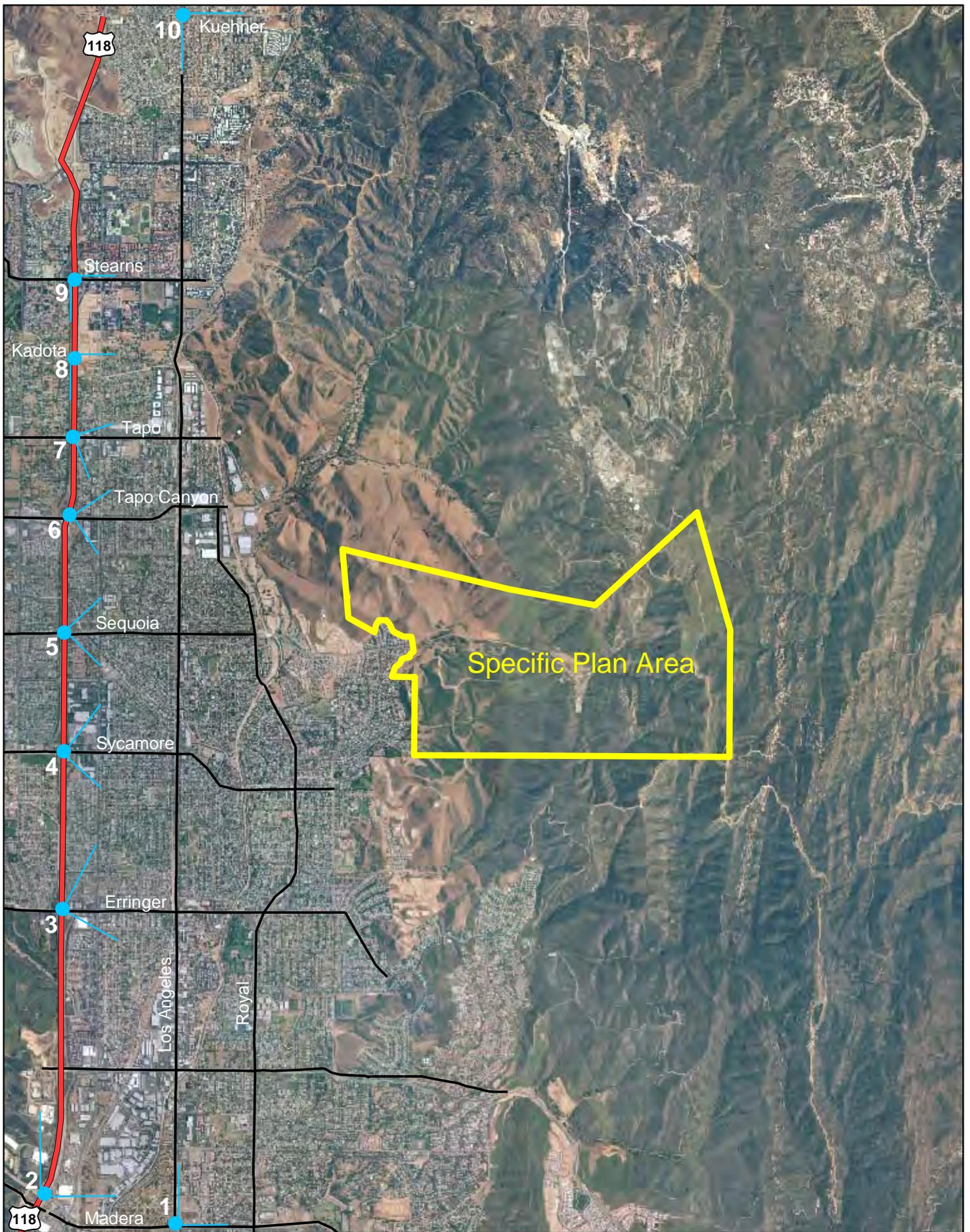
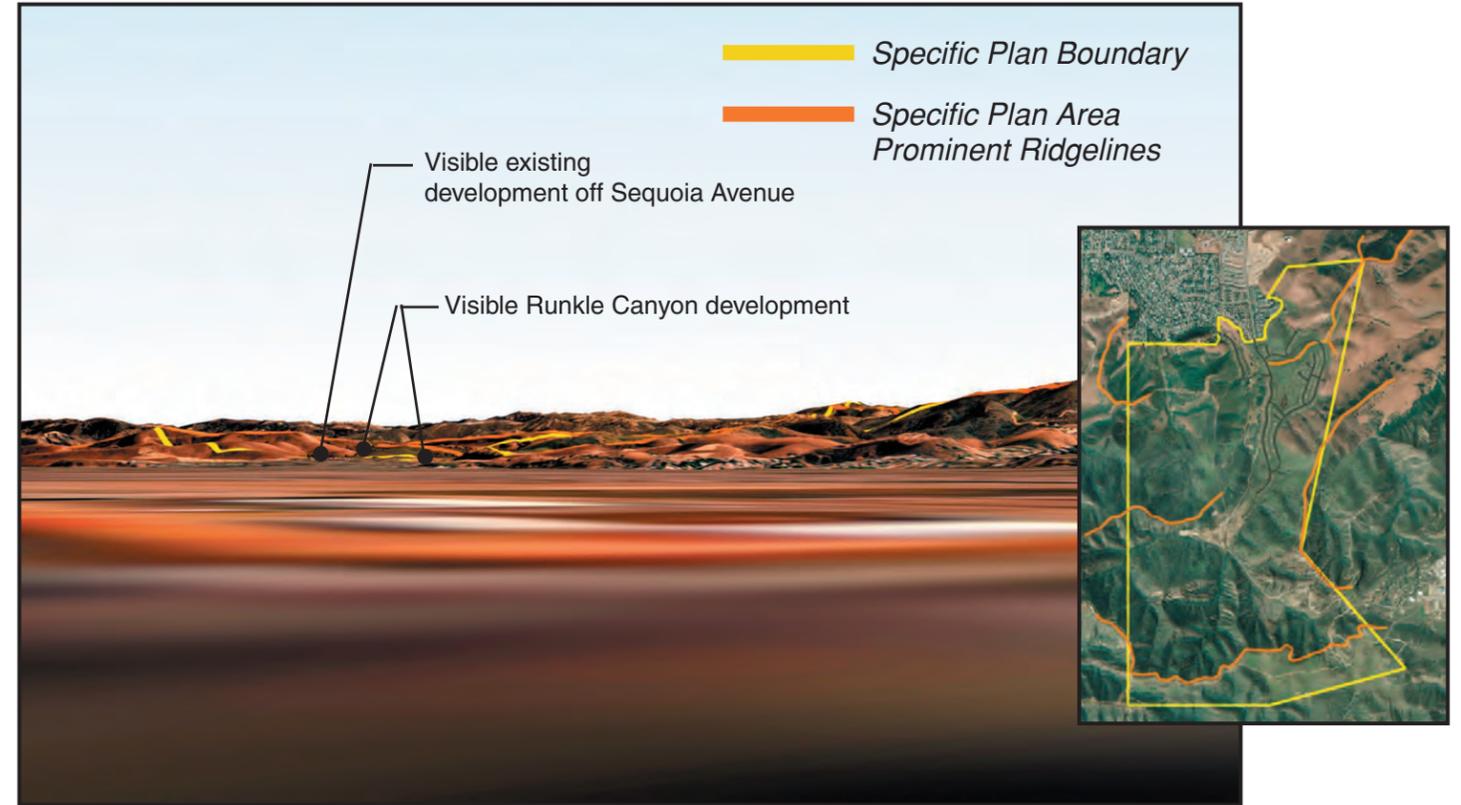


Figure B-1
VIEW SIMULATIONS KEY MAP
 Runkle Canyon Specific Plan



Existing View



Computer Model of View Impact



View Simulation



Key Map

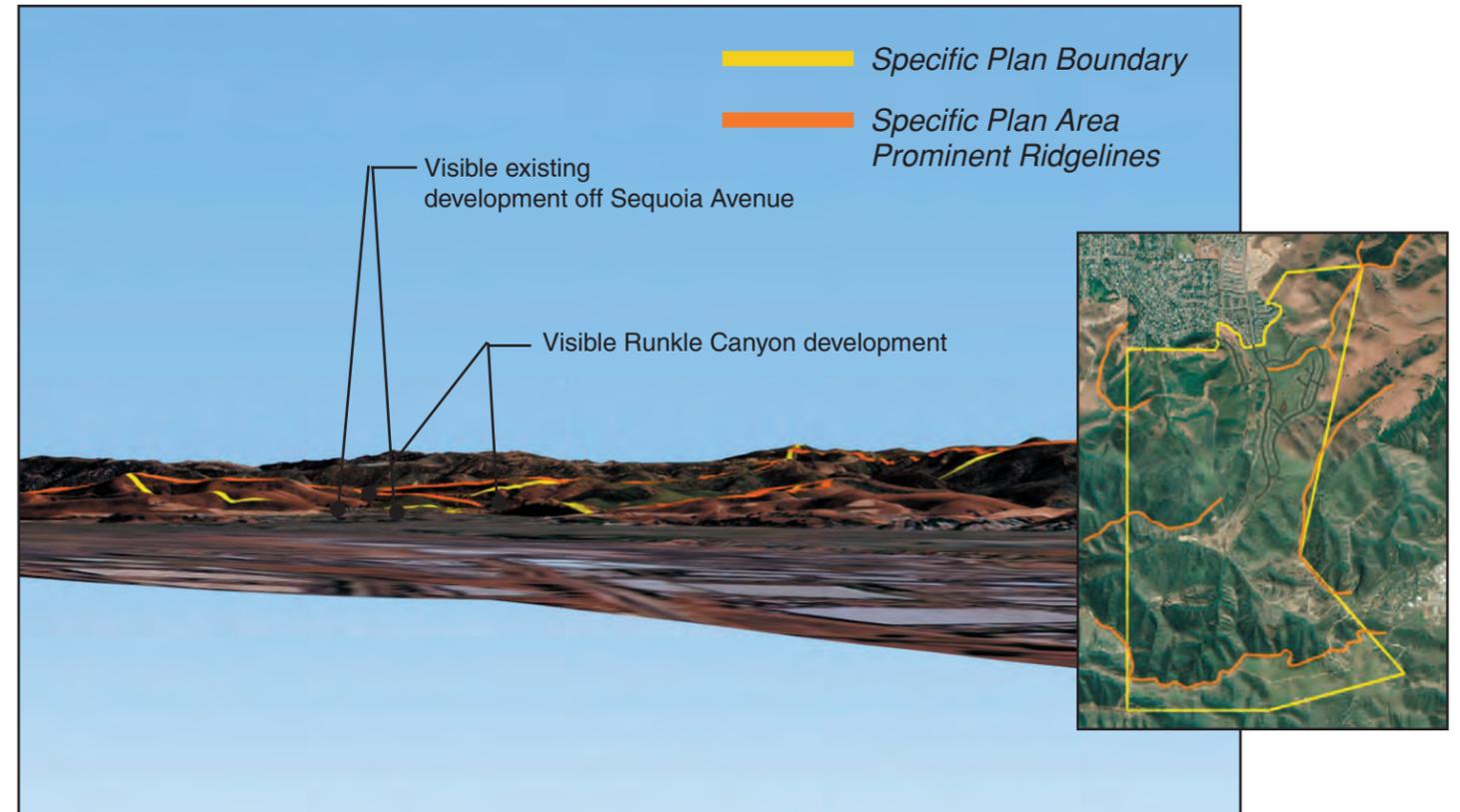
Figure B-2

**View looking Southeast from
Madera Rd. and E. Los Angeles Ave.**

February 2004 Not To Scale FORM



Existing View



Computer Model of View Impact



View Simulation

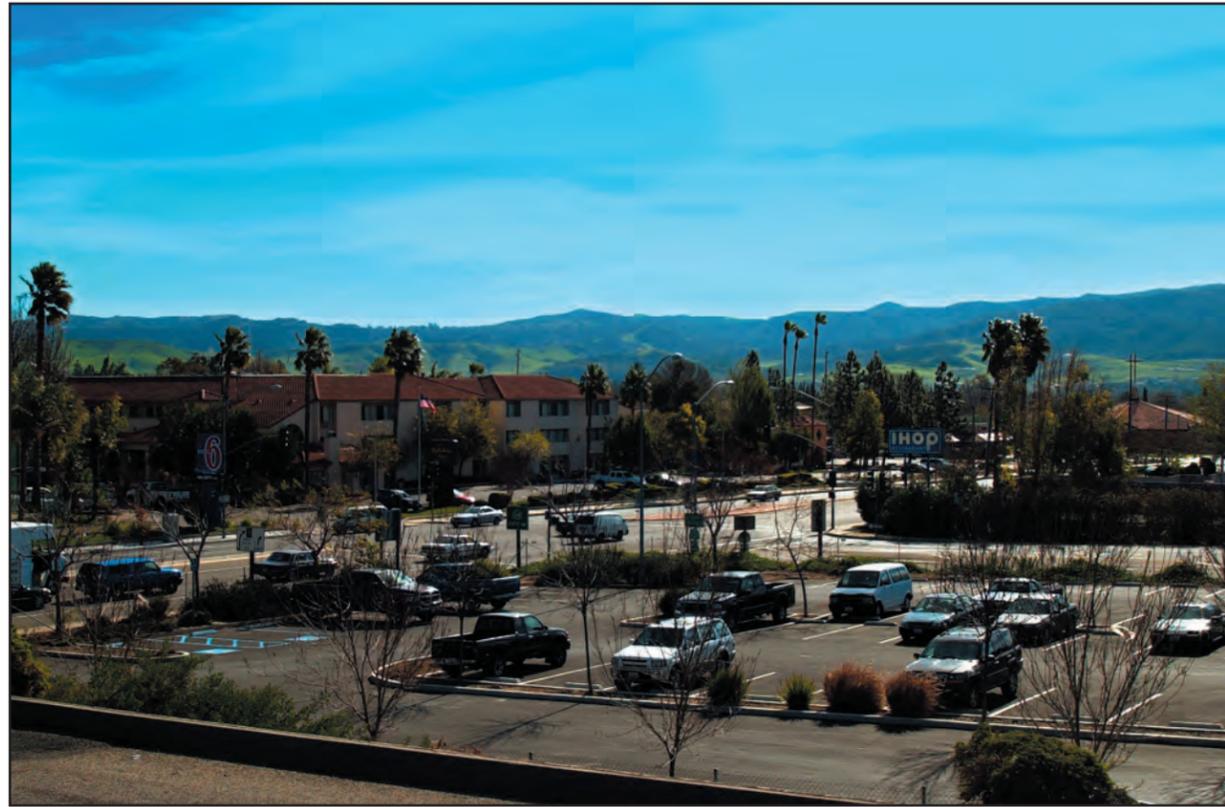


Key Map

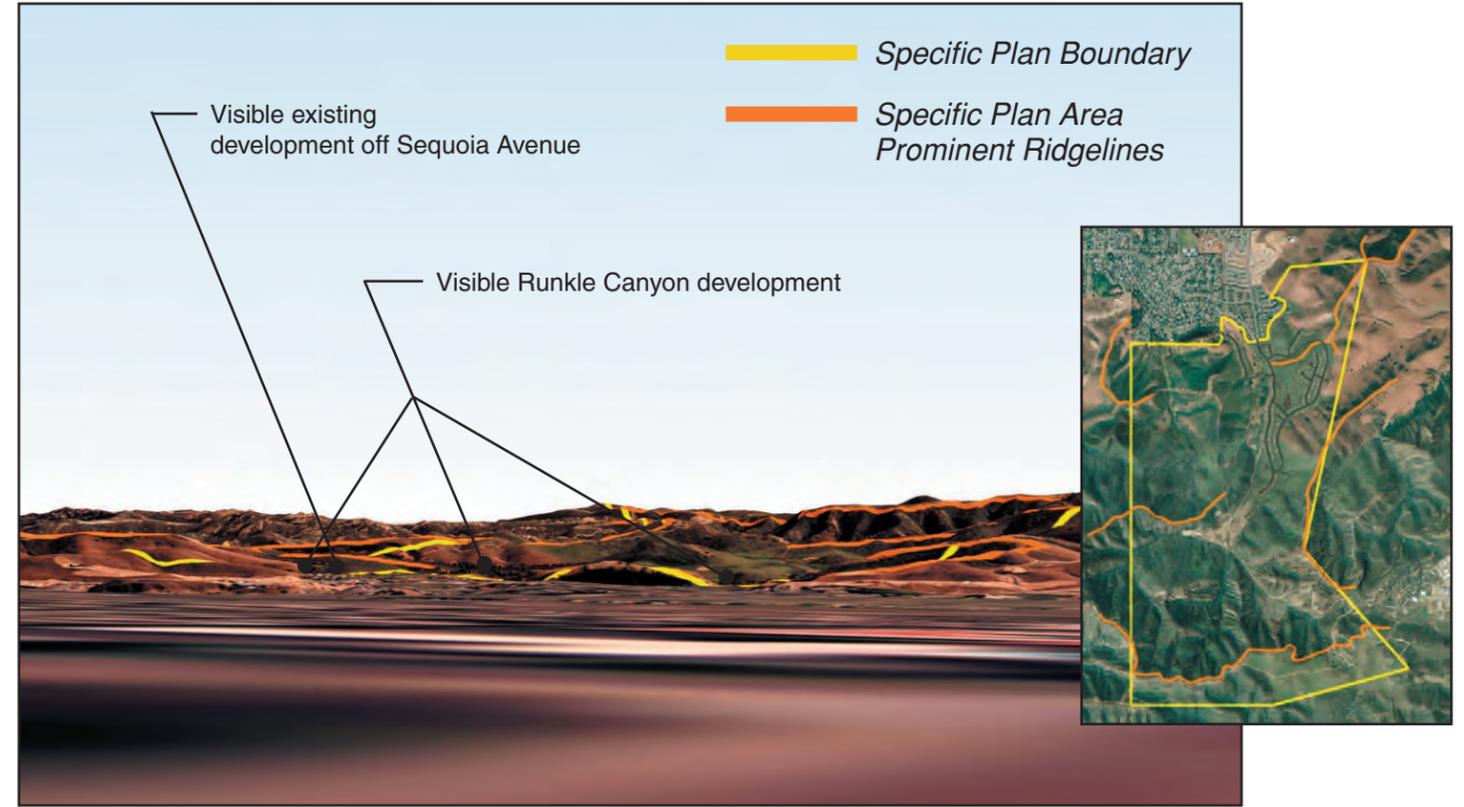
Figure B-3

**View looking Southeast from
Madera Rd. and the 118 Fwy**

February 2004 Not To Scale FORM



Existing View



Computer Model of View Impact



View Simulation

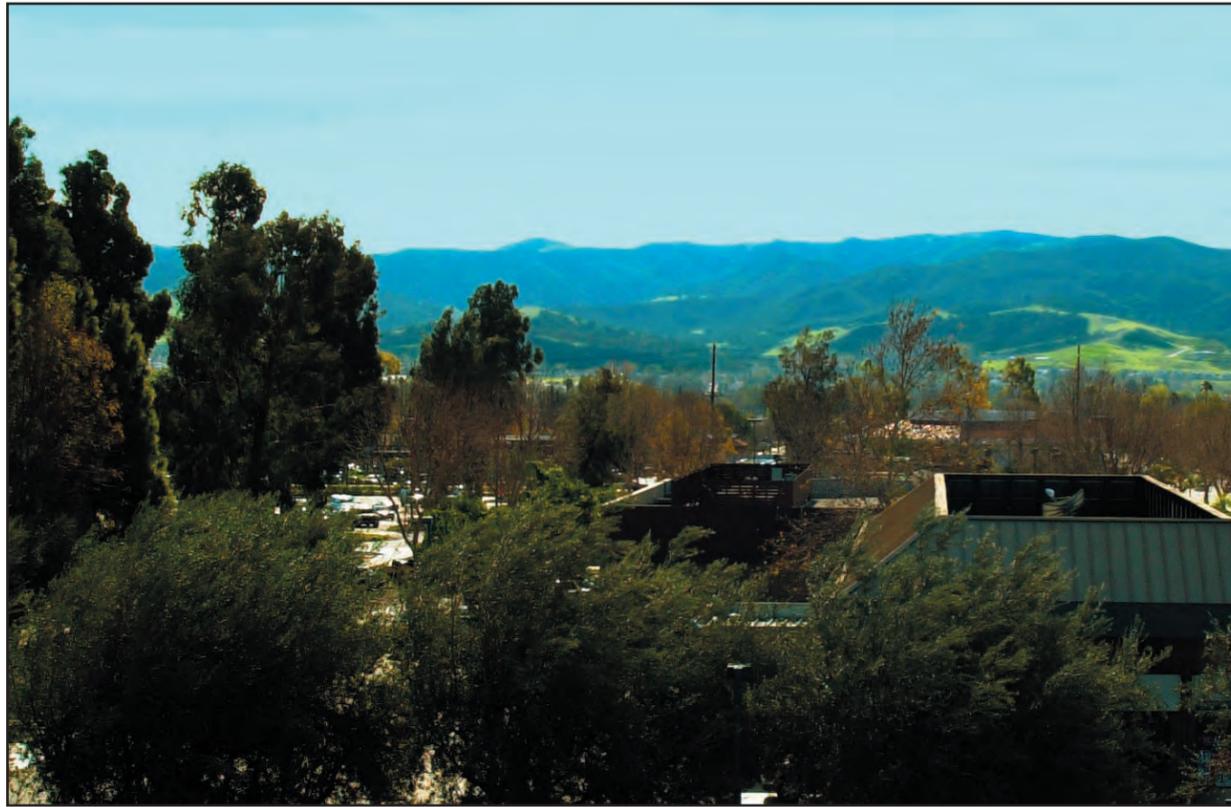


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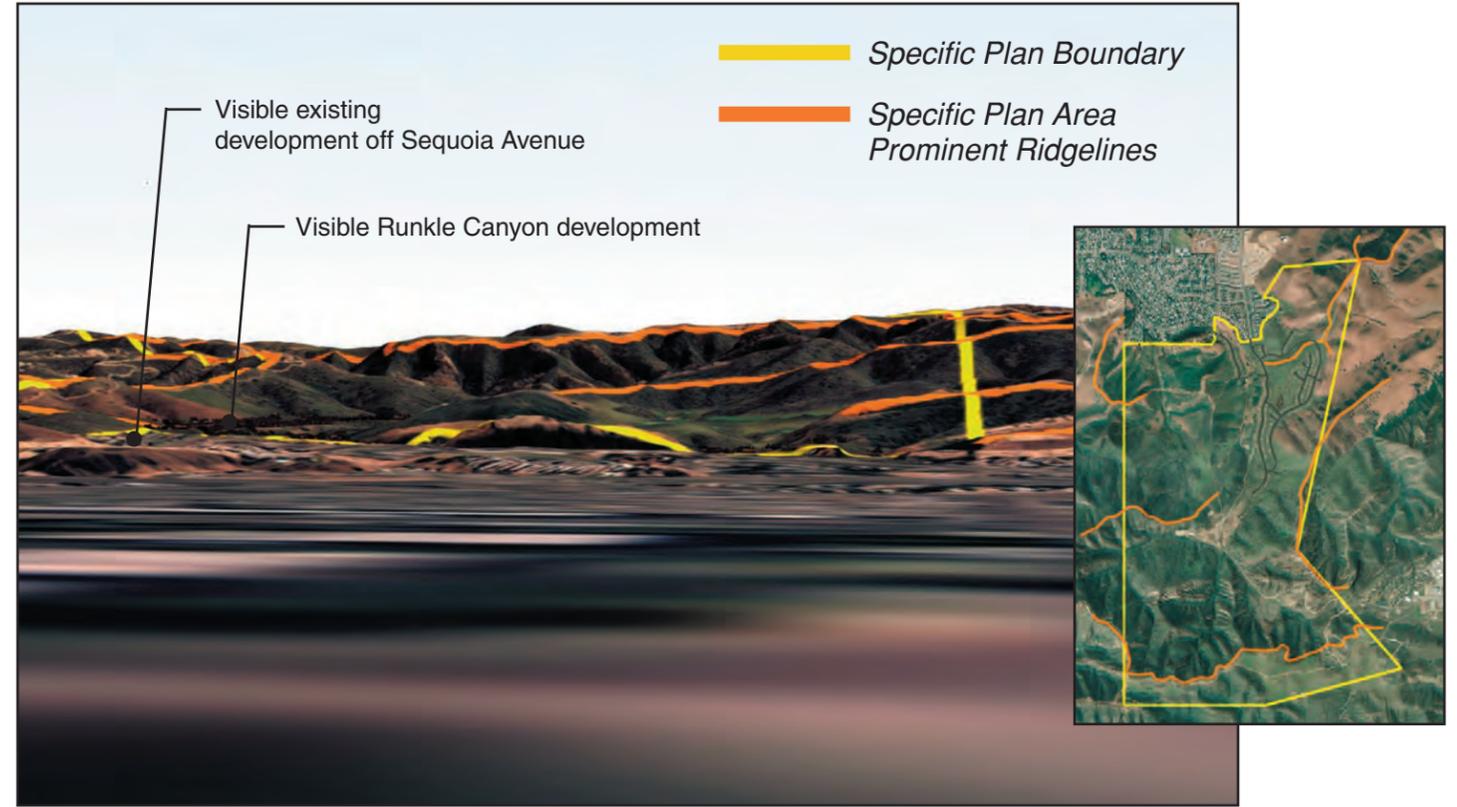
Figure B-4

View looking Southeast from Erringer Rd. and the 118 Fwy

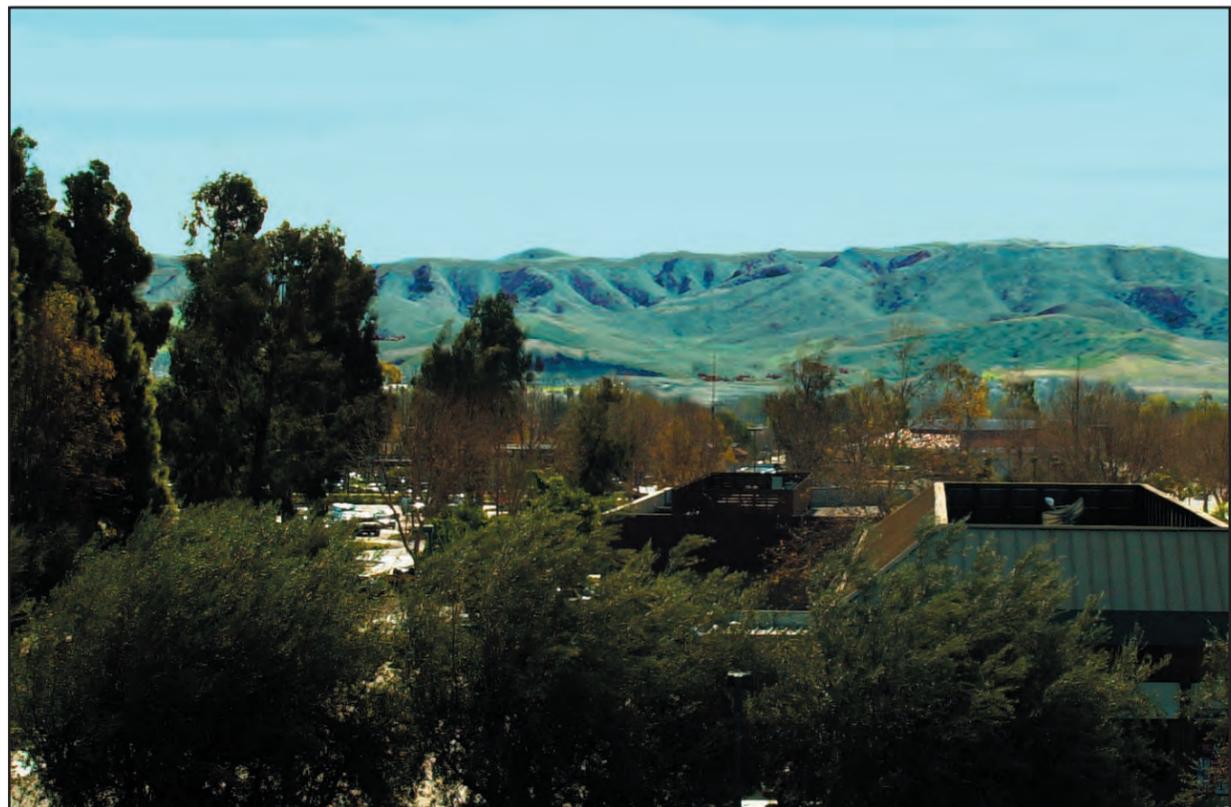
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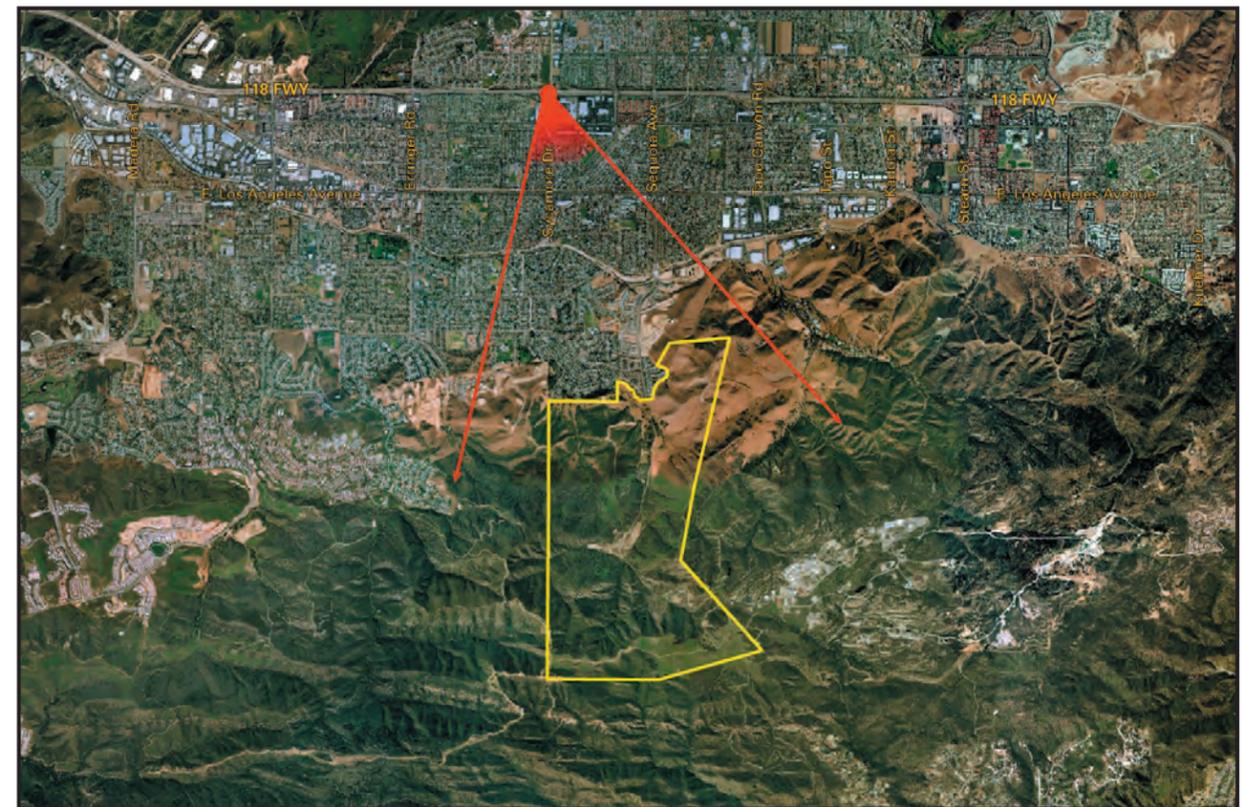
Existing View



Computer Model of View Impact



View Simulation



Key Map

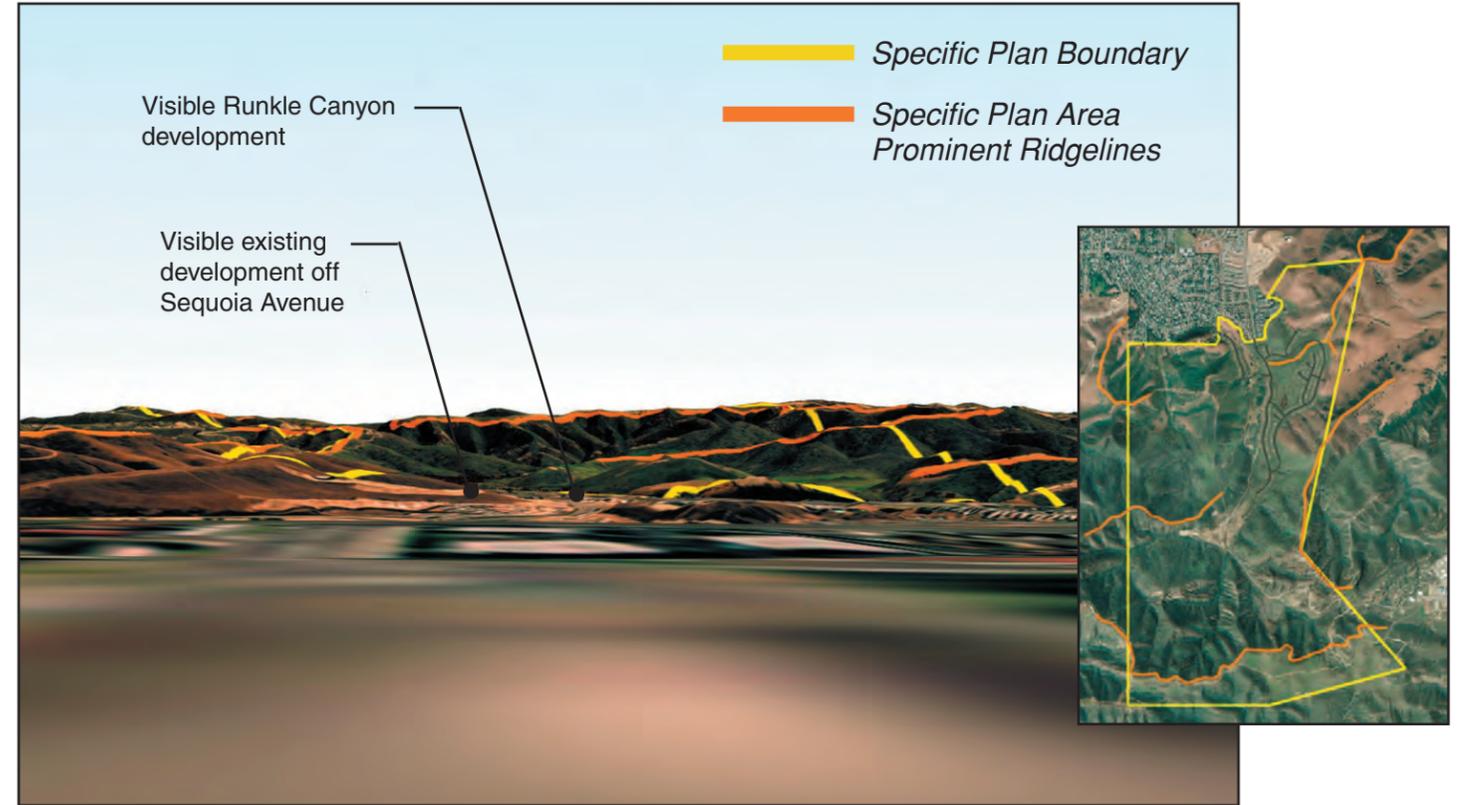
Figure B-5

**View looking South from
Sycamore Dr. and the 118 Fwy**

February 2004 Not To Scale FORM



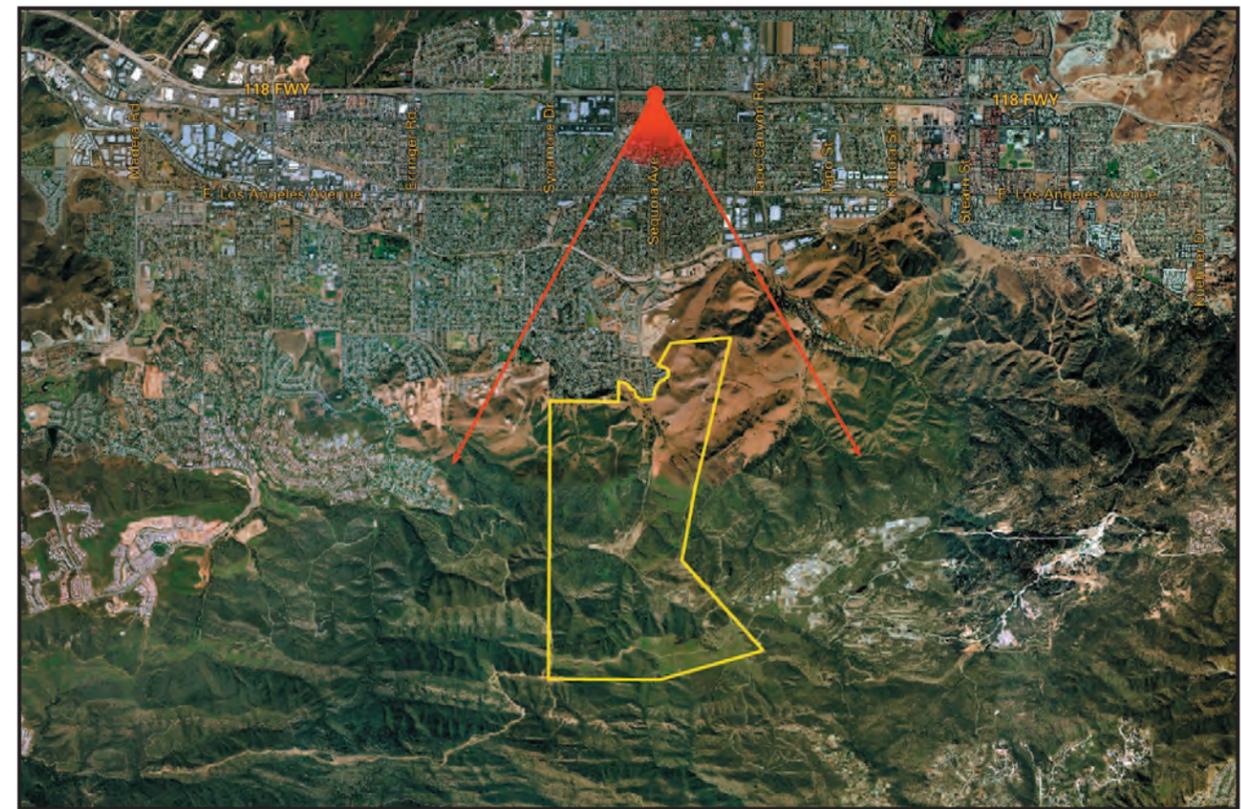
Existing View



Computer Model of View Impact



View Simulation

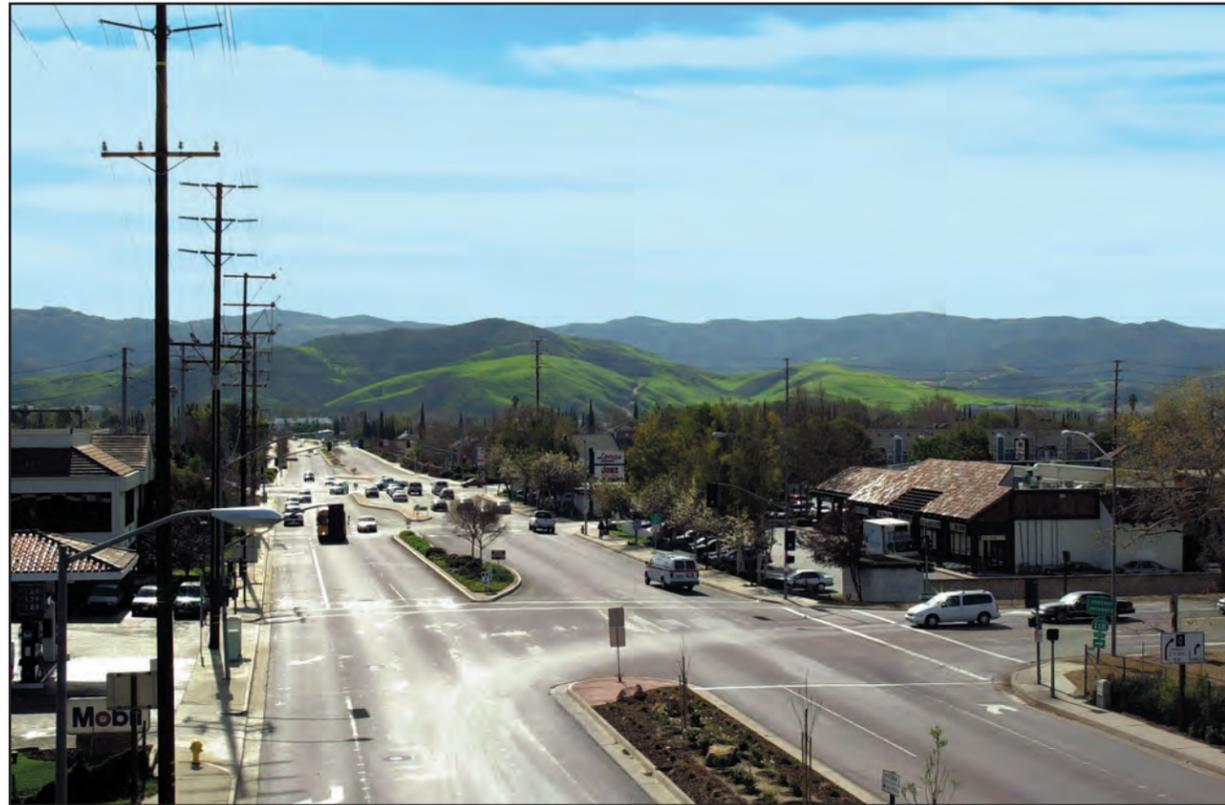


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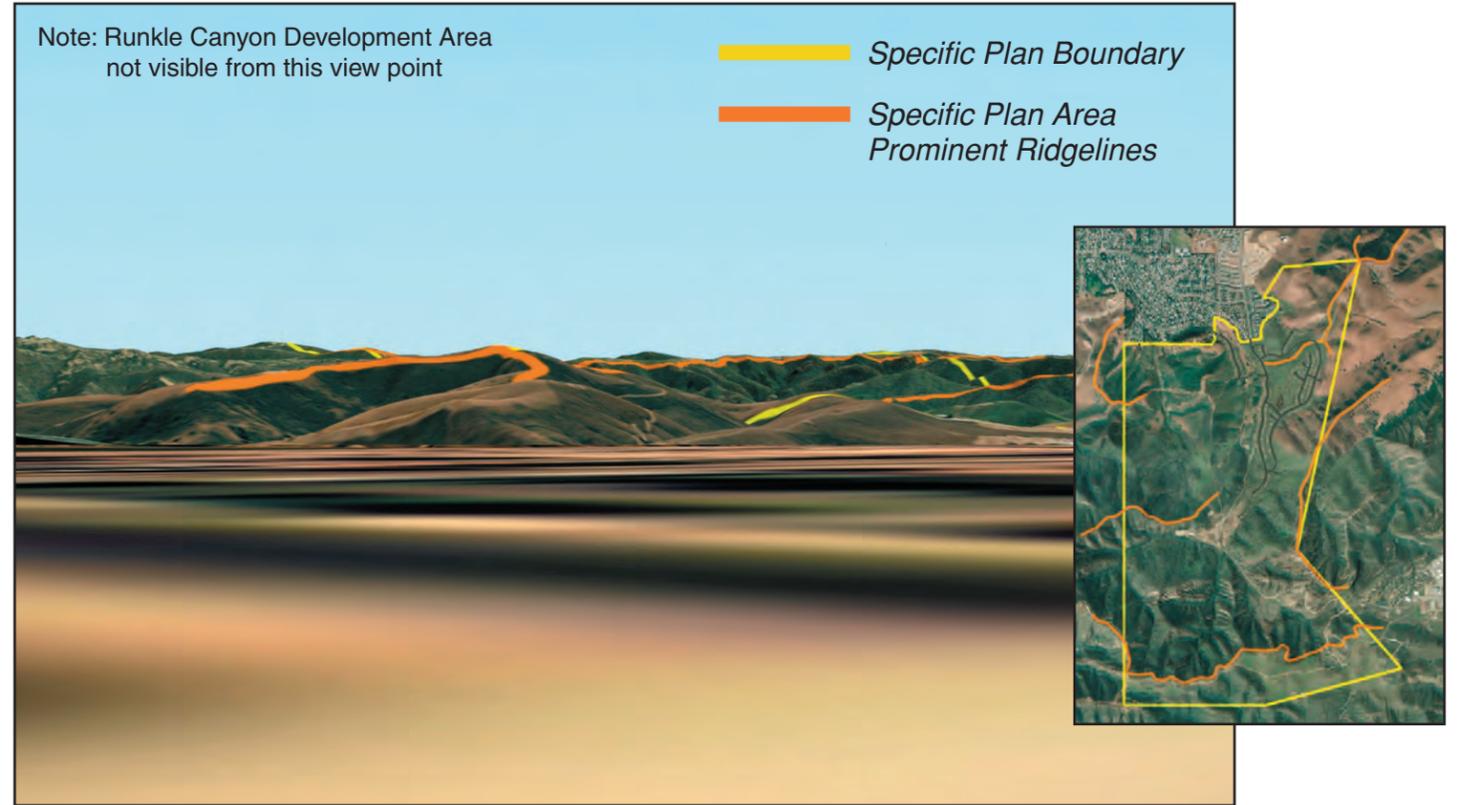
Figure B-6

View looking South from Sequoia Ave. and the 118 Fwy

February 2004 Not To Scale FORM



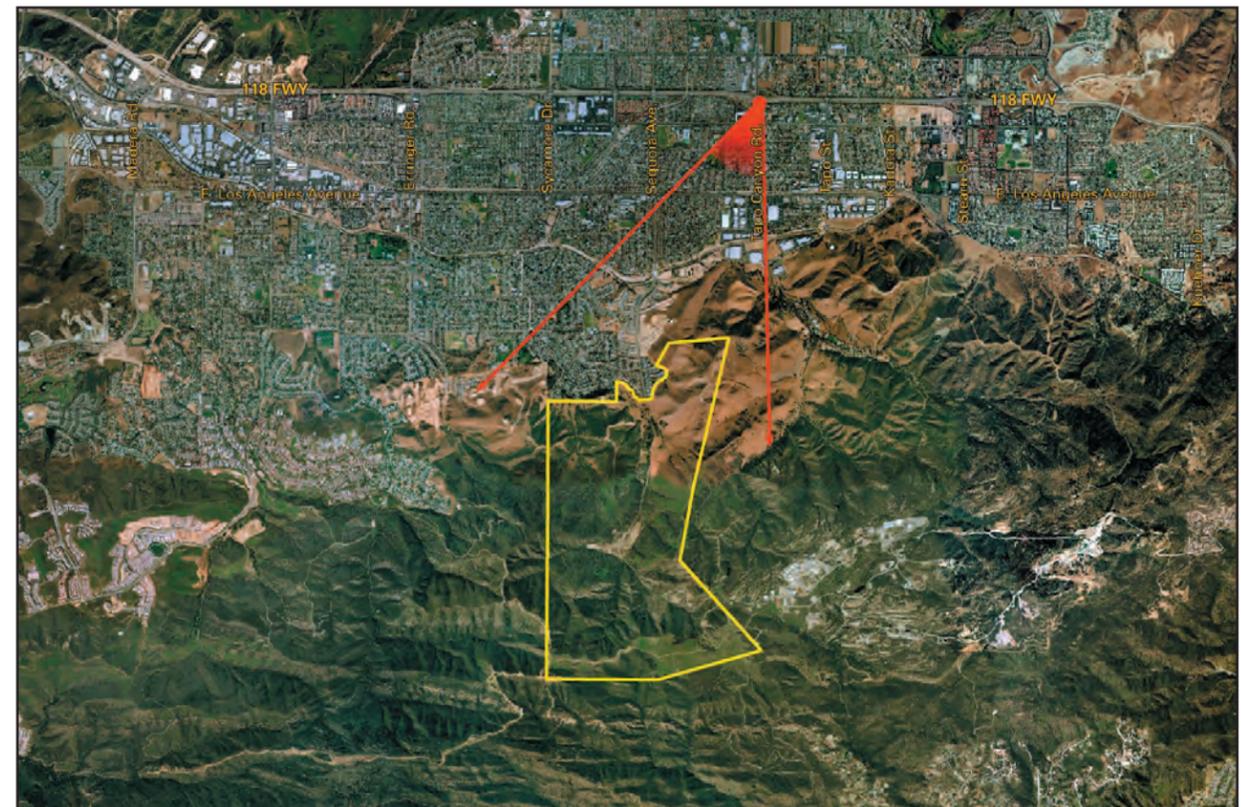
Existing View



Computer Model of View Impact



View Simulation

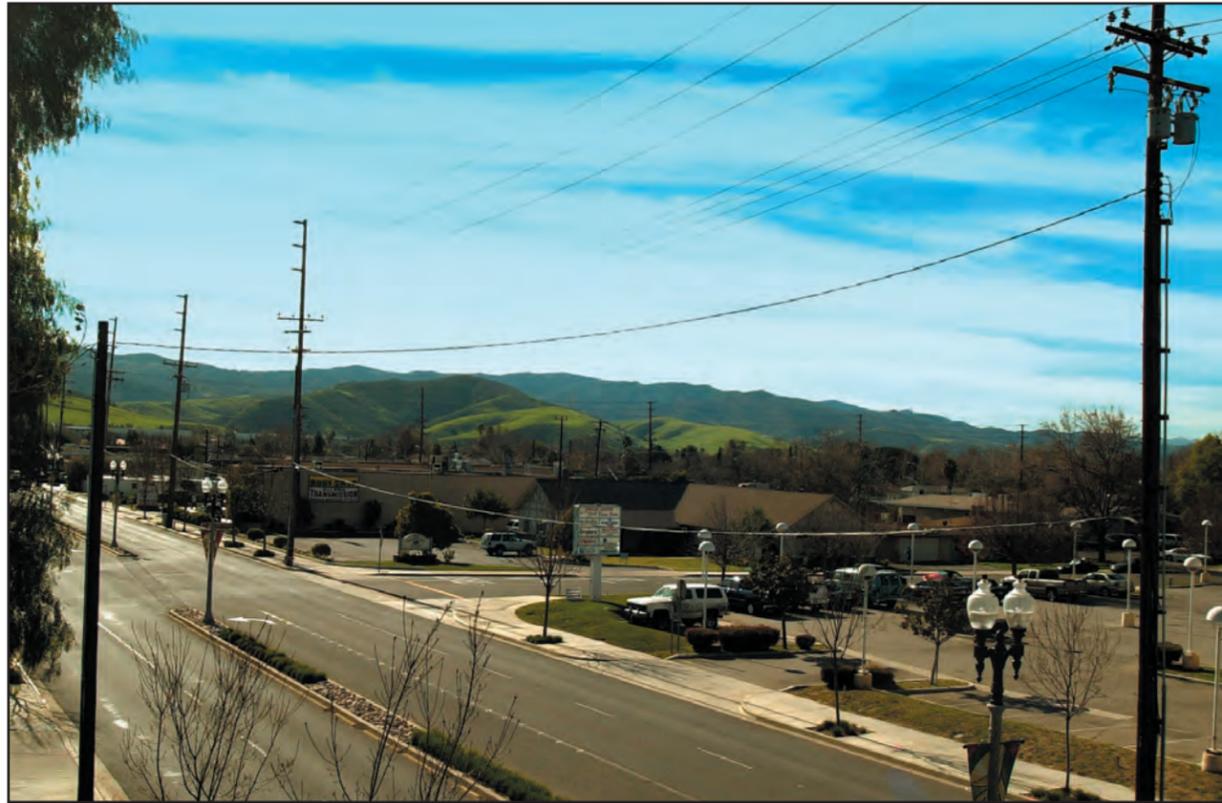


Key Map

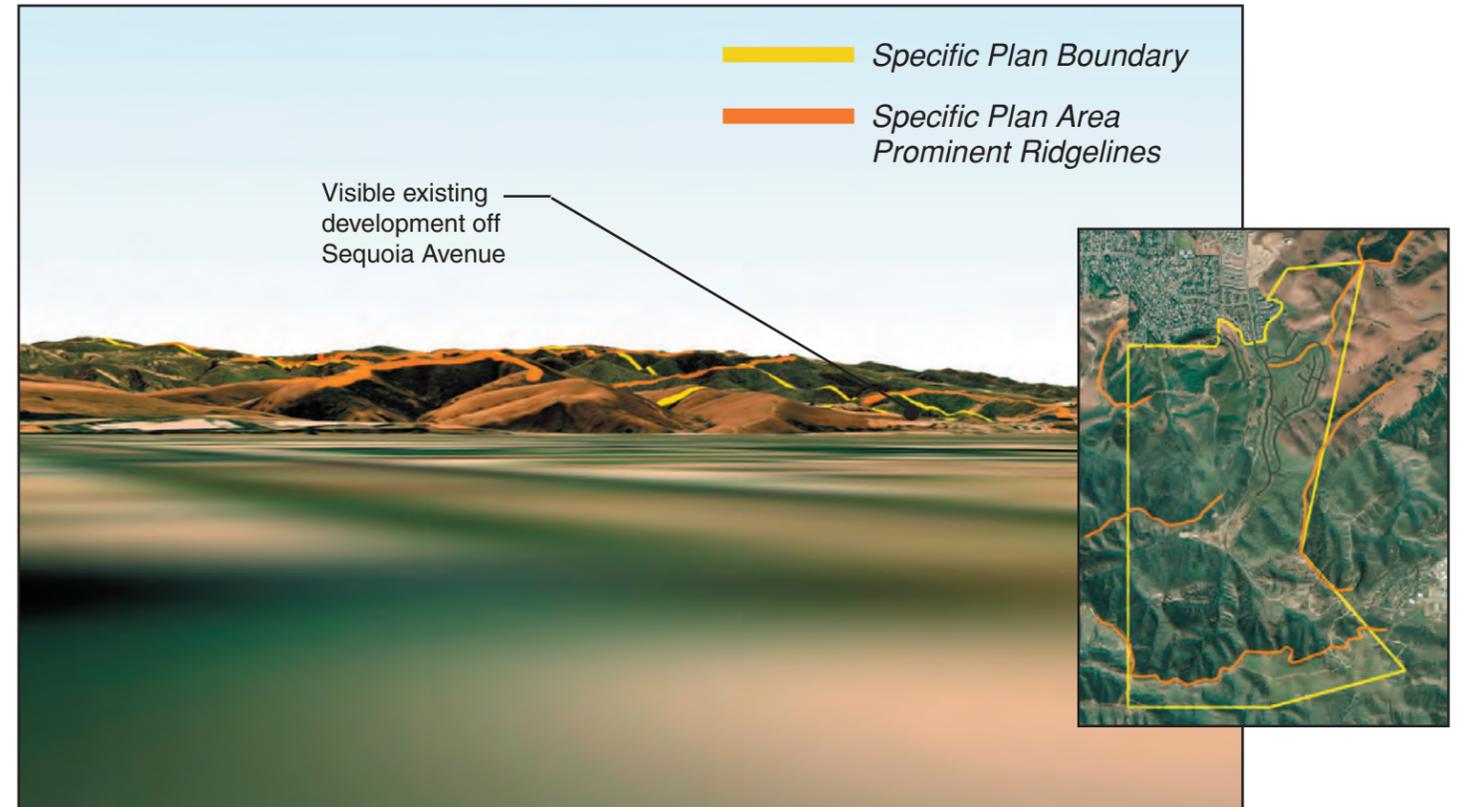
Figure B-7

View looking South from Tapo Canyon Rd. and the 118 Fwy

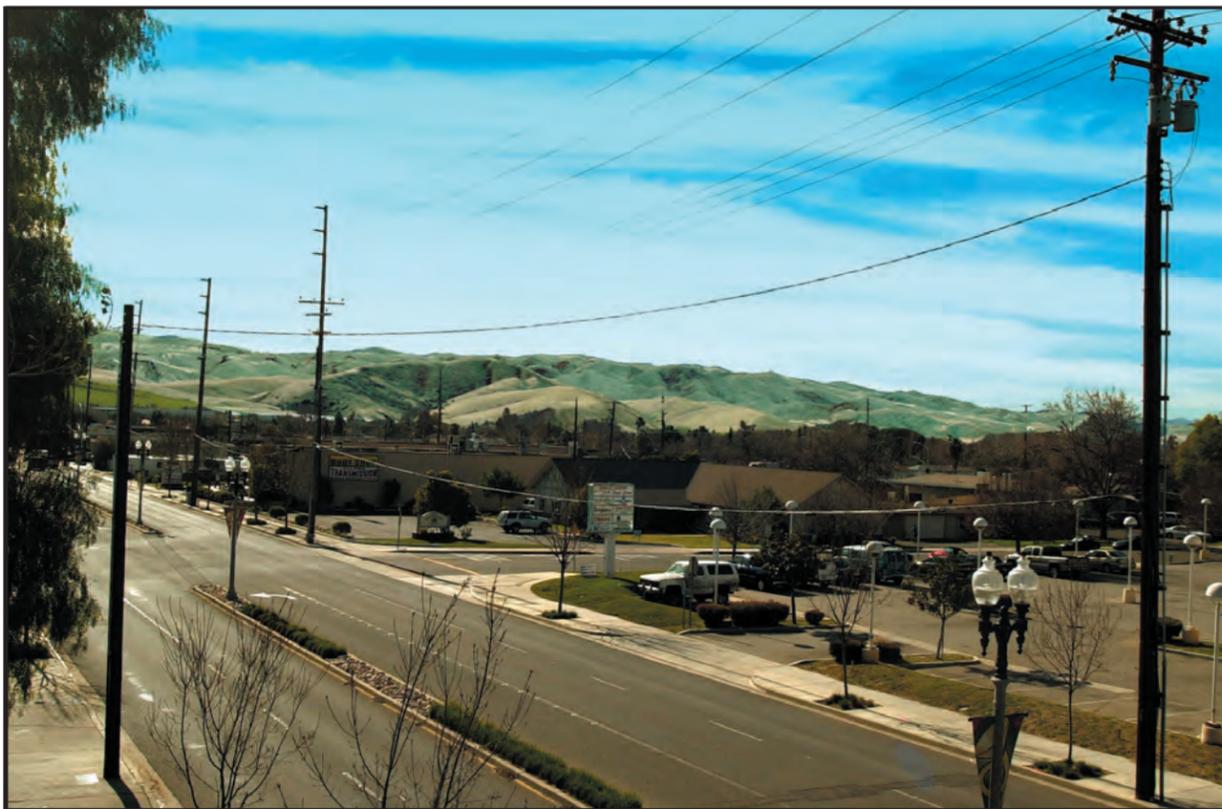
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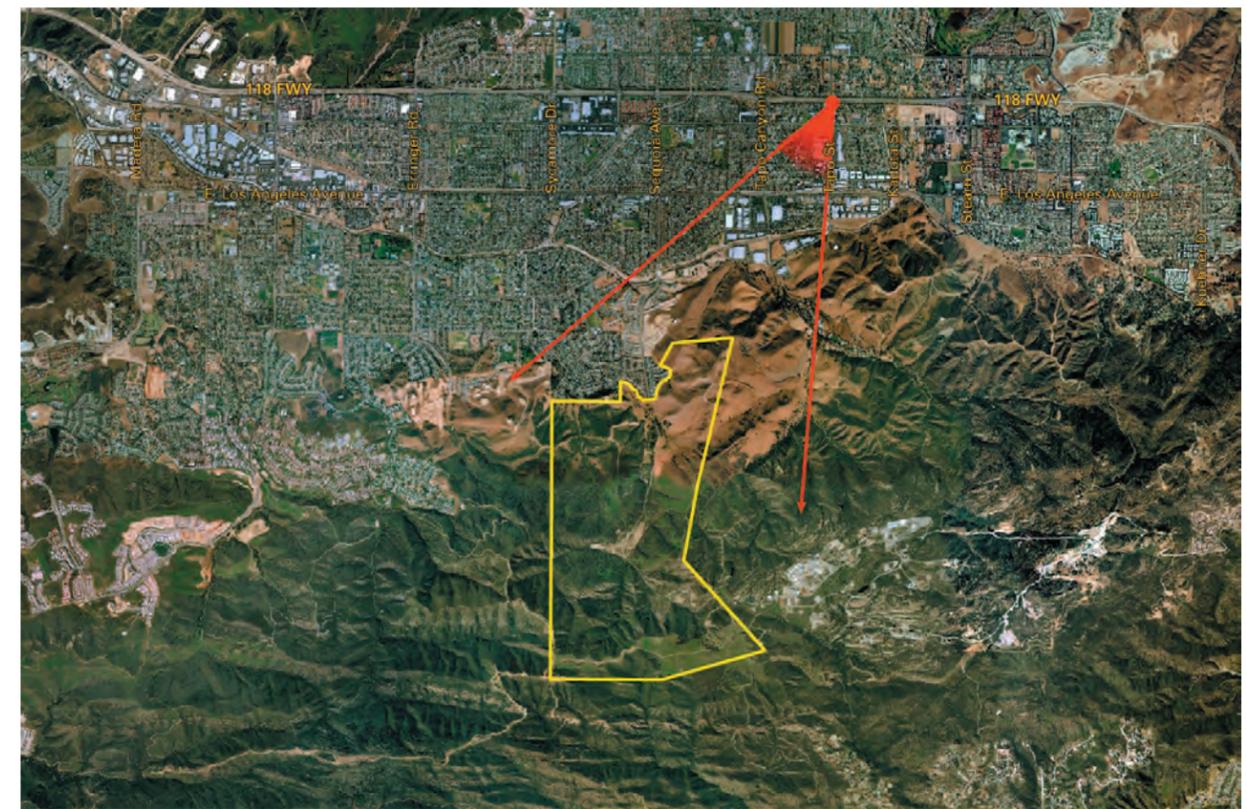
Existing View



Computer Model of View Impact



View Simulation



Key Map

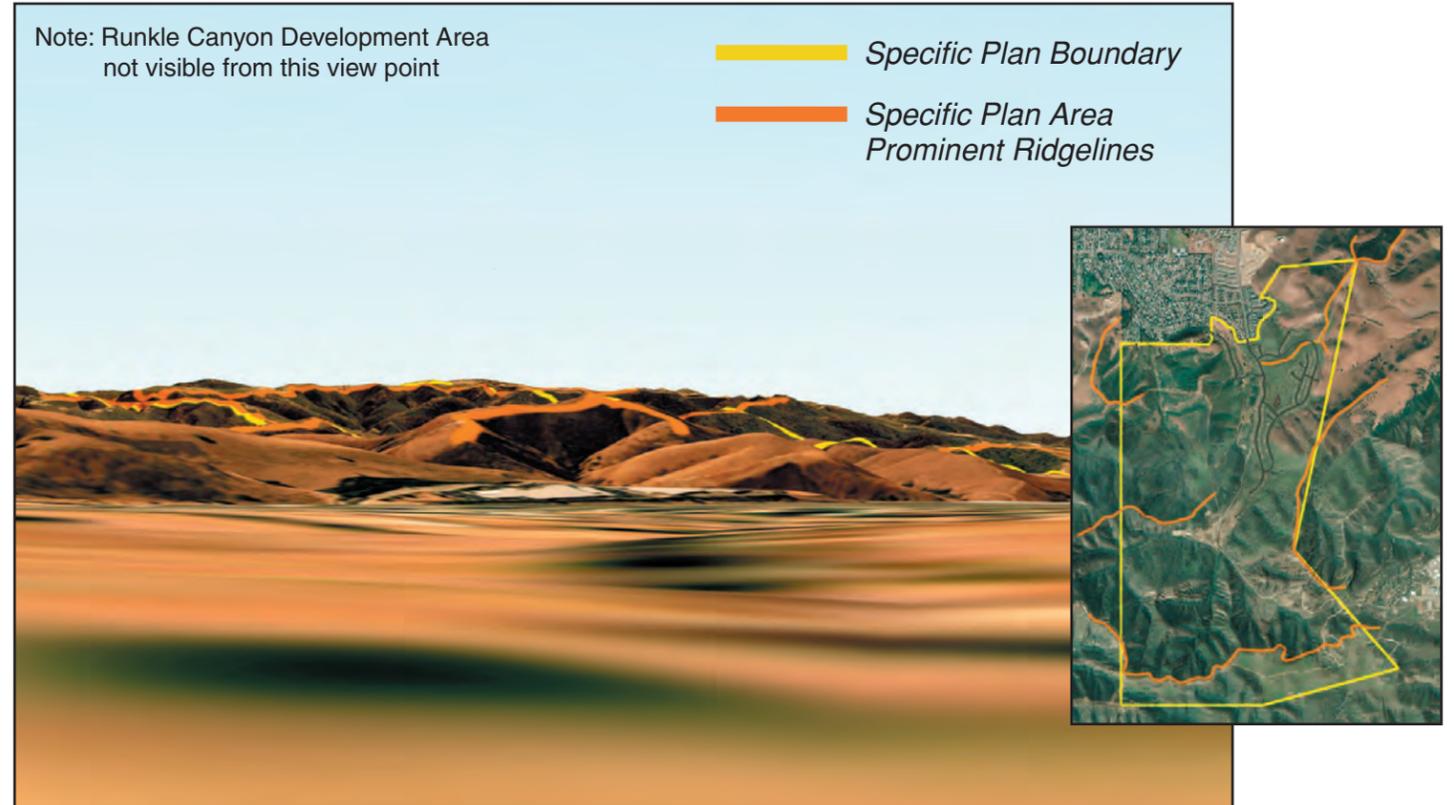
Figure B-8

View looking Southwest from Tapo St. and the 118 Fwy

February 2004 Not To Scale FORM



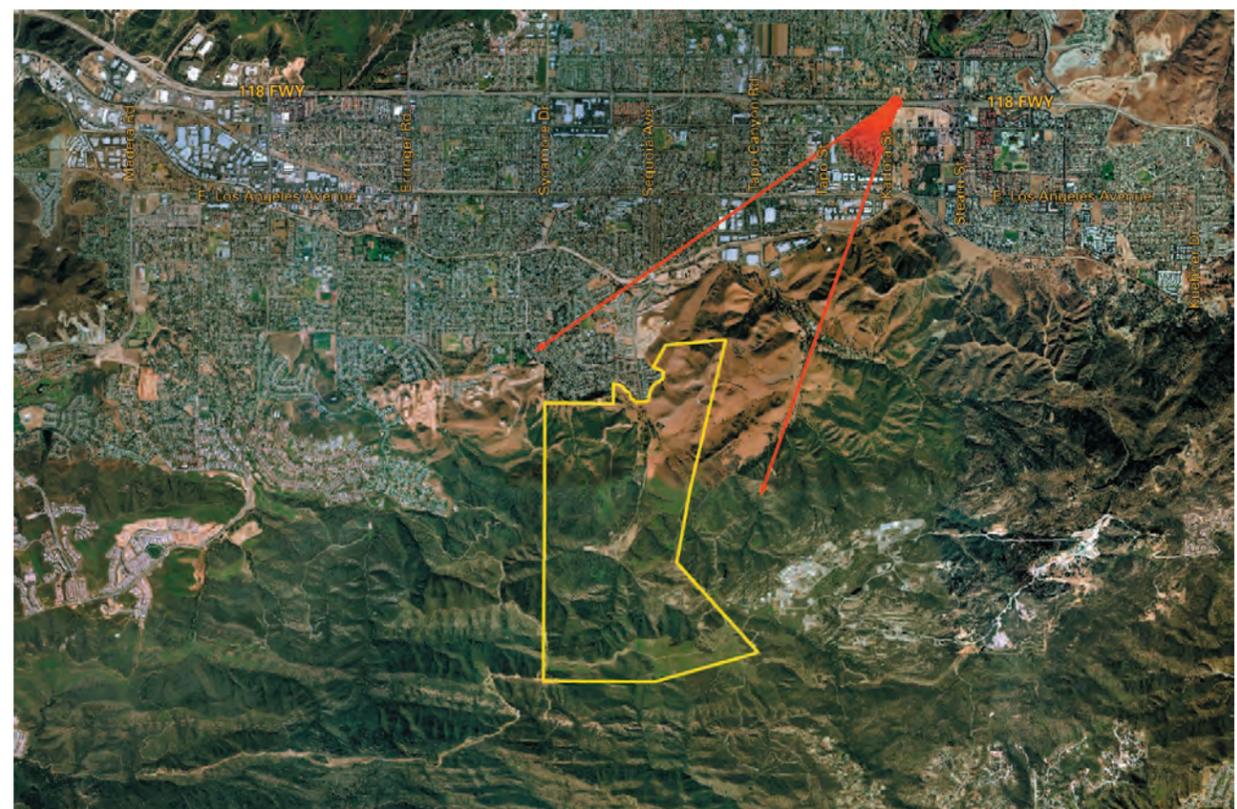
Existing View



Computer Model of View Impact



View Simulation



Key Map

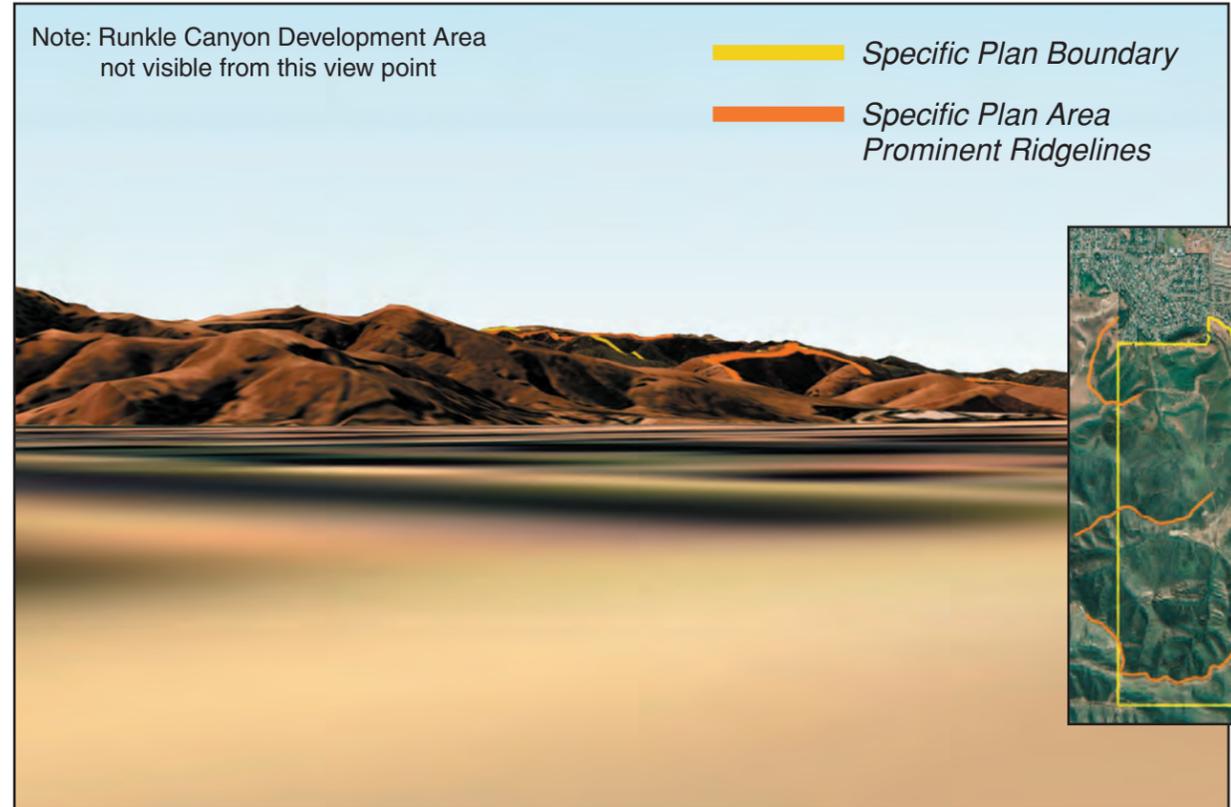
Figure B-9

View looking Southwest from Kadota St. and the 118 Fwy

February 2004 Not To Scale FORM



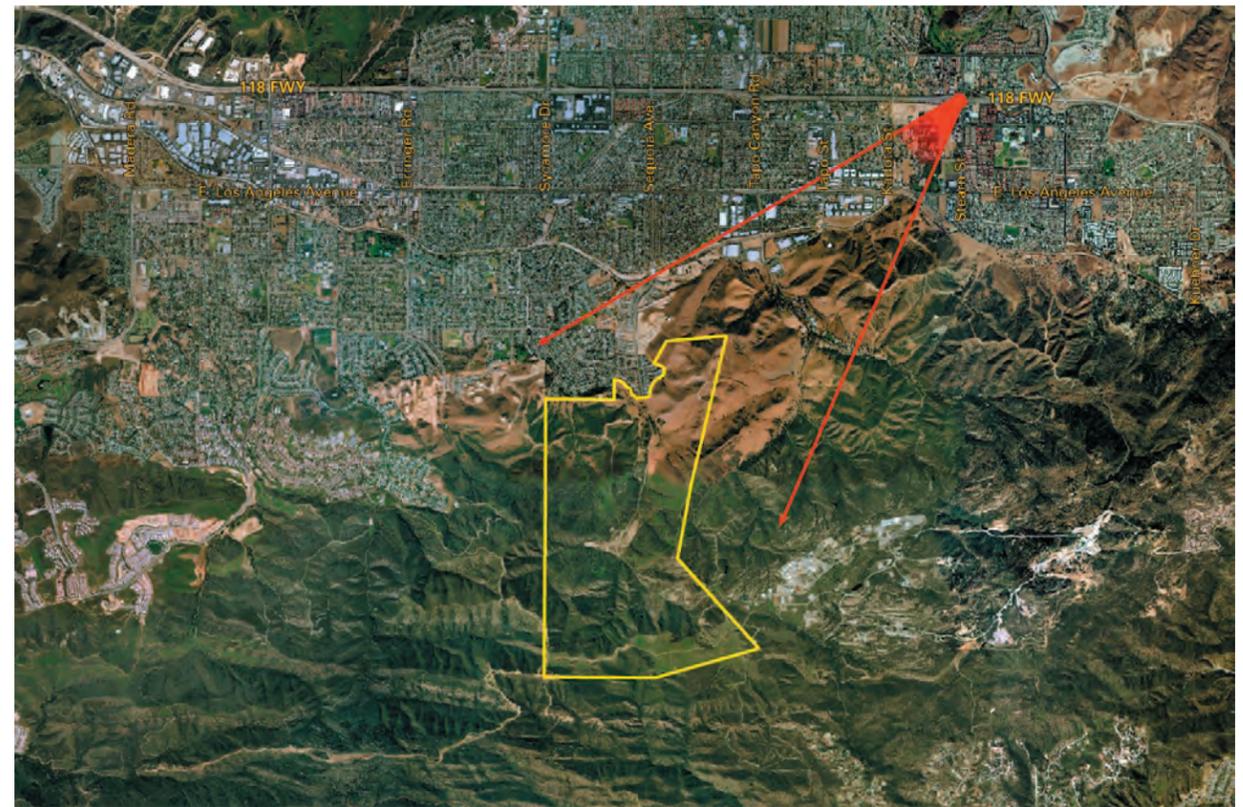
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Computer Model of View Impact



View Simulation



Key Map

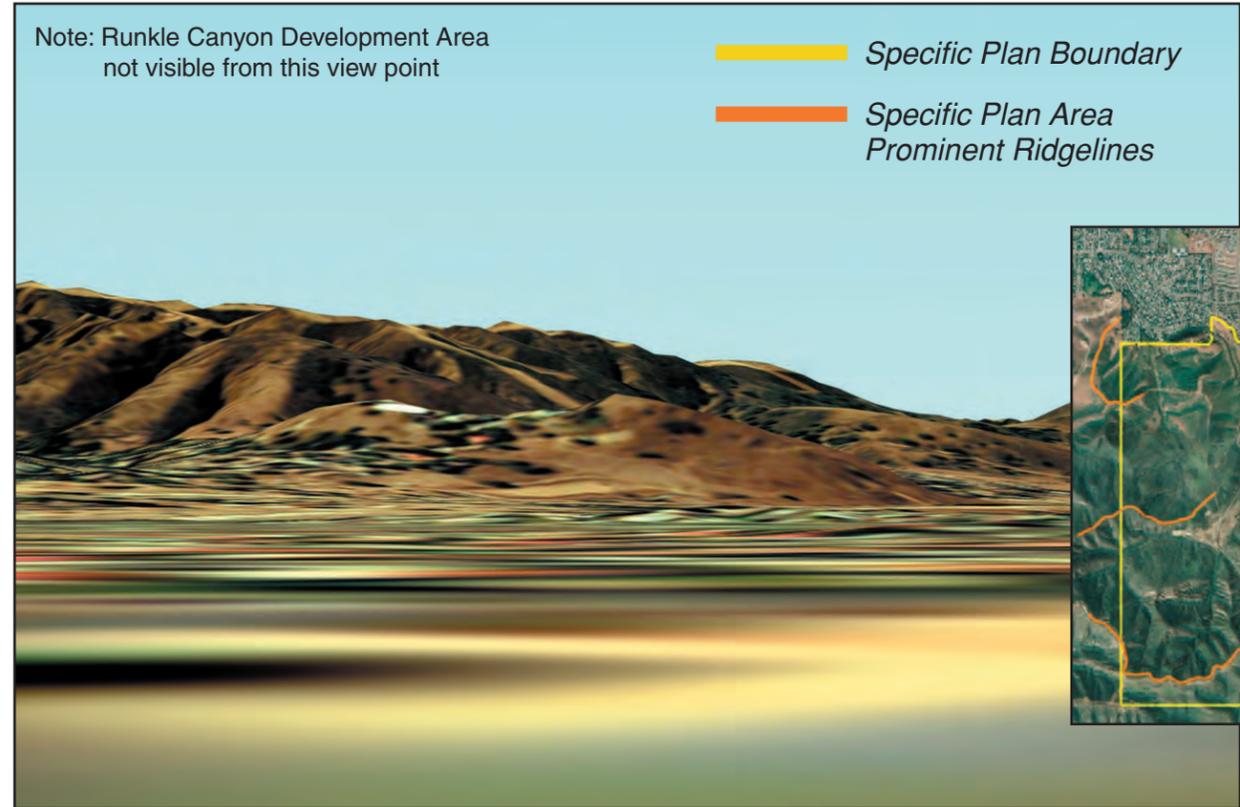
Figure B-10

View looking Southwest from Stearns St. and the 118 Fwy

February 2004 Not To Scale FORM



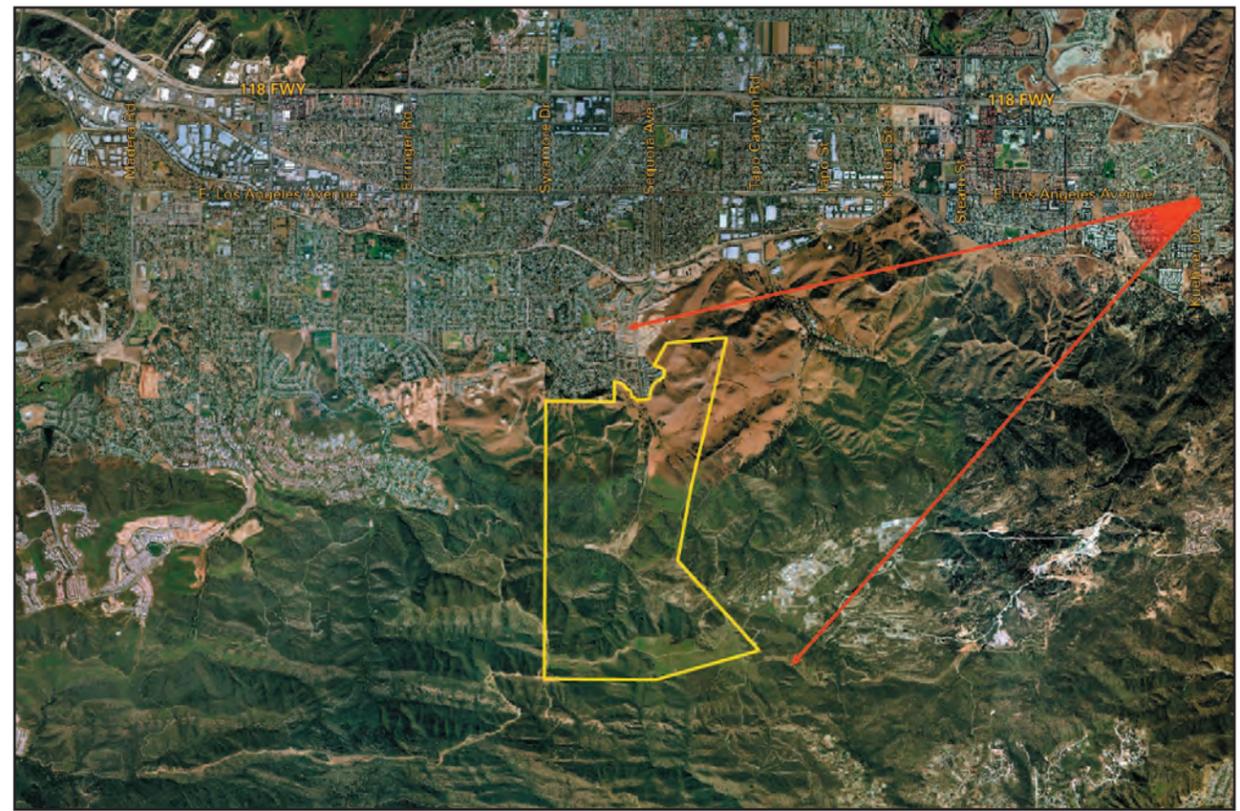
Existing View



Computer Model of View Impact



View Simulation

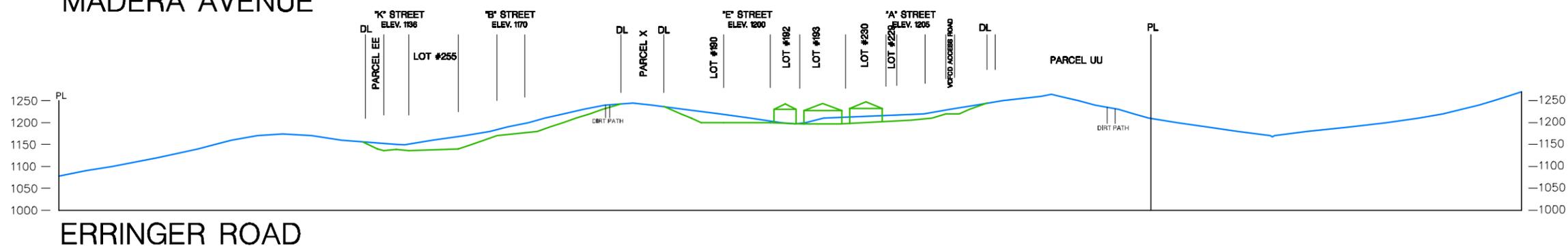
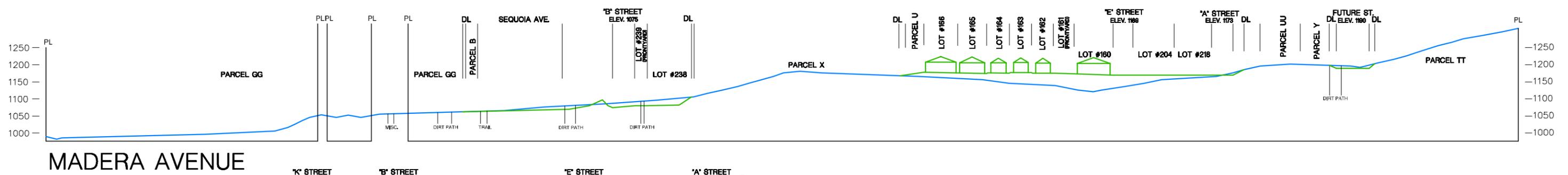
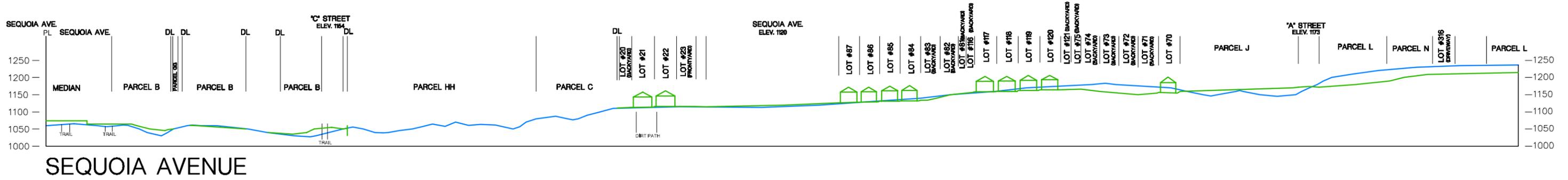
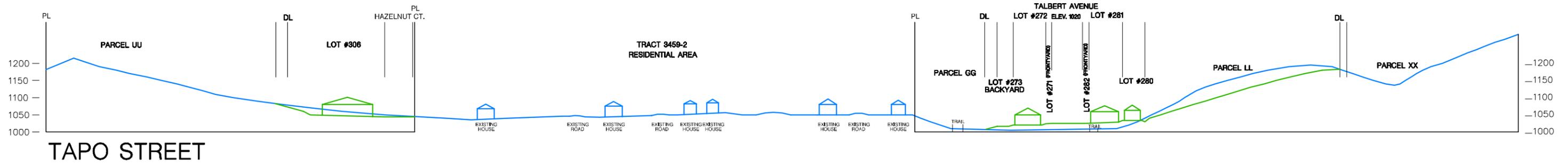


Key Map

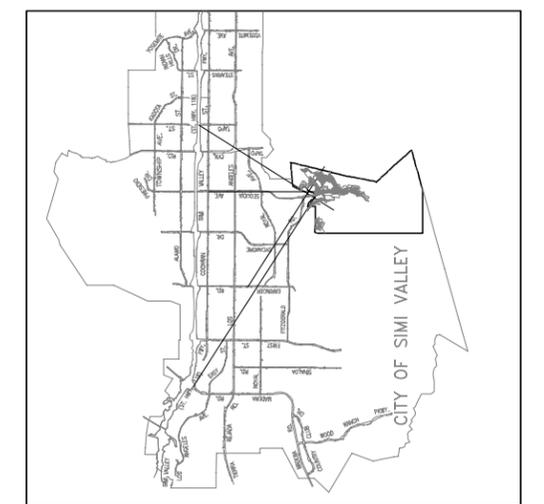
Figure B-11

View looking Southwest from Kuehner Dr. and E. Los Angeles Ave.

February 2004 Not To Scale FORM



LEGEND:
 ——— EXISTING
 ——— SPECIFIC PLAN



VIEW SECTION KEY MAP



GreenPark Runkle Canyon, LLC

Figure B-12
LINE-OF-SIGHT SECTIONS
 Runkle Canyon Specific Plan



VISION 2020 REPORT CONSISTENCY ANALYSIS

The Vision 2020 report is a culmination of recommendations from thousands of City's citizens representing various governmental and private organizations. The recommendations are grouped into five main topic areas referred to as SEEDS – Safety, Economics, Environment, Development, and Social. The Vision 2020 report as stated by the Executive committee is a "road map identifying general policy goals, specific recommendations, and detailed changes to City ordinances and the General Plan."

Since the report was written as a guide for the City's future, this Appendix to the Runkle Canyon Specific Plan analyzes the general consistency of the Specific Plan with the relevant recommendations from the Vision 2020 report as dated November 3, 1997. The **numbered/bold items** are the recommendations from the report followed by a response addressing the Runkle Canyon Specific Plan consistency with each.

SAFETY

FLOODING

1. Abate all flood hazards in Simi Valley.

The Project is designed to maintain the natural drainage patterns, limiting developed site runoff downstream of Runkle Canyon and Runkle Canyon Dam and Reservoir to pre-Development levels. To comply with VCWPD and City standards, eleven debris/desiltation basins, a series of water quality basins and one central detention basin should be constructed within the community. Detention basins have been designed in full compliance with the City 10-year peak standard.

The runoff from the Runkle Canyon Project Area will not exceed the pre-existing condition and will comply with water quality requirements.

ENVIRONMENT

OPEN SPACE

1. *Make protection of critical open space areas a priority in Development plans.*

Open Space is the primary element of the Runkle Canyon community comprising most of the southerly portions of the property. 1,150.6 acres of the Project Area will be preserved open space. The Specific Plan provides for the permanent preservation of Dry Lake, which is a unique portion of Runkle Canyon and the City's overall natural character.

2. *Maintain existing open space areas and improve accessibility where appropriate.*

The Development pattern for the community sets as its priority a balancing of the preservation of open space with the need to provide new housing opportunities in Simi Valley. The majority of the property will be left in a natural state, recreational opportunities will be available throughout the open space areas; making available an network of multi-use trails and paths to existing neighborhoods adjacent to Runkle Canyon and accessibility to open space areas will be improved through the establishment network of improved multi-use trails that will link both the Project and surrounding neighborhoods with existing trails. In particular, a trailhead is located within the Neighborhood Park, accessing the trail system. This trailhead will provide hikers and bikers with information on the local and regional trail network.

3. *Investigate alternative financing sources for open space land acquisition.*

Much, if not all, of the Specific Plan will be preserved open space that will likely be transferred and maintained by dedication and/or Conservation Easement to a public or private entity.

SENSITIVE BIOLOGICAL RESOURCES

1. *Identify the most significant natural areas in Simi Valley and educate the public about the sensitivity of these areas and the organisms within them.*

Two interpretive nodes/information kiosks are incorporated, one at a panoramic location at Dry Lake, at the convergence of several trails. The two interpretative nodes highlight the cultural and natural history of the area, and are designed in a manner to complement the rustic characteristics of the Canyon. A trailhead is located within the Neighborhood Park. This trailhead will provide hikers and bikers with information on the local and regional trail network.

2. *Ensure recognition of these areas and seek their long-term perpetuation.*

Of the total 1,595.5 acres within the Specific Plan Area, 1,150.6 acres are preserved open space. Included within the open space area is Dry Lake, a large mesa on the crest of the Simi Hills in the southern portion of the site that has been designated for preservation in the General Plan. The Dry Lake area provides spectacular 360-degree views of the surrounding canyons, hills, and flora and fauna located on the property, as well as surrounding properties. It contains a 0.8-acre Vernal Pool to be retained in its natural state.

WATER QUALITY AND AVAILABILITY

1. ***Promote water conservation and programs that provide the means to do so, on a local, regional and statewide level.***

A number of water-conserving measures will be incorporated into the Project, including the use of low-flow showerheads, low-flush toilets, and use of drought-tolerant plant species.

WETLANDS

1. ***Protect and preserve existing wetlands vigorously.***

In addition to the Vernal Pool located in the Dry Lake area, two watersheds and five drainage features, primarily located within the open space area, have been delineated as being within USACE jurisdiction and CDFG jurisdiction. These 44.1 acres of CDFG jurisdictional area and 5.4 acres of USACE jurisdictional area are primarily located within those areas of Runkle Canyon that are designated as Open Space and remain undisturbed.

DEVELOPMENT

AESTHETICS: BUMPER STOPS

1. ***Bumper stops should not be installed in parking lots.***

Design and construction of parking lots for the Neighborhood Park and the Senior Neighborhood should exclude bumper stops.

AESTHETICS: DECORATIVE ENTRY FEATURES

1. ***Each residential Project, 31 units or more for which an entitlement is being granted, shall provide an entry statement or theme to highlight the uniqueness of the Project. Entry statements may be eliminated where existing roadway conditions makes it impracticable.***

These landscape areas are located at the primary and secondary access points to the overall Runkle Canyon community at Sequoia and Talbert Avenues, respectively. These areas announce the arrival into the community. However, to strengthen the concept of neighborhood integration and completion, the plant materials used in these areas should be relatively consistent with adjacent neighborhood vegetation.

AESTHETICS: BLOCK WALLS

2. ***Municipal Code should be modified to include design standards such as decorative block, stucco, pilasters, curved walls, and/or wall indentations.***

Per Appendix D, *Implementation Guidelines*, fencing should be compatible with the architectural theme and character of the neighborhood or development project and consistent in style. Acceptable materials for side and rear property-line walls include decorative masonry block, tubular steel, and other decorative wall materials.

3. ***Walls reflect the overall design theme of the project and shall be constructed with the following design materials:***

- a. Decorative block, such as slump stone or split face block, with cap;
- b. Plain block with cap, completely stuccoed; and
- c. Theme pilasters and/or wrought iron, in straight walls shall be spaced a maximum of thirty (30) feet apart. In lieu of pilasters, curved wall or wall indentations may be used, spaced a maximum of thirty (30) feet apart. Interior side and *rear yard* walls, not visible from a public street, shall be exempted from these pilaster, curved wall, or indentation requirements.

Per Appendix D, *Implementation Guidelines*, acceptable materials for side and rear property line walls include decorative masonry block, tubular steel, and other decorative wall materials. Colors for decorative masonry block or other materials should be earth-tones similar to on-site earth colors. Colors for tubular steel fencing should be black, dark green, or dark brown. All fencing and walls of extended length should have posts and/or pilasters to provide for: transition breaks between fencing and walls and/or fencing materials; change of over 12 inches in the heights of walls and lot lines.

AESTHETICS: BUILDING MATERIALS

4. ***Each building should use no more than two (2) basic building materials (excluding windows, doors, trim, and roof materials).***

Per Appendix D, *Implementation Guidelines*, materials and finishes should serve to achieve and enforce a common identifiable theme for the house. Finish treatments should be made of durable materials.

AESTHETICS: GREENBELTS

1. ***A landscaped buffer strip, or greenbelt, no matter where required or placed, shall require a minimum depth of fifteen (15) feet of growing area. A required Rear Yard shall not be counted for satisfying a required buffer strip, or greenbelt, but shall be required in addition to the buffer strip or greenbelt. The buffer strip or greenbelt should contain lush landscape as recommended by the City's Landscape Architect, walkways, benches and lighting where feasible, to encourage pedestrian activity.***

Consistent with this recommendation, the majority of the Project's residential lots abut open space, which serves as a buffer to development.

AESTHETICS: LIGHTING

1. *No low-pressure sodium lighting fixtures.*

All public street lighting shall comply with City standards.

AESTHETICS: THOROUGHFARE ENHANCEMENTS

1. *Implement a plan to bury all aerial utility lines.*

All electric, gas, telephone and cable television lines are installed underground with the exception of existing SCE power transmission lines. Utility lines primarily follow street alignments and connect into existing lines located in Sequoia Avenue, Watson Avenue, Comet Avenue, Talbert Avenue, and High Point Place.

2. *Increase the number of raised medians.*

As an off-site improvement, Sequoia Avenue will be improved to add a 24-foot landscaped center median from High Point Place to the Project's northern boundary.

3. *Establish standards for enhanced thoroughfare landscaping.*

The existing 64-foot roadway area contains a new 24-foot raised, landscaped center median for the purpose of extending the character of the existing median in Sequoia Avenue and reducing vehicular traffic speeds.

4. *Guidelines for desirable roadside landscaping*

a. Hardscape:

- i. Varying wall heights;
- ii. Wall pillars with decorative caps;
- iii. Wrought iron/block combinations for viewing corridors;
- iv. Meandering (when possible) pedestrian, bike, and/or horse paths as components of the roadside landscape design; and
- v. Decorative boulders as appropriate.

b. Planting Materials:

- i. Specific plant selection should be based on adaptability, compatible use, varying leaf color and texture, flowering quality and color, staggered growth heights, growth form, etc.; and
- ii. Use of multiple-story planting to include three (3) or more levels.

INFRASTRUCTURE: TRAFFIC LEVELS

1. ***Deny any Development Project that reduces traffic levels below LOS "C" at affected intersections, locally, or regionally. The Applicant then would have the alternatives of mitigating or revising the Project to meet the guidelines.***

The "Runkle Canyon Traffic Study" analyzed 13 intersections and found that all are expected to operate at LOS C or better, based on future City conditions plus the Project.

2. ***When designing residential Projects, use such geographic considerations as terrain when evaluating traffic impact and achieve minimal impact.***

The road layout for the Specific Plan Area is designed to facilitate and accommodate vehicular and pedestrian activities in a complete and continuous manner.

INFRASTRUCTURE: WATER SUPPLY

1. ***Require Development Projects to include provisions for usage of reclaimed water.***

The new water storage area, including an approximate 2-million-gallon water tank, located in the northeastern corner of the Specific Plan Area will provide adequate supply to Runkle Canyon residents and approximately 110 existing adjacent homes with a currently unreliable supply. The water purveyors serving the Project do not currently provide or have facilities for reclaimed water use in landscaped areas. Therefore, this Specific Plan does not propose the installation of dual piping for use of reclaimed water.

2. ***Withhold approval of Development Projects, residential and commercial/industrial, whose cumulative effect on water supplies is expected to result in Citywide rationing measures for droughts of five (5) years duration.***

The new water storage area, including an approximate 2-million-gallon water tank, located in the northeastern corner of the Specific Plan Area will provide adequate supply to Runkle Canyon residents and approximately 110 existing adjacent homes with a currently unreliable supply. Environmental analysis for the project indicates it will not add to a cumulative affect on water supplies that would result in Citywide rationing measures for drought of up to 5-year duration.

GENERAL: ELECTRONIC INFRASTRUCTURE

1. ***Encourage new housing and new business construction to be wired to support new technology (e.g., network-quality telephone wire).***

Utilities and public services are provided to the Project by agencies/entities indicated within Table 6-1 of the Specific Plan.

SOCIAL

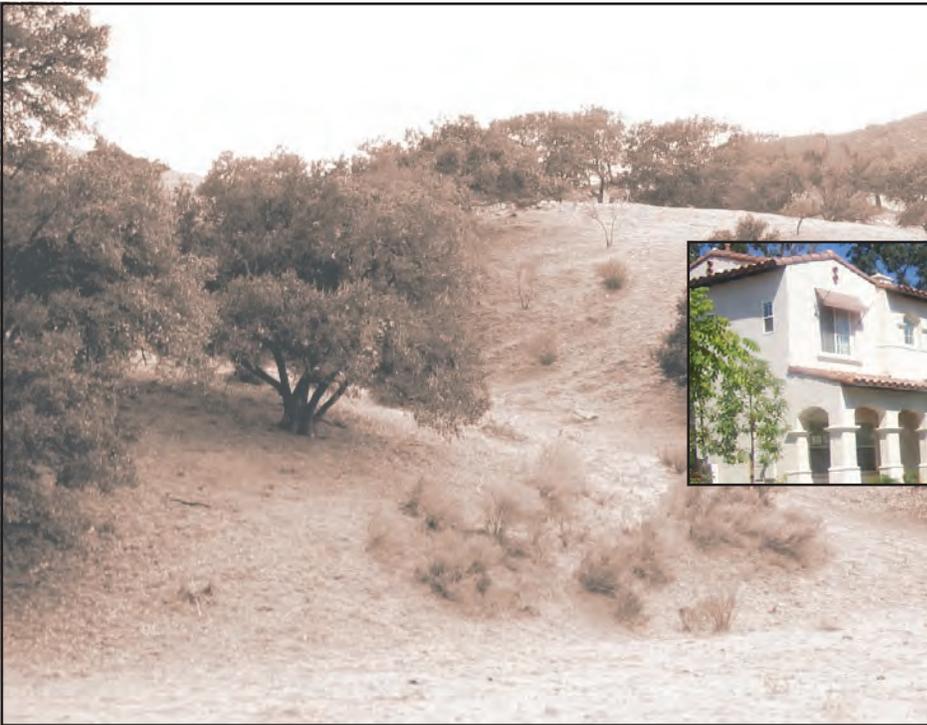
SPECIAL HOUSING NEEDS

- 1. *Increase the availability of housing for seniors, the handicapped, and others with special needs.***

The Runkle Canyon Specific Plan Land Use Plan establishes a Senior Housing residential Land Use Designation on 14.9 acres in the northern portion of the Specific Plan Area, accommodating 138 residential units, or 30% of the total residential units allowed by this Specific Plan.

- 2. *Maintain as a priority the provision of rental units for low and very low-income families.***

The Runkle Canyon Specific Plan establishes provisions to set aside 62 residential units as affordable within the senior housing component of the Specific Plan Land Use Plan, in conjunction with the Affordable Housing Agreement.



RUNKLE CANYON IMPLEMENTATION GUIDELINES
SPECIFIC PLAN
APPENDIX D



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1.1 PURPOSE AND INTENT

The *Runkle Canyon Implementation Guidelines* describe the visual character that is desired for individual neighborhoods within the *Specific Plan Area*, and the manner in which the *developed areas* should relate to the surrounding open space and adjacent neighborhoods.

The purpose of the *Implementation Guidelines* is to establish a consistently applied network of community design concepts to site planning, landscape architecture, and architecture. This comprehensive approach to implementation of strategic community design elements promotes high quality standards and functions as a unifying theme to create the community character and enhance the visual quality of the homes.

More specifically, the purpose and intent of these *Implementation Guidelines* are:

- To provide the *City* with the project specific level of design criteria assuring that the *Specific Plan Area* will develop in accordance with *City's Residential Design and Landscape Guidelines*;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- To provide guidance to *City* staff, the *Planning Commission* and the *City Council* in the review of future development projects in the *Specific Plan Area*;
- To supplement the Zoning Ordinance on matters of residential design;
- To provide guidance in the formulation of Covenants, Conditions and Restrictions (CC&Rs) for the land uses within the *Specific Plan Area*; and
- To maintain and enhance residential property values.

The level of quality defined in these standards is directed towards promoting a pleasant and attractive community environment that can complement its addition to the larger *City* community.



Chapter 1.0 INTRODUCTION

1.2 PROJECT DESCRIPTION

Runkle Canyon is a unique community comprising approximately 1,595 acres that integrates a variety of residential uses, dedicated open space, a *neighborhood park*, natural habitat, trail systems and an area for a potential *golf course* all contained in a natural canyon setting. The community concept is based on the heritage of the land and the character of the site. Creating the rustic appeal of a rural neighborhood, the community will blend into the mesa with environment and integrate with adjacent neighborhood.

The *development* pattern for the community sets as its priority a balancing of the preservation of open space with the need for housing for both families and seniors. With the majority of the property left in a natural state, recreational opportunities are available throughout open space areas. A network of sidewalks, paths and trails are available to the existing neighborhoods adjacent to *Runkle Canyon*. However, recreational trails are not intended for motorized vehicle use. The natural hillsides offer incredible views to the residents, reinforcing the semi-rural feel of the community.

1.3 APPLICATION

These guidelines shall form the basis and criteria for the evaluation of plans and specifications submitted for review and approval to the *City* and the *master developer*. It is anticipated that there will be multiple third-party builders. The builder of each neighborhood is required to implement all provisions of these guidelines as applicable. All development plans, landscape plans, and graphic designs shall be consistent with these *guidelines*. In addition to the provisions of these *guidelines*, the regulations, requirements, standards, specifications, obligations, mitigation measures, guidelines, etc., of the jurisdictional documents effective as of the date of the Development Agreement shall apply as applicable.

The provisions contained in these *Implementation Guidelines* are applicable to the *Runkle Canyon Specific Plan Area*. For design guidelines not addressed herein, refer to the *City's Residential and Landscape Design Guidelines*. For development regulations not contained herein, refer to the applicable provisions of the *City's Municipal Code*.

The sketches and graphic representations contained herein are for conceptual purposes only, and are designed as general visual aids in understanding the basic intent of the guidelines and to represent examples of their potential implementation. They are not meant to depict any actual lot or building design. Not all guidelines will be applicable to every neighborhood.



1.4 ORGANIZATION

The *Runkle Canyon Implementation Guidelines* describe the design intent for the overall community and its various neighborhoods and land uses. The design guidelines are divided into the following major components:

Site Planning

This section contains guidelines for site planning components including: grading, lot design, vehicular circulation and parking, pedestrian circulation, common areas and recreational amenities, walls and fences, and utility and equipment screening.

Landscape Architecture

In this section are guidelines for landscape architecture including: landscape areas, planting design, fuel modification, monuments and signage, lighting, and landscape maintenance.

Architecture

Set forth in this section are guidelines for architecture components including: architectural styles, single-family design standards, and multi-family design standards.

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2.1 GENERAL CONCEPTS

A team of planners, engineers, and environmental scientists studied the land, cooperated with adjacent residential neighbors, and worked with *City* and agency staff to balance the needs of development and open space uses on this site.

The following site planning guidelines are applicable for *Runkle Canyon* residential neighborhoods and open space uses. These guidelines should be addressed during preparation of preliminary plans, and final construction documents unless it is clearly demonstrated that certain guidelines may not be applicable, appropriate, or feasible under site-specific conditions.

2.2 GRADING

A. Introduction

The *Runkle Canyon Specific Plan Area* exists outside of the Valley floor in the *City*. Due to this, the *HPS* (*Municipal Code* Section 9-1.1601) apply to this project. The Grading Guidelines, contained herein, are intended to implement the objectives and policies of the *General Plan*, the *HPS*, and the Residential Design Guidelines. General grading standards from the *HPS* are included herein (as referenced with an asterisk [*]) for the convenience of the reader / user of this document. For complete text of these standards, refer to *Municipal Code*, Section 9-1.1611.

B. Grading and Hillside Management

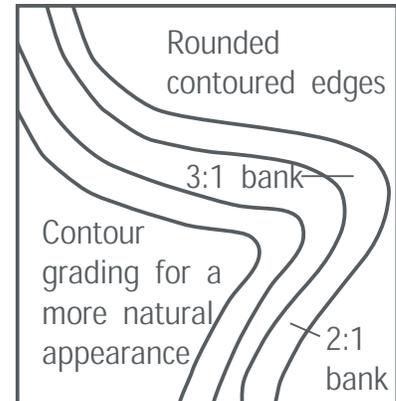
1. Significant ridges, knolls, and rock outcroppings should be respected in the site design and incorporated as features where feasible.

2. Grading should emphasize and accentuate scenic vistas and natural landforms.

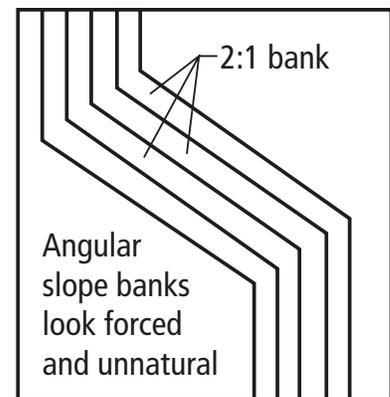
3. Contour grading with variable gradients should be employed where feasible to simulate the natural terrain, lessen the visual impact of large slopes, and to mitigate long major uniform slopes.

4. No manufactured slope shall exceed thirty (30') feet in height, (except that slopes required for public streets may exceed thirty (30') feet in height if no feasible alternative exists).* See 2.2.A.

5. No manufactured slope shall have a slope angle steeper than two (2) horizontal to one vertical (2:1).* See 2.2.A.



Appropriate Slope Variation

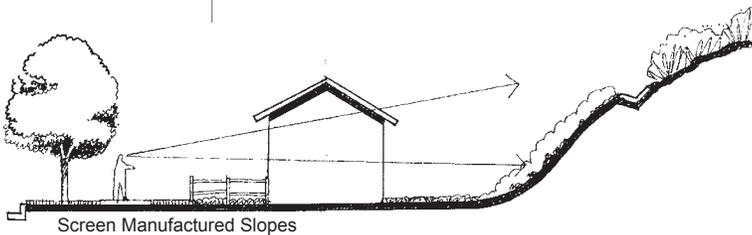


Inappropriate Slope Variation



Chapter 2.0 SITE PLANNING

6. Manufactured slopes should be located behind buildings, landscape, or natural topographic features for screening purposes.
7. Graded slopes should be planted



8. Special attention should be given to the arrangement of landscape materials as a means of creating a natural, hillside appearance consistent with the natural areas of the site.
9. Preserve oak trees contained within the open space portions of the project and minimize grading disturbance to the edge of tree driplines.

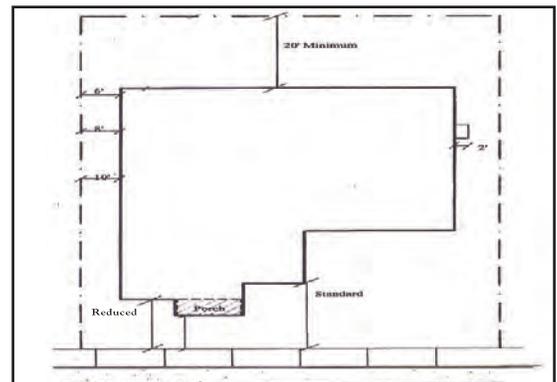
2.3 LOT DESIGN

A. Introduction

The following Lot Design Guidelines are intended to enhance flexibility and encourage diversity within each neighborhood, and for the project as a functional, attractive, safe and viable community.

B. Lot Design

1. Lot layout and design should integrate well with the existing built environment, as well as with the surrounding natural environment.



2. Lot arrangements should incorporate development standards that allow for varied setbacks including those for reduced front yard setbacks for living areas and side-facing garages, zero lot-lines, detached garages and other creative residential design tools.
3. Corner lots are best suited to be larger and wider lots, and are encouraged for single-story houses. This helps to lessen the apparent mass of the block's streetscape.



4. Individual lots should avoid side yards having vertical changes of grade in excess of 5 feet between adjoining lots. Significant grade changes should be gradually stepped or terraced.
5. The heights of homes for the overall community will be held to a 30-foot maximum height limit for single-family detached houses and 35-foot maximum for multi-family or senior housing.
6. Minimum driveway lengths for single-family homes shall be 20 feet as measured from garage door to back of sidewalk.

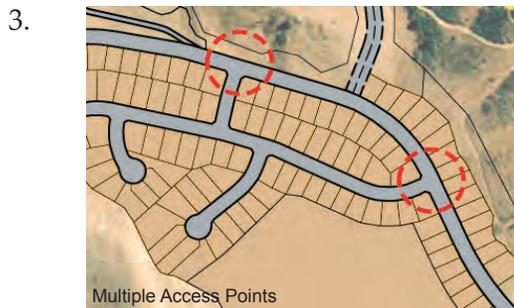
2.4 VEHICULAR CIRCULATION AND PARKING

A. Introduction

The following guidelines are intended to provide a unified and safe circulation system that provides efficient street configurations.

B. Vehicular Circulation

1. Vehicular circulation should be designed to create a consistent community image of landscaped corridors.
2. Design solutions for residential street layouts should consider landform, grades, and circulation hierarchy, and employ appropriate street configurations.



Consideration should be made for providing multiple points of access for a neighborhood to diffuse traffic patterns.

4. Street patterns that would create long uninterrupted property line walls at the right-of-way line should be avoided.
5. Streets should incorporate passive traffic calming devices such as landscape islands (on entry streets), slight variations in road curves, and on-street parking.



Traffic Calming Devices

6. Cul-de-sacs that side onto through streets or greenbelts should have pedestrian access and open-view fencing to physically and visually connect to the adjacent through street.



Chapter 2.0 SITE PLANNING

C. Vehicular Parking

1. Two off-street, garage, parking spaces shall be provided for each individual single-family lot.



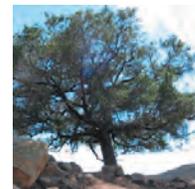
Cul-de-Sac Pedestrian Access

2. Visitor parking spaces shall be conveniently accessible and permitted on public streets, within driveways, or on paved areas of side yards.
3. The minimum number of covered parking spaces for senior housing dwellings shall be one covered space per unit.
4. The parking of recreation vehicles on the public roadways for extended lengths of time shall be as consistent with *City* codes and ordinances.

5. Senior housing parking areas should be screened through the use of berms, landscaping, “headlight” walls, or a combination of these.
6. Multi-family areas and senior housing shall avoid long linear stretches of parking. Use of parking courts is encouraged.
7. The *Neighborhood Park* shall provide a minimum of 10 parking spaces within the park site to accommodate passive recreation amenities and trail staging area users unless otherwise specified by the *RSRPD*.
8. The Pocket Park in Planning Area 5 may be serviced by adjacent on-street parking.



Screened Parking Areas



2.5 PEDESTRIAN CIRCULATION

A. Introduction

Runkle Canyon is designed to accommodate a pedestrian circulation network that includes pedestrian-only sidewalks (adjacent to the primary road network) and multi-use trails for pedestrians, bicyclists, and equestrians (on designated trails through open space).

B. Pedestrian Circulation

1. Due to the varied topography of the community, street right-of-ways will be kept at a minimum width, while still maintaining the pedestrian circulation network as a consistent community image of landscaped corridors. Therefore, all streets, except private drives, shall have a minimum 4-foot-wide sidewalk separated from the street by a minimum 6-foot landscaped parkway.
2. Pedestrian circulation systems should link recreation and open space with development via sidewalks, and established multi-use paths and trails.



Landscaped pedestrian network

3. *Specific Plan* multi-use paths and trails shall have a minimum trail width of 10 feet for pedestrian and bicycle users or a minimum 14 feet for pedestrian, bicycles, and equestrian users. Refer to *General Plan*, Appendix E and the *RSRPD* for additional trail standards.

2.6 COMMON AREAS AND RECREATIONAL AMENITIES

A. Introduction

This section establishes design guidelines for the common areas and recreational facilities of *Runkle Canyon*. These may include community and/or neighborhood entries, neighborhood and/or pocket parks, private recreation areas, and street furniture.

B. Common Areas

1. Entry monument walls, fences, and landscaping shall comply with the *City's* Traffic Safety Sight Area provisions and with the required sight lines for the minimum stopping distances of vehicles.
2. Entry features should be constructed with materials that are representative of the natural resources of the site.
3. Entry monument walls and signs should be separated from adjacent sidewalks or roadways by a landscaped area with a minimum setback of 3 feet from the adjacent hardscape surface.



Chapter 2.0 SITE PLANNING

4. The ongoing maintenance of entry features and landscaping outside of public right-of-way are to be incorporated into the *HOA* common area-landscaping program for the project.
5. On-site detention facilities should be located away from main project entries, to the extent feasible. Detention basins that appear to fit within the natural topography of the land are encouraged.

C. Recreational Facilities

1. Parks within the community should be linked by the network systems of sidewalks, paths, and multi-use trails.
2. Parks should be visible from streets and residential uses for safety and surveillance purposes.
3. Landscape areas should be used to buffer active areas of parks from adjacent residential areas.
4. Private recreation areas should be placed in highly visible locations, centrally located within planning areas.
5. Accessory structures should be consistent or compatible with the building character, material, and color with adjacent residential structures.

D. Street Furniture

1. Street furniture and/or play equipment associated with parks, transit stops, or community gathering nodes, should be finished in neutral colors to preserve a more timeless theme for the site.
2. Individual mailboxes are encouraged for single-family neighborhoods. Where community mailboxes are required an assemblage of 4-6 mailboxes per location is optimal, which reduces postal vehicle stops, encourages neighbor interaction, and eliminates the boxy character of typical cluster box units (CBUs). They should be placed at a location that provides convenient pedestrian access from the houses that they serve, and should be directly visible from the front windows of at least two houses. Community mailboxes should incorporate materials, landscaping, and architectural styles found in the neighborhood.



Timeless Street Furniture



2.7 WALLS AND FENCES

A. Introduction

Walls and fencing are prominent visual elements of any community. They are one of the most easily recognizable design elements of a community and warrant special attention to ensure continuity of design character and a pleasing aesthetic.

1. Walls and fences shall not interfere with the minimum required driver's sight safety line at all intersections and driveways, and shall comply with the *City's* traffic safety sight-area provisions.
2. Fencing should be compatible with the architectural theme and character of the neighborhood or development project and consistent in style.
3. Acceptable materials for side and rear property line walls include decorative masonry block, tubular steel, and other decorative wall materials.
4. Colors for decorative masonry block or other materials should be earth-tones similar to on-site earth colors. Colors for tubular steel fencing should be black, dark green, or dark brown.
5. The portion of side-yard fencing that extends along the front portion between the residence and the side property line can include gates and should be a solid decorative material which may include decorative wood to provide a solid

screening for trash receptacles and equipment, provided that it complements the architectural style and materials of the residence.

6. Walls constructed parallel to the front face of the house should be stepped back a minimum of 12 inches to articulate the front elevation.
7. All fencing and walls of extended length should have posts and/or pilasters to provide for: transition breaks between fencing and walls and/or fencing materials; change of over 12 inches in the heights of walls, and lot lines.
8. View fencing, constructed of tubular steel or similar material, may be positioned where residential lots back onto scenic open space areas and parks.
9. Wall or fencing should not be installed immediately in back of a sidewalk or other hardscape, without intervening landscaping.



Example of solid wall



Example of view fence



2.8 UTILITY AND EQUIPMENT SCREENING

A. Introduction

Trash receptacles, utilities, and other equipment providing service to residential and park uses are necessary components of a new development. However, the congregation of these items can cause unsightly conditions that detract from the overall aesthetic quality of the neighborhood streetscene.

B. Utility and Equipment Screening

1. Utility connections and service locations such as trash storage areas and air conditioning units should be architecturally screened, placed within an enclosed area, or otherwise situated to avoid direct view from the street and from adjacent houses.
2. Aboveground utility equipment should be placed out of public right-of-way, screened from view by the use of low walls, hedge material and vines where feasible.
3. Aboveground utility equipment, vents, and access doors for underground utility vaults shall be located away from the sidewalk with sufficient space to allow a minimum of three feet of clearance between the screening for the utility equipment and any paved surfaces including streets, driveways, and walkways.
4. Fire sprinkler pressure detector check valves should be located a minimum of twenty feet (20') from all property lines adjacent to public rights-of-way.
5. View fencing that fails to adequately screen trash receptacles and equipment from front yard views is discouraged.



3.1 GENERAL CONCEPTS

The landscape guidelines for *Runkle Canyon* allow for the development of residential neighborhoods that are well designed, functional, attractive, safe and respectful of the natural surroundings.

The preservation of the site's natural beauty is an important component of the overall landscape design that will be accomplished by various means and techniques. These include developing landscape guidelines for the "Landscape Areas," planting design, fuel modification, monumentation, lighting, and landscape maintenance.

3.2 LANDSCAPE AREAS

A. Introduction

The landscape areas that make up the *Runkle Canyon* development vary from the relatively undisturbed native landscapes of the surrounding hillsides to the re-establishment of natural landscapes on the project "edges" to various residential components and manufactured slopes that make up the project.

Refer to Appendix A of these *Implementation Guidelines* for the plant palette associated with each landscape area.

B. Landscape Areas

1. Re-established Natural Landscape

The open space areas that serve as a permanent open space backdrop to the development are of primary importance to the project. The protection of this area helps to preserve the site's natural beauty and blend the development into the natural landscape of the surrounding hillsides.



Areas that border the existing native or open space areas that are disturbed by grading activity should be revegetated with a mix of drought tolerant plant material (consistent with slope planting requirements for erosion control and fuel modification standards) that seamlessly blends the edges of development with the site's natural condition.

The design of this area preserves the site's natural character and transitions the development with adjacent vegetation and land forms.



Chapter 3.0 LANDSCAPE ARCHITECTURE

2. Recreational Open Space

The *Neighborhood Park* provides *Runkle Canyon* residents and adjacent neighborhoods with recreation opportunities. This area of the project contains turf grasses to provide adequate open play and picnic areas. Vertical and canopy trees, both native and non-invasive ornamental, are located to provide levels of shade with accent trees at gathering areas for focal



Neighborhood Park

points. The edges and slope areas of the *Neighborhood Park* transition with adjacent uses to strengthen residential or natural character. These transition areas should contain a mix of drought tolerant species to increase the natural character and reduce supplemental water and maintenance requirements.

3. Residential Estate

This area differs from the single-family residential area in the larger lot size and their proximity to natural areas. Private landscaping should incorporate the use of plant species in an informal pattern or the extension of the street tree program of adjacent existing neighborhoods along the project's northern boundary

(e.g., High Point Place, Comet Avenue, etc.). This will emphasize the desired integration of the new estate lots with their existing neighbors.



Extension of Adjacent Streets

The plant palette in yard conditions that abut open space should include drought tolerant and semi-native plants, which will seek to blend the estate lots with the adjacent open space, preserving the natural beauty of the *Specific Plan Area*.

New streets and parkways that extend adjacent streets should use the same street tree program as the existing street.



Street Tree Program



4. Residential Single-Family

This area consists primarily of conventional single-family residential lots (and the adjacent manufactured slopes and fuel modification zones that may border them). A comprehensive street tree program will unify the various neighborhoods creating a strong sense of identity. The planting palette should consist of a mix of drought tolerant and ornamental trees. A blending of natural areas will be achieved by use of plants that knit these areas with the surrounding natural areas.

New streets and parkways that extend adjacent streets should use the same street tree program as the existing street.

5. Senior Housing

This area located internally to the project development has a larger percentage of ornamental planting than either of the other two single-family residential components. The planting design is characterized by a more formal manicured look, while the edges still utilize the blending technique with adjacent land uses.

6. Community Entries

These areas announce the arrival into the community. The main entry is located at Sequoia Avenue. The second entry is located at Talbert Avenue. To strengthen the concept of neighborhood integration/completion, the plant materials used in these areas should be

consistent with adjacent vegetation. The installed tree size in these areas should contain accent or specimen trees of an average larger size than other areas.

7. Fuel Modification

Per *VCFPD* standards, a 100-foot fuel modification zone shall be established adjacent to residential areas as measured from the edge of structures. The plant palette for this zone combines non-combustible drought tolerant and ornamental species.

C. Plant Spacing and Sizing

1. Slopes

The desired character of slope landscaping is to mimic Oak Woodlands, which once occurred on site prior to intense cattle grazing. This landscape habitat is characterized by groupings of trees within open areas of low grasses and shrubs. To achieve this effect, the sizing and distribution of slope tree planting within Landscape Areas 1, 3, and 4 should be as follows:

- a. one-third (1/3) of all installed trees at 15 gallon and two-thirds (2/3) of all installed trees at 24-inch box installed size, at an average planting spacing of 1 tree per 1,800 square feet for the first 30' elevation difference adjacent to roads and residential lots.
- b. After the first 30', the tree planting on disturbed slopes should be a mix of 15 gallon and 24" box in small groupings of 3-7 trees located amongst low shrubs and groundcovers.



Chapter 3.0 LANDSCAPE ARCHITECTURE

3.3 PLANTING DESIGN

A. Introduction

The planting design for all areas of *Runkle Canyon* shall be completed using sound professional practices by a licensed Landscape Architect. The developed areas will incorporate such techniques as screening objectionable views, mitigating the impacts of grading on surrounding natural areas, and “blending” or transitioning of the proposed landscapes with the surrounding natural areas.

The proposed plant material list contained in Appendix A is designed to create an overall project unity while still allowing the various components to have a sense of individuality. In addition, the list is developed to allow for a blending of the built environment with the surrounding native areas. All proposed planting will be climatically appropriate and include a diverse combination of plant species appropriate for the *City* and the region.

B. Single-Family Residential

1. Street trees create a sense of scale and neighborhood identity.
2. Street trees shall be provided in accordance with *SVMC* Section 7.03 and the *City's* Landscape Design Guidelines.
3. Collector streets should be composed of a maximum of two tree species creating a unified neighborhood, while reducing the potential problems of a mono culture.

4. Manufactured neighborhood slopes should have a transitional element of plant material linking them to the natural landscape.
5. Boulders and/or rock outcropping could be used to create a natural look linking them to the native areas.
6. A mix of drought tolerant plants should be used.

C. Estate Residential

1. Thematic placement of plant material that relates to the architecture is encouraged.
2. Plant material should blend with adjacent residential areas or open space areas.
3. Evergreen species with deciduous accents should be used to organize major yard spaces.

D. Senior Residential

1. Evergreen trees should provide screening and privacy where desired.
2. Manicured planting should be maintained around building for aesthetic and safety purposes.
3. Perimeter areas should use more natural planting where appropriate at open space areas and/or planting scheme complimentary to adjacent neighborhoods.



4. Special interest planting should be considered, including traditional garden species and/or species recognizable from the Simi Valley area.

5. Incorporate native planting where possible.

E. Security Planting Design

1. Landscaping should not block the visibility of address numbers from the street.

2. Landscaping should not cover any exterior door or window.

3. Landscaping at driveways should not block the view of a seated driver from oncoming vehicles or pedestrians.

4. Trees should not be placed directly under overhead lighting and cause light loss at ground level.

3.4 FUEL MODIFICATION

A. Introduction

Runkle Canyon incorporates a fuel modification zone that is designed to minimize the potential exposure of the development areas to wildfire hazards consistent with the requirements of the *VCFPD*.

B. Fuel Modification

1. The Fuel Modification Zone will incorporate a program of brush clearance and thinning of combustible plant materials.
2. A 100-foot fuel modification zone shall be designated around all structures as measured from face of building.
3. Scattered oak trees and thinned native plants of high habitat value, may be located throughout this zone as a transition between open space and developed areas.
4. Fuel Modification Zones will be maintained by the Homeowner's Association in accordance with the *VCFPD* guidelines (except estate lots).



Define Community Image



Chapter 3.0 LANDSCAPE ARCHITECTURE

3.5 MONUMENTS AND SIGNAGE

A. Introduction



Monument Walls with Planting

The signage and monumentation program in the *Runkle Canyon* community comprises a mixture of types, both residential and recreational. The signage program implements a community-wide identification program to ensure a cohesive well-articulated directional system for community and *City* residents.

B. Monuments and Signs

1. Monumentation and signage at *Runkle Canyon* plays a significant role in the overall community image and shall incorporate elements found in the proposed development.
2. Monuments and signs shall be limited to major and second entries, and will relate to (and be integrated with) existing residential neighborhoods
3. Entries shall incorporate monument walls, raised planters, and specimen planting.
4. Entry monument walls, fences, and landscaping shall comply with the *City's* Traffic Safety Sight Area provisions and with the required sight lines for the minimum stopping distances of vehicles.
5. Entry features should be constructed with materials that are compatible with the architecture and natural resources found on the site.
6. Entry monument walls and signs should be separated from adjacent sidewalks or roadways by a landscaped area with a minimum setback of 3 feet from the adjacent hardscape surface.
7. Foreground planting in front of monument walls and signs should be selected to not obscure sign copy once matured.



3.6 LIGHTING

A. Introduction

Project lighting is of primary importance to the nighttime safety of all residents and visitors to *Runkle Canyon*, both in vehicle and on foot. In addition to safety, lighting design is also a design element that adds character and enhances the project theme, adding to the overall cohesiveness of the community.

B. Lighting

1. Lighting design shall incorporate techniques to minimize nuisance lighting from all fixtures.
2. Architectural lighting fixtures (e.g., street lights, pole lights, and bollards) shall be in scale and character of the surrounding elements.
3. All public street lighting shall comply with *City* standards.
4. Lighting of monuments, signs, and key architectural features is considered important and desirable but should avoid hot spots and spill over onto adjacent open space and residential areas.
5. Architectural lighting features should be integrated into building details.

3.7 LANDSCAPE MAINTENANCE

A. Introduction

It is envisioned that the landscape maintenance of *Runkle Canyon* shall continue to improve the project aesthetics as time passes through the formation of a master homeowner's association and the implementation of CC&Rs. The natural area disturbed by development will be "blended" to undisturbed areas over time, as the residential neighborhoods, parks, and open space grow and mature to a complex transformation of *Runkle Canyon*.

B. Landscape Maintenance

1. Ongoing maintenance shall be performed to *City* standards and/or current industry standards.
2. Ongoing maintenance involves, but is not limited to, adjusting watering schedules, weeding, pruning, and mowing, as climatic/seasonal concerns dictate scheduled fertilization and replacing dead/dying or diseased plants.
3. Pruning shall conform to arboricultural pruning standards to maintain health and aesthetic of plant materials; no topping of trees should be allowed.

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4.1 INTRODUCTION

A. Goal

The goal of this component of the *Implementation Guidelines* is to promote product quality and community diversity by encouraging builders to explore and expand their range of architectural styles. The guidelines in this section seek to continue the legacy of diversity within Simi Valley without sacrificing quality control over design details.

B. General Concepts

1. A diversity of architectural styles is encouraged to enhance the character of the community and avoid a monochromatic appearance.
2. The architecture of ancillary structures (guesthouses, cabanas, barns, storage sheds, etc.) should be compatible with the main structure through the incorporation of compatible materials and colors into the design of building walls, roofs, trellises, fence/wall connections, and/or landscaping components.
3. Rear or side elevations of residential units should be enhanced with architectural treatments and/or landscaping where visible from streets.
4. Use of roof overhangs to enhance energy conservation is encouraged.
5. Reversing floor plans to minimize repetition is encouraged.

4.2 ARCHITECTURAL STYLES

A. Architectural Style Selection

This section is intended to inspire architectural designers to employ historical precedents in creating a distinctive architecture for *Runkle Canyon*. The architecture should consider compatibility with the adjacent and nearby houses that make up the block, as well as with the character of existing neighborhoods in the area.

The architectural styles suggested for *Runkle Canyon* include, but are not necessarily limited to, the following:

Mission;

Spanish Colonial;

American Eclectic;

Craftsman;

English Country; and

French/ Eclectic Country.

These styles demonstrate simplicity and a sense of elegance. These styles remain popular over long periods of time and are applicable in building the traditional community character desired for *Runkle Canyon*.

Other Architectural styles will be considered if the proposed style provides an appropriate richness of design detail and can establish a common sense of consistency with the approved styles contained herein.



Chapter 4.0 ARCHITECTURE

A. Architectural Style Selection (cont.)

1. Mission

California was the birthplace of the Mission style, a natural extension of its early Spanish heritage. Details such as dormers or roof parapets, porch roofs supported by large arched piers, and quatrefoil windows are common in these simple, symmetrical, hipped roof homes.

California turned to the Mission style in the late 1880's and 1890's, with traditional design elements borrowed to adorn traditional shapes, until this style faded from favor after World War I.

Mission architectural details are summarized below:

- a. Form and Mass: Balanced, symmetrical facades; simple square or rectangular shapes with hipped roofs; tile roof cantilevered from wall surface, prominent one-story porches with arched roof supports to simulate outdoor arcades providing shaded protection and a place of gathering and walking.
- b. Materials and Colors: Smooth wall stucco finish painted off white with red tiled roofs.
- c. Openings and Details: Scalloped front facades and walls pierced for the hanging of bells and ornamental openings heighten the sense of entry and arrival; Quatrefoil windows are common; large glass areas are oriented to outdoor arcades (corridors) and quadrangles.



Arched Roof Supports



Scalloped Front Facades



2. Spanish Colonial

Spanish Colonial architecture is a mixing of styles derived from many sources, including southwest adobe architecture, late Moorish architecture, medieval Spanish church architecture, provincial Italian architecture, baroque architecture of colonial Spain and Portugal and the Pueblo and Mission styles.

The style began to gain acceptance with the popularity of the Spanish Colonial buildings designed for the 1915 San Diego Exposition by Bertram G. Goodhue and Carleton M. Winslow. By the 1920's, it became "the style" for Southern California. The acknowledged master of the style was the Montecito architect George Washington Smith.

Spanish Colonial architectural details are summarized below:

- a. Form and Mass: Simple, strong one- and two-story volumes with tile roofs of low pitch. Eaves are rarely used and simple tile rakes are typical. Courtyards, colonnades, and patios are used extensively. Mass predominates over openings.
- b. Materials and Colors: Stucco with little or no texture is the typical wall material. Red barrel tiles are preferred. Off-white or creamy beige is the primary color with accents of blue, dark green, ochre, and red. Wrought iron (black) or wood is used for window grates and balconies. Limited use of awnings may be designed for sun control.

- c. Openings: Limited use of arches. Deep set windows and doors. Limited use of simple window grills. Major openings are occasionally accented with raised or molded pediments. French doors are typical. Simple vent holes in walls are common.



Low Pitched Tile Roof; Molded Pediments



Courtyards and Patios; Window Grates and Balconies



Chapter 4.0 ARCHITECTURE

3. American Eclectic

Reminiscent of the American folk housing, homes designed in the American Eclectic style are defined by the use of wood. The use of wood is an integral element of classic design and suggests permanence, craftsmanship, and warmth. American Eclectic details are described below:

- a. **Form and Mass:** Prominent in this style of architecture is the gable roof form, which is generally pitched from 5:12 or greater, and broken by dormer windows. Decorative wood trusses, shingles, and round attic vents are used at gable ends to accentuate the gable form.
- b. **Materials and Colors:** The use of siding, wood railings, gable-end millwork, trim surrounds, fascias and shutters, helps to create a feeling of established richness and timelessness reminiscent of Colonial America.
- c. **Openings and Details:** A distinguishing feature of this style is the asymmetrical front porch. A front porch provides a roof over the main entrance and a semi-private place to sit and enjoy the outdoors.



Front Porch; Rounded Attic Vents



Decorative Wood; Asymmetrical Front Porch



4. Craftsman

The Craftsman style was inspired primarily by the work of the Greene Brothers who practiced in Pasadena from 1893 to 1914. These homes feature low pitched gable roofs, exposed roof rafters and decorative braces under gables, porches with roofs supported by square columns and wood clapboard, stucco, and stone exteriors.

Craftsman architectural details are summarized below:

- a. Form and Mass: Low pitched gabled roofs with porches, either full or partial width with roof supported by square columns, often two-story with dormers and box windows.
- b. Materials and Colors: Materials used for piers, columns, and solid porch balustrades are varied. Stone, clapboard, brick, or stucco is all common; they frequently occur in combination. Colors vary with a mix of earth tones with higher accents for windows, piers, and columns. Exposed rafters, rakeboards, and fascia are typically painted complementary colors.
- c. Openings: Craftsman doors tend to be simple three light colonial doors in various configurations occasionally with sidelights. Windows tend to be single hung with divided lights as grids.



Low Pitched gable roof, earth tones with accent colors



Porch supported by square columns



Chapter 4.0 ARCHITECTURE

5. English Country

This style exploded in popularity during the 1920's and 30's after masonry veneering techniques allowed even modest examples of this style to resemble the brick and stone exteriors seen on historic English prototypes. There are many variations in overall shape and roof form and various facade materials. Tudor/English Country architectural details are summarized below:

- a. **Form and Mass:** The primary identifying feature of the Tudor style is the steeply pitched roof, usually side-gabled (less commonly hipped or front-gabled). The facade is dominated by one or more prominent cross gables, usually steeply pitched; decorative (not structural) half-timbering are present on about half of the examples; tall, narrow windows, usually in multiple groups and with multi-pane glazing; massive chimneys commonly crowned by decorative chimney pots. The English Country style is a derivation of the Tudor style and incorporates many of the Tudor elements.
- b. **Materials and Colors:** Brick wall cladding is the most common Tudor subtype. Brick first-story walls are commonly contrasted with stone, stucco, or wooden claddings on principal gables or upper stories.

False half-timbering occurs on about half the houses in this style, with infilling of stucco or brick between the timbers and, quite

often, elaborate decorative patterns in the arrangement of timbers or brick.

- c. **Openings & Details:** Doorways are favorite places for adding special Tudor detailing. Small tabs of cut stone may project into surrounding



Steep Pitch Roof; Stone Accent

brickwork, giving a quoin-like effect. Simple round-arched doorways with heavy board-and-batten doors are also common. Tudor (flattened pointed) arches are often used in door surrounds or entry porches.



Detailed Doorway; Grouped Windows

Windows are frequently grouped into strings of three or more, which are most commonly located on or below the main gable.



6. French Eclectic/Country

Rising in popularity after World War I, this style is found in eclectic suburbs throughout California and the United States. Based upon many centuries of French domestic architecture, this style shows a variety in form and detailing, uniting its characteristic roof form.

- a. Form and Mass: The most identifiable feature of the French Eclectic/ Country Architectural



Round Tower

Style is the tall, steeply pitched hipped roof (occasionally gabled in the towered subtype) without dominant front-facing cross gable; eaves commonly flared upward at roof-wall junction.

There are three principal subtypes of this style, each showing a great variety of detailing and wall materials:

(1) *Symmetrical*

In this subtype, the massive hipped roof, normally with the ridge paralleling the front of the house, dominated a symmetrical facade with centered entry. Wings are frequently added to the sides of the main block.

(2) *Asymmetrical*

This is the most common subtype and includes both picturesque examples based on rambling French farmhouses, as well as more formal houses similar to the symmetrical subtype, but with off-center doorways and asymmetrical facades.

(3) *Towered*

This common subtype is immediately identifiable by the presence of a prominent round tower with a high, conical roof. The tower generally houses the principal doorway.

- b. Materials and Colors: Brick, stone, or stucco wall cladding, sometimes with decorative half-timbering.

- c. Openings and Details: Doors in informal examples are usually set in simple arched openings; doors in symmetrical and formal houses may be surrounded by stone quoins or more elaborate detailing such

as pilasters and pediments. Windows may be either double-hung or casement sashes, the latter sometimes with small leaded panes. Full-length casement windows

with shutters (French doors) are sometimes used. Arched, circular, hipped or gabled window dormers are most commonly used.



Doors and Windows in Simple Arched Openings



Chapter 4.0 ARCHITECTURE

B. Architectural Style Implementation Criteria

1. General Guideline

- a. The architectural details shall maintain massing, roof forms, materials, and details which accurately reflect each style.
- b. Various design features can be utilized for more than one style as noted.
- c. All doors and windows shall receive exterior trim consistent with the architectural style of the home.

2. Catalog of Architectural Elements

Each unit will incorporate a minimum of three elements from the following catalog of elements.

Balconies (pg 31)

Chimneys (pg 32)

Columns (pg 33)

Fascia and Cornice Details (pg 34)

Walls/Porch-Accents and Openings (pg 35)

Window Features (pg 36)

Bay Windows (pg 37)

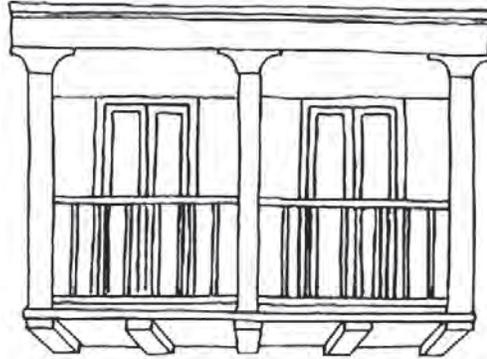
Window Groupings (pg 38)

Accent Trim-Doors and Windows (pg 39)



a. Balconies

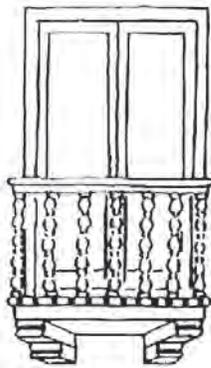
Balconies should be designed as integral components of the structure and reflect the architectural style of the home.



Craftsman
American Eclectic



Spanish Colonial
French/Eclectic Country
English Country
Mission



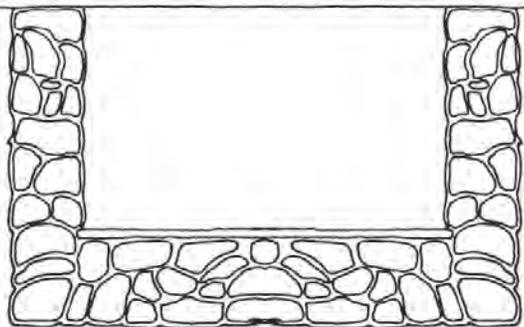
Spanish Colonial
French/Eclectic Country
Mission



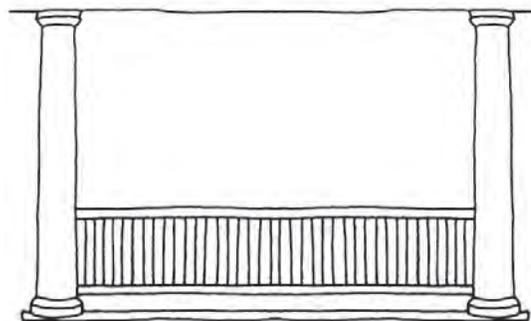
Spanish Colonial
French/Eclectic Country
English Country



Spanish Colonial
French/Eclectic Country



Craftsman
American Eclectic



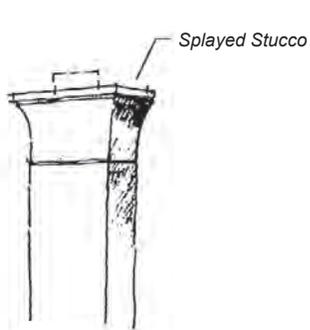
Craftsman
American Eclectic
Mission



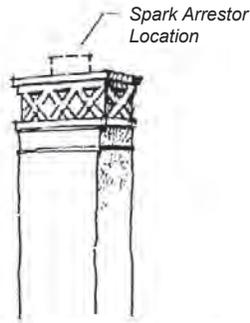
Chapter 4.0 ARCHITECTURE

b. Chimneys

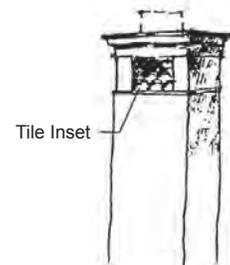
Chimneys shall incorporate accents and articulation detailing that accurately reflects the architectural style.



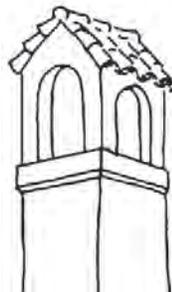
French/Eclectic Country
English Country
Mission



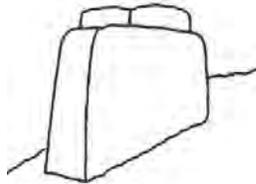
Mission
French/Eclectic Country
English Country



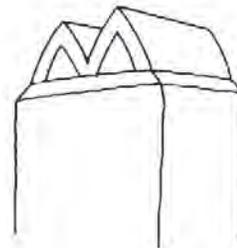
Spanish Colonial
French/Eclectic Country



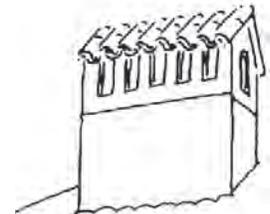
Spanish Colonial
American Eclectic



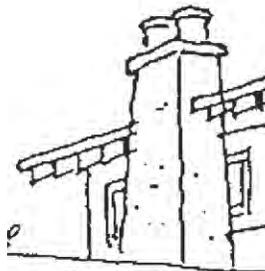
Craftsman
American Eclectic
Spanish Colonial



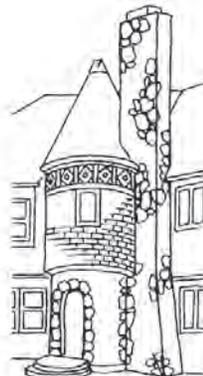
Spanish Colonial
American Eclectic



Spanish Colonial
American Eclectic



American Eclectic
Mission
Craftsman



French/Eclectic Country
English Country



Craftsman
Mission
American Eclectic



c. Columns

Columns integrated as distinctive architectural features shall reflect the individual style of the home.

Square Column/smooth plaster



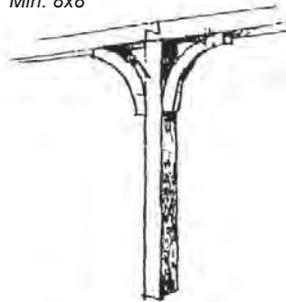
Spanish Colonial
French/Eclectic Country
American Eclectic

Round Tapered Column

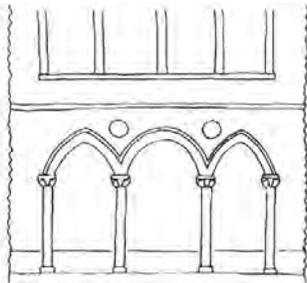


American Eclectic
Spanish Colonial

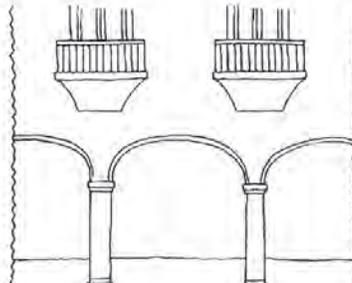
*Wood Column with brackets
Min. 8x8*



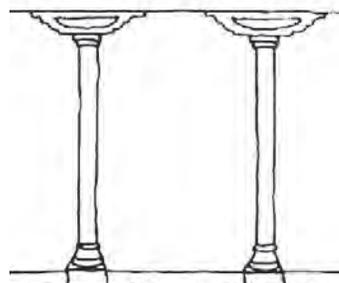
French/Eclectic Country
Mission
Spanish Colonial



Spanish Colonial
French/Eclectic Country
Mission

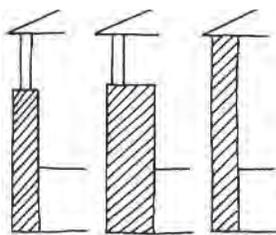


Spanish Colonial
French/Eclectic Country
Mission



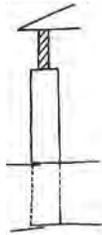
American Eclectic

pier, solid railing, or column continues to ground level without break at porch floor

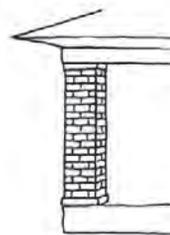


Craftsman
American Eclectic
Mission

short column above pier or solid railing



Craftsman
American Eclectic
Mission



Craftsman
American Eclectic
Mission



Craftsman
American Eclectic
Mission

Porch Level
Ground Level

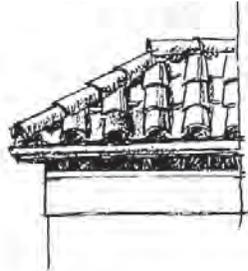


Chapter 4.0 ARCHITECTURE

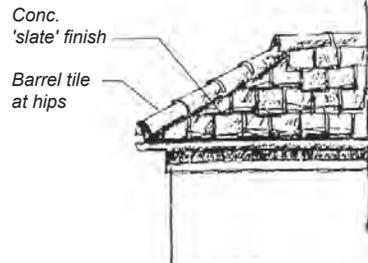
d. Fascia and Cornice Details

Roof eaves shall be encouraged to be as extensive as possible, consistent with the residence's architectural style.

Deep Stepped Plaster Cornice

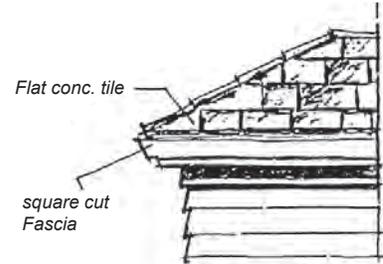


Spanish Colonial
French/Eclectic Country
Mission



French/Eclectic Country
Mission

2x8 or 2x10 Wood fascia



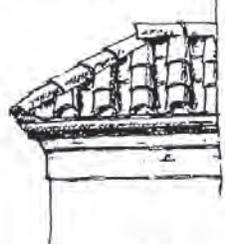
American Eclectic

Plaster Eave



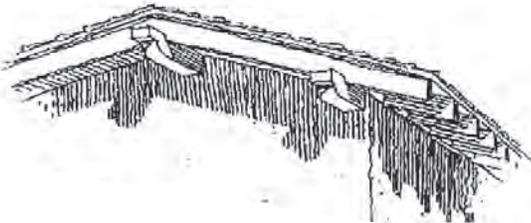
French/Eclectic Country

Cornice with plaster cove

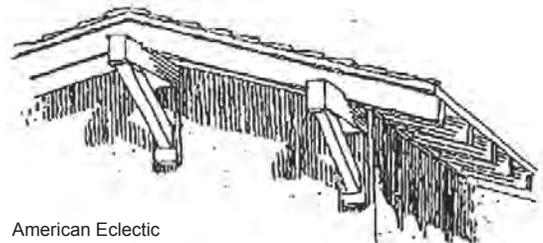


Spanish Colonial
French/Eclectic Country

Triangular knee braces and decorative roof beams



American Eclectic
Craftsman



American Eclectic
Craftsman



e. Walls/Porch-Accents and Openings

Walls/Porch-Accents and openings shall maintain massing and be designed with changes in plane or other forms of articulation to accurately reflect the residence's architectural style. Some examples are:

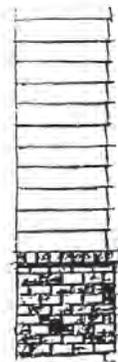
Base

- Smooth Finish
- Rusticated

Quoins

- Located at feature elements
- Possible color variation than main wall
- Stepped pattern
- Straight pattern

Brick Wainscot with lap siding



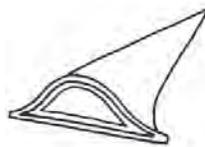
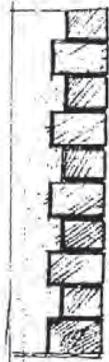
Accent Base



Rusticated Base



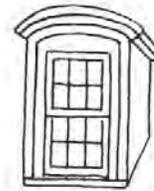
Cut Quoins



American Eclectic
Mission
Spanish Colonial
French/Eclectic Country

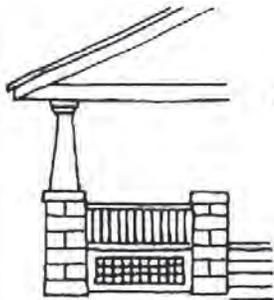


Craftsman
American Eclectic
Spanish Colonial
English Country



French/Eclectic Country
Spanish Colonial
English Country

Low piers without columns above are common



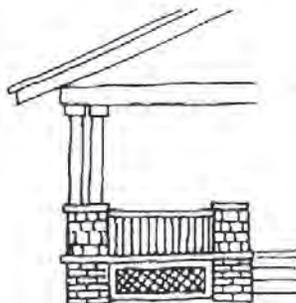
Craftsman
American Eclectic



Craftsman
American Eclectic
English Country



Craftsman
American Eclectic



Craftsman
American Eclectic



Craftsman
American Eclectic



Craftsman
American Eclectic



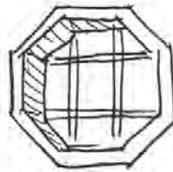
Chapter 4.0 ARCHITECTURE

f. Window Features

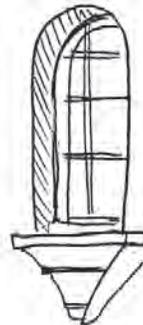
Window openings are critical elements of establishing an architectural style. Care should be taken in their placement and composition.



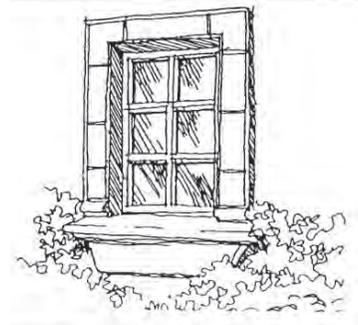
Oval or Round Window with Splayed Inset



Octagonal with Specialty Glass

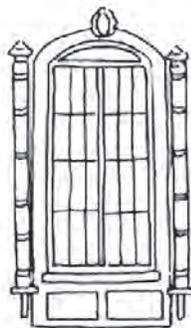


Arched Window with Sculpted Sill



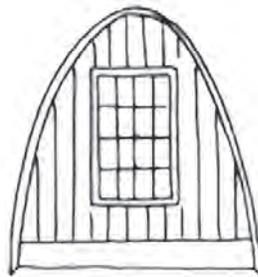
Rectangular Window with surround

Focal Windows



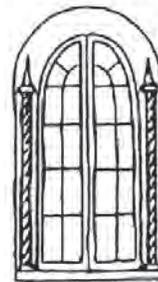
Spanish Colonial
French/Eclectic Country
American Eclectic
English Country

Focal Windows



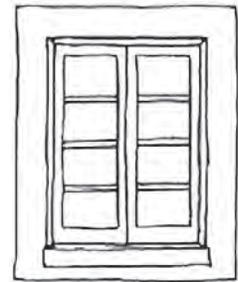
Spanish Colonial
French/Eclectic Country
American Eclectic
English Country

Casement Windows

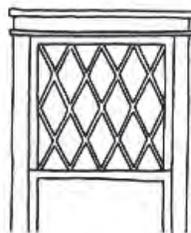


Spanish Colonial
French/Eclectic Country
American Eclectic
English Country

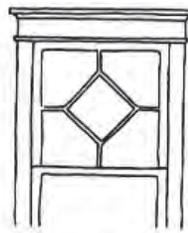
Casement Windows



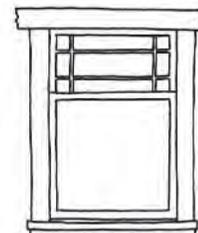
Spanish Colonial
French/Eclectic Country
American Eclectic
Mission



Craftsman
Mission
American Eclectic



Craftsman
Mission
American Eclectic



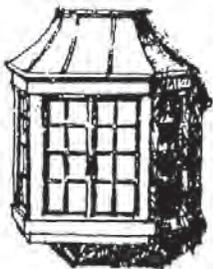
Craftsman
Mission
American Eclectic



g. Bay Windows

Bay Window features will create depth and interest on building facades and shall accurately reflect the architectural style.

Angles Bay



French/Eclectic Country
English Country
Mission

Shallow Box Bay



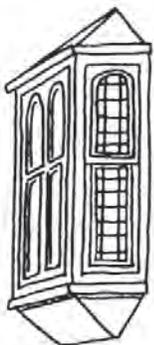
English Country
French/Eclectic Country
Mission

Deep Box Bay

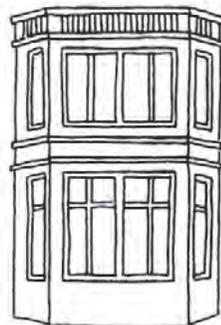


Spanish Colonial
English Country
French/Eclectic Country
Mission

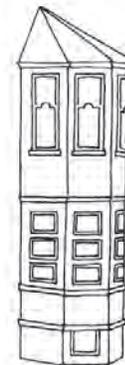
One- and two-story bay windows, steeply pitched gable dormers, gothic pointed elements



French/Eclectic Country
English Country



French/Eclectic Country
English Country



American Eclectic
Craftsman
French/Eclectic Country
English Country

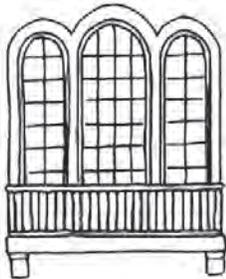


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h. Window Groupings

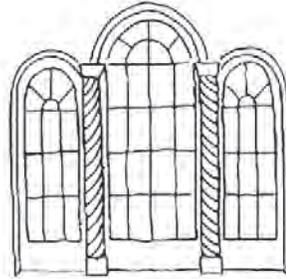
Featured window groupings are also important components in establishing a consistent architectural style.

Focal Windows

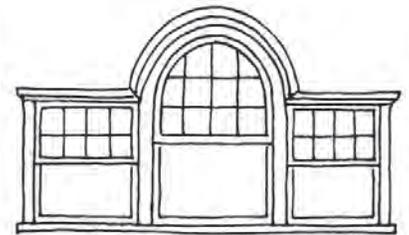


Spanish Colonial
French/Eclectic Country
American Eclectic

Focal Windows

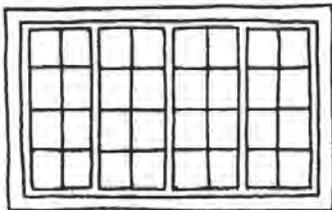


Spanish Colonial
French/Eclectic Country
American Eclectic

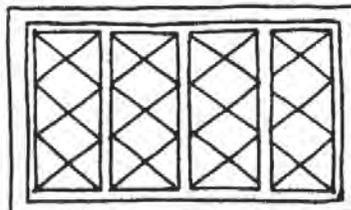


English Country
American Eclectic
Craftsman

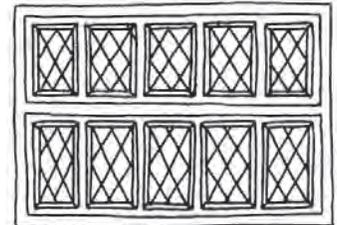
Tall, narrow windows, commonly in multiple groups and with multi-pane glazing.



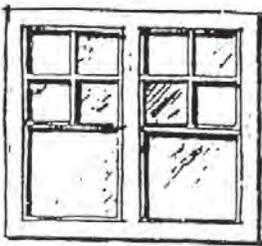
Spanish Colonial
French/Eclectic Country
English Country



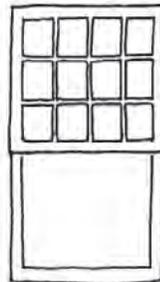
Spanish Colonial
French/Eclectic Country
English Country



Spanish Colonial
French/Eclectic Country
English Country



American Eclectic
Craftsman



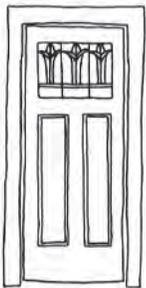
American Eclectic
Craftsman



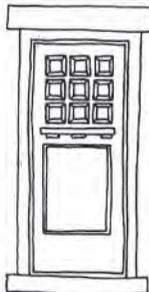
i. Accent Trim-Doors and Windows

Consistent application of trim helps to heighten the architectural impact of doors and windows, but it must be articulated in a consistent fashion.

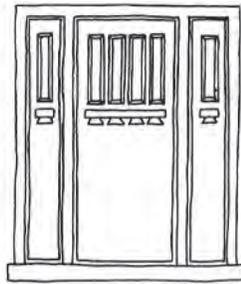
Door Styles



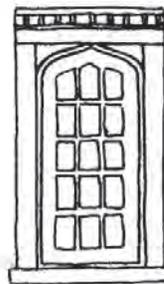
American Eclectic
Craftsman



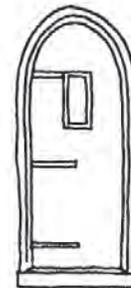
American Eclectic
Craftsman



American Eclectic
Craftsman



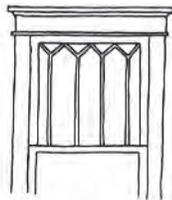
American Eclectic
English Country
French/Eclectic Country
Spanish Colonial



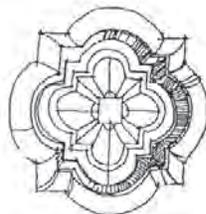
American Eclectic
Craftsman
Mission
Spanish Colonial

Single door entry, small quaint porch/entry

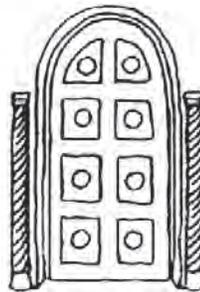
Window Styles



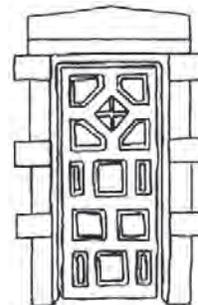
American Eclectic
Craftsman



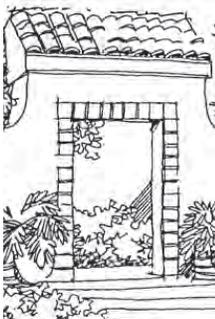
Mission



Spanish Colonial
French/Eclectic Country
Mission



Spanish Colonial
French/Eclectic Country
Mission



Mission
American Eclectic
Craftsman



Spanish Colonial
French/Eclectic Country
English Country



Spanish Colonial
Mission
French/Eclectic Country
English Country



Chapter 4.0 ARCHITECTURE

4.3 SINGLE-FAMILY DESIGN STANDARDS

A. Introduction

In general, the architecture should consider compatibility with the adjacent and nearby houses that make up the block, as well as with the character of existing neighborhoods in the area. In addition to harmonious building styles, architectural design should include careful consideration of form, size, color, material, rooflines, and accessory structures.

B. Single-Family Design Standards

1. House designs should emphasize changes in wall planes and vertical articulation to avoid “boxy” building appearances.
2. House designs should not be repeated more frequently than every fourth house or between houses that face each other.
3. The entry and living area should be the most identifiable and accessible elements of the front elevation of the house.
4. All building sides and rears should feature articulation and detail similar to that applied to the front side of the house when abutting roadways and other prominent site views.
5. Exterior trim and sills should reflect the homes architectural context and style.
6. Designer or feature windows, including arched and round windows, are encouraged with the appropriate architectural context.



Identifiable Living Areas

7. Materials and finishes should serve to achieve and enforce a common identifiable theme for the house.
8. Finish treatments should be made of materials that are durable.
9. Main wall colors should be compatible with the *City's* semi-arid climate, where the use of muted and pastel colors provides a cooling and calming effect.
10. Trim colors that contrast main colors are encouraged where appropriate with architectural style.
11. Roof styles and materials should complement the building style.
12. Clearstory windows are encouraged to maximize the use of natural light.
13. Roof mounted heating and cooling equipment is not allowed.
14. The same roof material should be used for accessory structures.



- 15. For garages that face the street, the doors should be recessed to reduce the dominance of the garage door openings and to create greater shadow and depth effects for the garage wall.
- 16. Side-facing garages, garages set back behind the leading edge of the living area, as well as detached garages placed to the rear of the lot are encouraged.

4.4 SENIOR HOUSING DESIGN STANDARDS

A. Introduction

Senior housing neighborhoods will incorporate a higher density attached architectural product design. Site and building design for attached projects should take into account higher densities, parking areas, and larger individual buildings than single-family projects.



Individual Access with Porch

B. Senior Housing Design Standards

- 1. Attached residential buildings should incorporate the same architectural principles that apply for single family structures,

including adherence to general design themes, building articulation and mass, materials and finishes, roofs, garages, and equipment screening.

- 2. Buildings should incorporate significant and functional vertical and horizontal articulation features on the front building elevation.
- 3. Each external residential entry should have an individual access with distinctive architectural treatments to distinguish it from other units.
- 4. The incorporation of balconies, porches, and patios within attached homes is encouraged for aesthetic value and for usable private open space.
- 5. Roofs for attached buildings should incorporate pitches, ridgelines, and materials that are typical of single-family residences in the area.
- 6. Exterior stairways should complement the architecture and sense of individuality of each residential unit.



Vertical and Horizontal Articulation

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Area: Re-established Natural Landscape

Scientific Name	Common Name
-----------------	-------------

Trees and Shrubs:

Acer macrophyllum	Bigleaf Maple
Artemisia douglasiana	California Mugwort
Baccharis salicifolia	Mule Fat
Cercis canadensis	Eastern Redbud
Cercis occidentalis	Western Redbud
Cistus purpureus	Orchid Rockrose
Hemizonia fasciculata	Tarweed
Iris douglasiana	Pacific Coast Iris
Juglans californica	S. California Black Walnut
Lonicera subspicata	Southern Honeysuckle
Lyonothamnus f. asplenifolius	Catalina Ironwood
Melica imperfecta	Melic
Opuntia sp.	Prickly Pear
Platanus racemosa	California Sycamore
Potentilla glandulosa	Sticky Cinquefoil
Prunus lyonii	Catalina Cherry
Quercus agrifolia*	Coast Live Oak
Rosa californica	Wild Rose
Sambucus mexicana	Mexican Elderberry
Symphoricarpus mollis	Snowberry
Verbena lasiostachys	Western Verbena
Yucca whipplei	Our Lord's Candle

*Note: Total tree mix for this area should contain a minimum of 60% Quercus agrifolia.

Perimeter and Background Shrubs/Groundcover:

Arctostaphylos edumdsii	Little Sun Manzanita
Arctostaphylos hookeri	Monterey Manzanita
Arctostaphylos 'Howard McMinn'	Howard McMinn Manzanita
Carpenteria californica and cvs	Bush Anemone
Ceanothus 'Concha'	Ceanothus Concha
Ceanothus 'Frosty Blue'	Wild Lilac
Ceanothus 'Wheeler Canyon'	Western Lilac
Galvezia speciosa	Island Bush Snapdragon
Heteromeles arbutifolia	Toyon
Keckiella cordifolia	Climbing Penstemon
Mahonia aquifolium	Oregon Grape
Rhamnus californica 'Eve Case'	California Coffeeberry
Rhus ovata	Sugar Bush



Appendix A PLANT PALETTE

Accent Plants:

Eschscholzia californica	California Poppy
Fremontodendron cultivars	Flannel Bush
Romneya coulteri	Matilija Poppy
Sisyrinchium bellum	Blue Eyed Grass

Riparian Trees:

Alnus rhombifolia	White Alder
Platanus racemosa	California Sycamore
Populus fremontii	Fremont Cottonwood
Salix lasiolepis	Arroyo Willow
Salix laevigata	Red Willow
umbellularia californica	California Bay

Note: Other trees, shrubs, and plant material approved by the City's Department of Environmental Services may also be used.

General Note: No tree, shrub, or other plant material shall be permitted within the *Specific Plan Area* which is identified as 'Escaped Exotics' or 'Invasive Exotic Plants' by the California Native Plant Society.

Landscape Areas: Recreational Open Space, Residential Estate, Single-Family, Senior Housing, Community Entry

Scientific Name	Common Name
-----------------	-------------

TREES

Primary Trees:

Koelreuteria bipinnata	Chinese Flame Tree
Koelreuteria paniculata	Goldenrain Tree
Laurus nobilis	Sweet Bay
Liquidambar styraciflua	Sweetgum
Olea europaea (fruitless)	Olive
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Quercus lobata	Valley Oak
Quercus ilex	Holly Oak
Quercus virginiana	Southern Live Oak

Accent Trees:

Albizia julibrissin	Mimosa Tree
Cercis canadensis	Eastern Redbud
Pinus eldarica	Mondel Pine
Pinus halepensis	Aleppo Pine
Pyrus spp.	Flowering Pear



PLANT PALETTE Appendix A

Quercus agrifolia
 Quercus lobata
 Prunus cerasifera "Krauter Vesuvius"

Coast Live Oak
 Valley Oak
 Purple Leaf Plum

Street Trees:

Geijera parviflora
 Jacaranda mimosifolia
 Koelreuteria paniculata
 Lagerstroemia spp.
 Liquidambar styraciflua
 Magnolia grandiflora
 Pinus eldarica
 Podocarpus gracilior
 Pyrus spp.
 Quercus virginiana
 Sapium sepiferum
 Tristania conferta
 Zelkova Serrata

Australian Willow
 Jacaranda
 Goldenrain Tree
 Crepe Myrtle
 Liquidambar
 Magnolia
 Mondel Pine
 Fern Pine
 Flowering Pear
 Southern Live Oak
 Chinese Tallow Tree
 Brisbane Box
 No Common Name

Neighborhood Park Trees:

Cedrus spp.
 Cinnamomum camphora
 Eucalyptus spp.
 Jacaranda mimosifolia
 Pinus spp.
 Platanus racemosa
 Podocarpus gracilior
 Quercus agrifolia
 Quercus ilex
 Sequoia sempervirens
 Umbellularia californica

Cedar
 Camphora
 Eucalyptus (those not listed as escaped exotic)
 Jacaranda
 Pine
 California Sycamore
 Fern Pine
 Coast Live Oak
 Holly Oak
 Redwood
 California Bay

SHRUBS

Primary Shrubs*:

Adenostoma fasciculatum
 Artemisia californica
 Artemisia douglasiana
 Bloomeria croosu
 Brickellia californica
 Ceanothus megacarpus
 Ceanothus spinosus
 Dichalostemma pulchellum
 Diplacus longiflorus
 Elymus condensatus

Chamise
 Coastal Sagebrush
 California Mugwort
 Common Golden Stars
 California Brickelbush
 Big-pod Ceanothus
 Green-barked Ceanothus
 Blue Dicks
 Sticky Monkey Flower
 Giant Wild Rye



Appendix A PLANT PALETTE

Encelia californica
Erigenon foliosus
Eriogonum fasciculatum
Eriophyllum confertiflorum
Gnaphalium californicum
Hernizonia fasciculata
Heteromeles arbutifolia
Isocoma verieta
Keckiella cordifolia
Lonicera subspicata
Lotus scoparius
Oryzopsis millaosa
Malacothamnus fasciculatus
Malosoma taurina
Paeonia californica
Phacelia cicutaria
Phacelia ramosissima
Phacelia viscida
Potentilla glandulosa
Rhamnus ilicifolia
Rhus integrifolia
Rhus ovata
Ribes malvaceum
Salvia apiana
Salvia leucophylla
Salvia melifera
Sambucus mexicana
Sapium sebiferum
Sisyrinchium bellum
Venegasia carpesoides
Yucca spp.

Accent Shrubs:

Agapanthus africanus
Agave spp.
Aloe spp.
Arbutus unedo
Arctostaphylos spp.
Artemisia spp.
Buxus spp.
Caesalpinia gilliesii
Calliandra eriophylla
Carissa macrocarpa 'Fancy'
Carpenteria californica 'Elizabeth'

California Bush Sunflower
Leafy Daisy
California Buckwheat
Golden Yarrow
California Everlasting
Tarweed
Toyon
Coastal Goldenbush
Heart-leaved Penstemon
Southern Honeysuckle
Deerweed
Millet Rice Grass
Mesa Bushmallow
Laurel Sumac
California Peony
Caterpillar Phacelia
Branching Phacelia
Sticky Phacelia
Sticky cinquefoil
Honey-leaved Redberry
Lemonadeberry
Sugarbush
Pink-flowered Currant
White Sage
Purple Sage
Black Sage
Mexican Elderberry
Chinese Tallow Tree
Blue-eyed Grass
Canyon Sunflower
Yucca

Lily of the Nile
Agave
Aloe
Strawberry Tree
Manzanita
Sagebrush
Boxwood
Bird of Paradise Bush
Fairy Duster
Natal Plum
Bush Anemone



PLANT PALETTE Appendix A

Cassia spp.
Ceanothus spp.
Cercis canadensis
Chilopsis linearis
Cistus spp.
Cocculus laurifolius
Cotoneaster spp.
Dodonaea viscosa 'Purpurea'
Echium fastuosum
Elaeagnus spp.
Eriogonum spp.
Grevillea spp.
Hemerocallis spp.
Juniperus spp.
Lantana spp.
Laurus nobilis
Ligustrum spp.
Liriope gigantea
Mahonia spp.
Melaleuca spp.
Mimulus spp.
Myoporum parvifolium
Myrtus spp.
Nandina spp.
Pelargonium peltatum
Pittosporum spp.
Poinciana gilliesii
Prunus spp.
Pyracantha spp.
Raphiolepis spp.
Rhus spp.
Ribes spp.
Romneya coulteri
Rosa spp.
Rosmarinus spp.
Salvia spp.
Sambucus mexicana
Santolina chamaecyparissus
Xylosma congestum
Vinca minor

Riparian Shrubs:

Artemisia douglasiana
Baccharis pilularis

Cassia
Wild Lilac
Eastern Redbud
Desert Willow
Rockrose
Snailseed
Cotoneaster
Purple Leafed Hopseed Bush
Pride of Madeira
Russian Olive
Buckwheat
Grevillea
Daylilies
Juniper
Lantana
Grecian Laurel
Privet
Liriope
Grape
Melaleuca
Monkey Flower
Myoporum
Myrtle
Heavenly Bamboo
Ivy Geranium
Pittosporum
Bird of Paradise Bush
Cherry
Firethorn Pyracantha
India Hawthorne
Sugar Bush
Currant
Matilija Poppy
Rose
Rosemary
Sage
Elderberry
Lavender Cotton
Xylosma
Periwinkle

California Mugwort
Coyote Brush



Appendix A PLANT PALETTE

Baccharis salicifolia	Mule Fat
Carex spp.	Sedges
Hemizonia fasciculata	Tarweed
Juglans californica	S. California Black Walnut
Lonicera subspicata	Southern Honeysuckle
Melica imperfecta	Melic
Platanus racemosa	California Sycamore
Polypogon monspellensis	Rabbits Foot Grass
Populus fremontii	Fremont Cottonwood
Potentilla glandulosa	Sticky Cinquefoil
Rosa californica	Wild Rose
Rumex crispus	Curly Dock
Salix laevigata	Red Willow
Salix lasiolepis	Arroyo Willow
Sambucus mexicana	Mexican Elderberry
Symphoricarpus mollis	Snowberry
Tenuis juncus bufonius	Rushes
Verbena lasiostachys	Western Verbena

*Note: For the neighborhood park, primary shrubs should comprise at least 60 percent of the shrubs used; the other shrubs should be accent shrubs or riparian shrubs as appropriate.

Groundcovers:

Achillea clavennae	Silver Yarrow
Achillea tomentosa	Woolly Yarrow
Artemisia spp.	Sage
Baccharis pilularis	Dwarf Coyote Bush
Ceanothus spp.	Ceanothus
Cistus purpureus	Pink Rockrose
Cotoneaster spp.	Cotoneaster
Eriogonum fasciculatum	Common Buckwheat
Gazania spp.	Gazania
Heuchera spp.	Coral Bells
Juniperus chinensis spp.	Juniper
Lantana hybrid spp.	Lantana
Mahonia repens	Creeping Mahonia
Myoporum 'Pacificum'	Myoporum
Nandina domestica 'Harbour Dwarf'	Dwarf Heavenly Bamboo
Pyracantha spp.	Pyracantha
Verbena spp.	Verbena
Zauschneria californica	California Fuchsia

Note: Groundcovers may be used in conjunction with either the primary or accent shrubs. This will provide additional variety or may also satisfy specific height or space requirements.



Vines:

Bougainvillea spp.
Clytostoma callistegioides
Distictis buccinatoria
Fatshedera lizei
Ficus pumila
Gelsemium sempervirens
Jasminum officinale
Macfadyena unguis-cati
Parthenocissus tricuspidata
Rosa banksiae
Wisteria sinensis

Bougainvillea
Violet Trumpet Vine
Blood-Red Trumpet Vine
NCN
Creeping Fig
Carolina Jessamine
Common White Jasmine
Cat's Claw
Boston Ivy
Lady Banks' Rose
Chinese Wisteria

Note: Vines may be used to climb trellises, structures, or walls to provide accent.

Grasses:

Arena fatus
Arena barbitia
Aristida purpurea
Bouteloua gracilis
Canyza canadensis
Distichlis spicata
Elymus condensatus
Elymus lepida
Eremocarpus setigera
Hordeum leporinum
Lepidium nitidum
Melica californica (bunchgrass)
Miscanthus spp.
Muhlenbergia rigens
Oryzopsis millacea
Pennisetum setaceum
Philaris spp.
Poa scabrella
Routelova gracilis
Stipa lepida
Stipa pulchra

Wild Oat
Slender Oat
Three Awn
Blue Grama
Horseweed
Salt Grass
Giant Wild Rye
Blue Wild Rye
Turkey-Mullein
Hare Barley
Shining Pepper Grass
Eulalia Grass
Deergrass
Millet Rice Grass
Fountain Grass
Ribbon Grass
Malpais Bluegrass
Foothill Needlegrass
Purple Needlegrass



Appendix A PLANT PALETTE

Turf:

Agrostis spp.	Bent Grass
Buchloe dactyloides	Buffalo Grass
Cynodon dactylon	Bermuda Grass
Festuca elatior	Tall Fescue
Festuca rubra	Red Fescue
Lolium multiflorum	Annual Ryegrass
Lolium perenne	Bluegrass
Poa spp.	
Stenotaphrum secundatum	St. Augustine Grass
Zoysia japonica	Zoysia

General Note: No tree, shrub, or other plant material shall be permitted within the *Specific Plan Area* which is identified as 'Escaped Exotics' or 'Invasive Exotic Plants' by the California Native Plant Society.

Landscape Area: Fuel Modification

In order to enhance the habitat value of plant communities which require fuel modification, fire resistant plant species may be planted within the fuel modification zone. The following plant species as recommended by *VCFPD* have been determined to be fire resistant and contain habitat value and may be planted in fuel modification zones.

Scientific Name	Common Name
Arctotheca calendula	Cape Weed
Baccharis pilularis "Twin Peaks"	Dwarf Coyote Bush
Ceanothus gloriosus "Anchor Bay"	Anchor Bay Ceanothus
Lotus scoparius	Deerweed
Myoporum parvifolium	Prostate Myoporum
Quercus agrifolia	Coast Live Oak
Salvia "Dara's Choice"	Salvia "Dara's Choice"
Yucca spp.	Yucca



GLOSSARY

A. PURPOSE AND INTENT

For the purposes of this Specific Plan, the definitions contained in Title 9 of the SVMC shall apply for each section of the Specific Plan except as otherwise provided below.

B. ABBREVIATIONS AND DEFINITIONS

Acre Feet Per Year – □

Affordable Housing Agreement – An agreement between the City and the Applicant, which meets the affordable housing provision requirements for the Specific Plan Area.

Applicant – GreenPark Runkle Canyon, LLC and its successors and assignees.

Architectural Feature – A non-habitable design feature or projections of a building’s form, roofline, wall plane, and/or construction or finish material. Such features would include, but not necessarily be limited to, eaves, cornices, sills, columns, projections, wall recesses, and other architectural elements and projections.

Bedroom – A room other than a bathroom, kitchen, dining room, living room, family room, or den, which is intended to be used for sleeping and which contains a clothes closet.

Builder – A person or entity that is constructing homes, buildings, and improvements within a subdivision located within the Specific Plan Area.

Burro Flats – See Dry Lake.

Caltrans – California Department of Transportation.

CC&Rs – Covenants, Conditions, and Restrictions.

CDFG – California Department of Fish and Game.

CEQA – California Environmental Quality Act, California Public Resources Code Section 21000 et seq., as amended from time to time.

CEQA Guidelines – The California Environmental Quality Act Guidelines, California Public Resources Code Section 15000 et seq., as amended from time to time.

CFS – Cubic feet per second.

City – □City of Simi Valley.

City Council – City Council of the City of Simi Valley.

City Urban Restoration Boundary – An urban growth boundary line established by the City.

Communication Equipment and Telephonic Buildings – All structures and facilities which are limited to commercial uses such as radio, television and telephonic transmitting and receiving equipment, and transmitting and receiving antennas, radar stations, and microwave towers.

Conservation and Public Access Easement – A legal agreement that a property owner enters into which restricts, for the purposes of conservation, the type and/or intensity of development that may take place on said property and which also specifies areas, such as trails and/or utility servicing routes, delineating where public access is allowed.

Conservation Easement – A legal agreement that a property owner enters into which restricts, for the purposes of conservation, the type and/or amount of development that may take place on said property.

Conventional Slope Treatments – Cut, fill, or manufactured slopes comprised of up to 2:1 gradients, and which includes concrete bench drains and/or similar drainage devices.

Contour Grading – Cut, fill, or manufactured slopes that are rounded, undulated, shaped with variable gradients, and that employ similar techniques to blend with the adjacent natural terrain.

Crops – Agricultural products grown and harvested on-site, as a commercial operation.

Development – Any activity or alteration of the landscape, its terrain, contour, or vegetation, including grading, the erection or alteration of buildings or structures, and the creation of recreational open spaces, and/or other required infrastructure.

Development Agreement – A legal, written agreement between the City and any person or persons (owner(s), developer(s), or successor(s)-in-interest) having a legal or equitable interest in a specific piece of real property, duly entered into pursuant to California Government Code Sections 65864 et seq., which specifies the terms for the development of said piece of real property and which grants rights to the owner(s), developer(s), or successor(s)-in-interest to develop said real property under the agreed terms.

Development Area – That portion of the Specific Plan Area in which Development occurs.

Dry Lake – The 1988 General Plan referenced this portion of the Project Area as “Burro Flats,” a topographic feature of the City located at the extreme southeast of the Specific Plan Area; the on-site portion of this topographic feature has historically been known as Dry Lake.

EIR – Environmental Impact Report.

EPA – United States Environmental Protection Agency.

front yard – See setback.

General Plan – City of Simi Valley General Plan – 1988 and amendments thereto.

Golf Course – An establishment engaged in the operation of a golf course opened to the public as per the General Plan and Municipal Code, and this Specific Plan.

GPD – Gallons per day.

GPM – Gallons per minute.

Gross Acreage – The total area of any legally-created parcel, parcels, or planning area, including the ultimate street rights-of-way, existing rights-of-way deeded to a parcel, easements across the parcel, and common areas.

HPS – Hillside Performance Standards, Title 9, Chapter 1, Article 16 of the Municipal Code that regulates hillside development in the City.

HOA – Runkle Canyon Homeowners Association.

Home Occupation – The use of a portion of a primary residence as a place of business per the requirements of Title 9, Chapter 1, Article 7 of the Municipal Code.

Implementation Guidelines – See Runkle Canyon Implementation Guidelines.

Information Centers – A facility or structure, which provides information to the public regarding the community, including new home Developments.

LAFCO – Ventura County Local Agency Formation Commission.

Land Use Designations – A classification system describing the way in which property is or will be utilized or occupied as delineated in this Specific Plan.

Large Lot Conveyance Map – See also Tentative Parcel Map.

Mature Tree – Article 15 of the Municipal Code defines mature trees as determined by species, size, and/or historical significance where those trees are associated with proposals for Development.

Maximum Non-Residential Building Square Footage – The maximum Non-Residential Building Square Footage allowed within a given Planning Area.

Maximum Units – The maximum number of residential dwelling units allowed within a given Planning Area as set forth in the Land Use Statistical Summary, Table 4-2.

MDG – Million gallons per day.

Model Home Complex (or real estate tract office) – A group of homes temporarily used as examples to sell future homes and which includes a sales office per the requirements of Title 9, Chapter 1, Article 5 of the Municipal Code.

Monument Sign – Any sign that is anchored directly to the ground or supported from the ground, or is attached to a freestanding wall or fence.

Municipal Code or SVMC – City of Simi Valley Municipal Code. See SVMC.

N.A.P. – Not A Part of the Specific Plan Area.

NPDES – National Pollution Discharge Elimination System.

Neighborhood Park – An area of land that is reserved for public open space or recreation use as per this Specific Plan and administered by the Rancho Simi Recreation and Park District.

Oil and Natural Gas Operations – The extraction, injection, and storage of oil and gas, pursuant to requirements of the California Department of Conservation, Division of Oil, Gas, and Geothermal Resources (includes the storage of gas underground and all surface structures, pumps, etc.) and Title 9, Chapter 1, Article 7 of the Municipal Code regulating oil and gas drilling and production.

Planned Units – The number of dwelling units planned within a designated Planning Area of this Specific Plan.

Planning Area – A defined geographic area within this Specific Plan as depicted on Exhibit 4.2-1, Specific Plan Land Use Plan, that provides for a Land Use Designation and acreage.

Planning Commission – The Planning Commission of the City.

Principal Use – A primary purpose for which a lot, parcel, building, or structure is designed, arranged, or intended to be used, occupied, or maintained.

Project – The Project approved for the Runkle Canyon Specific Plan Area.

Project Area – The total area contained within the Runkle Canyon Specific Plan Area.

Qualified Biologist – A biologist selected by the Applicant, and approved by the City and/or the responsible permitting agency.

Rear Yard – See Setback.

Residences, Multi-Family – A residential building of two or more attached, stacked living units.

Residences, Single-Family Attached – A residential building, which contains two or more attached, non-stacked living units.

Residences, Single-Family Detached – A residential building containing one living unit per primary structure or building.

RSRPD – Rancho Simi Recreation and Park District, an agency within the County of Ventura that provides and maintains recreation facilities and programs the District. The Neighborhood Park located near the center of the Project Area will be maintained by the Rancho Simi Recreation and Park District.

Runkle Canyon – That geographic region or drainage feature located within the Specific Plan Area as noted on United States Geographic Survey maps.

Runkle Canyon Specific Plan – The Specific Plan document that provides additional controls regulating Development within the Runkle Canyon Specific Plan Area.

Runkle Canyon Specific Plan Area – That area of Runkle Canyon specifically designated in the Specific Plan Legal Description, Appendix A, and as graphically shown by a project boundary line on the figures contained in this Specific Plan.

SCE – Southern California Edison Company.

SCGC – Southern California Gas Company.

SCWC – Southern California Water Company.

Senior Recreation Facility – A recreation facility intended for the use by residents of Planning Area 4 (Senior Housing).

setback – The minimum distance from which structures shall be separated from the boundary lines of the lot or parcel on which they are located. The purpose of Setbacks is to provide an open space or yard area, which is unoccupied and unobstructed from the ground upward, except for projections per the City's Municipal Code. Residential Setbacks referenced in the Development Standards, Table 4-3 of this Specific Plan, include the following:

front setback – an open yard area measured into a lot or parcel from the front property line extending the full width of the lot or parcel, the depth of which is the minimum distance between the front property line and a line parallel thereto.

side setback – an open yard area measured into a lot or parcel from a side property line between the front and rear setbacks, the depth is the minimum distance between the side property line and a line parallel thereto.

rear setback – an open yard area measured into a lot or parcel from a rear property line extending the full width of the lot or parcel, the depth of which is the minimum distance between the rear property line and a line parallel thereto.

projections – architectural features that do not create additional floor area or living space but may project into setback areas as regulated by the Municipal Code.

Sub HOA – Sub Homeowners Association(s).

SHPO – California State Historic Preservation Office.

Side Yard – See Setback.

Specific Plan – Runkle Canyon Specific Plan.

Specific Plan Area – Runkle Canyon Specific Plan Area.

Specific Plan Land Use Plan – Figure 4.2-1 prescribes the Planning Areas of the Specific Plan.

Substantial Compliance – Substantial Compliance with the purpose and intent of this Specific Plan.

SVMC – Simi Valley Municipal Code. See Municipal Code

SVUSD – Simi Valley Unified School District.

Telephone Repeater Station – A structure used for housing amplifying equipment for wireless communications, antennas, and telephone cable routes.

Temporary Sign – A sign intended to be erected and maintained for a period of less than 60 days.

Tenant – A renter, lessee, sublessee, or any other person, except the owner, entitled to the use or occupancy of a unit.

Tentative Parcel Map – A Parcel Map that allows for subdividing five or more parcels, where each parcel created by the division has a gross area of 20 acres or more and has an approved access to a maintained public street or highway, or each parcel has a gross area of not less than 40 acres as per Title 7, Division 2 Sections 66426 et seq. of the California Government Code, Title 9, Chapter 2, Sections 9-2.201 et seq. of the Municipal Code. The Parcel Map is for purposes of conveyance or financing only; it does not authorize grading or construction of any kind other than identified therein.

Tentative Tract Map – Refers to a map for the purpose of showing the design and improvement of a proposed subdivision of five or more lots, of five or more condominiums as defined in Section 783 of the Civil Code, or a community apartment project as defined in Section 11004 of the Business and Professions Code containing five or more parcels per the requirements of Title 7, Division 2, Sections 66410 et seq. of the California Government code, and Title 9, Chapter 2, Sections 9-2.101 et seq. of the City's Municipal Code.

USACE – United States Army Corps of Engineers.

USACE Jurisdictional Waters – See "Waters of the United States."

USGS – United States Geological Survey.

VCFPD – Ventura County Fire Protection District.

VCWPD – Ventura County Watershed Protection District (formerly Ventura County Flood Control District).

Vernal Pool – A seasonal wetland that forms in areas that have shallow depressions underlain by a substrate of hardpan or clay near the surface that restricts the percolation of water. The Vernal Pool located within the southern (Dry Lake) portion of the Runkle Canyon property. The Vernal Pool is continuously disturbed by active cattle grazing and considered to be of moderate quality.

Vision 2020 – A report written as a guide to the future of the City as prepared by an Executive Committee's assemblage of responses to Simi Valley citizen surveys culminating in recommendations for five main topic areas: safety, economics, environment, Development and social.

Waters of the United States – Pursuant to the Clean Water Act, 33 Code of Federal regulation Section 326.3, Waters of the United States is defined as "All navigable waters of the United States, all interstate waters including interstate wetlands, and all other waters such as intrastate lakes, rivers, streams (including intermittent streams), mudflats, sandflats, wetlands, sloughs, prairie potholes, wet meadows, playa lakes, or natural ponds, the use, degradation or destruction of which could affect interstate or foreign commerce".