

CIVIC CENTER PLAZA

SPECIFIC PLAN

THE LUSK COMPANY

TURRINI & BRINK PLANNING CONSULTANTS

ORDINANCE NO. 897

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SIMI VALLEY AMENDING THE ZONING ORDINANCE, THE WEST END SPECIFIC PLAN, THE BRANDEIS-BARDIN SPECIFIC PLAN, THE SIMI VALLEY REGIONAL CENTER SPECIFIC PLAN, AND THE CIVIC CENTER PLAZA SPECIFIC PLAN TO ADOPT REVISED PARKING STALL DESIGN STANDARDS

WHEREAS the City Council of the City of Simi Valley initiated a proposal to amend the Zoning Ordinance, Simi Valley Municipal Code, Title 9, Chapter 1-Zoning (Z-S-496), the West End Specific Plan (Amendment #10 to SP-S-7), the Brandeis-Bardin Specific Plan (Amendment #4 to SP-S-9), the Simi Valley Regional Center Specific Plan (Amendment #2 to SP-S-11), and the Civic Center Plaza Specific Plan (Amendment #1 to SP-S-17) to delete provisions for compact parking stalls and to adopt revised parking stall design standards; and

WHEREAS the project has been determined to be Categorically Exempt in accordance with Section 15308 of the State CEQA Guidelines, and a Notice of Exemption has been prepared; and

WHEREAS, on April 30, 1997, the Planning Commission of the City of Simi Valley conducted a public hearing and adopted Resolution No. SVPC 31-97 recommending to the City Council approval of the revised parking stall design standards; and

WHEREAS, notice was given that the City Council would hold a duly noticed public hearing to consider the Zoning Ordinance and Specific Plan amendments.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SIMI VALLEY DOES ORDAIN AS FOLLOWS:

SECTION 1. The findings, for approval of the Zoning Ordinance and Specific Plan amendments contained in the staff report dated April 30, 1997, and incorporated herein by reference, are hereby approved.

SECTION 2. The Categorical Exemption prepared for this project is hereby approved.

SECTION 3. The amendments to the City's Zoning Ordinance (Z-S-496) contained in Exhibit A of this Ordinance are hereby approved.

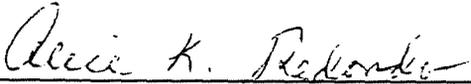
SECTION 4. The amendments to the West End Specific Plan (Amendment #10 to SP-S-7), the Brandeis-Bardin Specific Plan (Amendment #4 to SP-S-9), the Simi Valley Regional Center Specific Plan (Amendment #2 to SP-S-11), and the Civic Center Plaza Specific Plan (Amendment #1 to Sp-S-17) contained in Exhibits B, C, D, and E of this Ordinance are hereby approved.

SECTION 5. The City Clerk shall cause this ordinance or a summary hereof to be published in a newspaper of general circulation, published in the County of Ventura and circulated in the City, and if applicable, to be posted, in accordance with Section 36933 of the California Government Code; shall certify to the adoption of this ordinance and shall cause a certified copy of this ordinance, together with proof of publication, to be filed in the Office of the Clerk of this City.

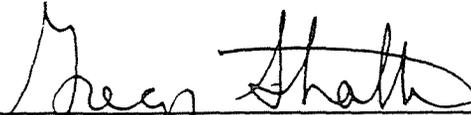
SECTION 6. This ordinance shall go into effect and be in full force and effect at 12:01 a.m. on the thirty-first (31st) day after its passage.

PASSED and ADOPTED this 16th day of June, 1997.

Attest:



Alice K. Redondo
Assistant City Clerk



Gregory Stratton, Mayor of the City of
Simi Valley, California

Approved as to Form:



John Torrance, City Attorney

Approved as to Content:



Mike Sedell, City Manager



Al Boughey, Director
Department of Environmental Services

I, Assistant City Clerk of the City of Simi Valley, California, do hereby certify that the foregoing Ordinance No. 897 was regularly introduced and adopted by the City Council of the City of Simi Valley, California, at a regular meeting thereof held on the 16th day of June, 1997 by the following vote of the City Council:

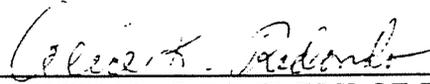
AYES: Council Members Miller, Webb, Davis,
Mayor Pro Tem Williamson, and Mayor Stratton

NAYS: None

ABSENT: None

ABSTAINED: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Simi Valley, California, this 17th day of June, 1997.



ASSISTANT CITY CLERK OF THE CITY OF
SIMI VALLEY, CALIFORNIA

EXHIBIT A

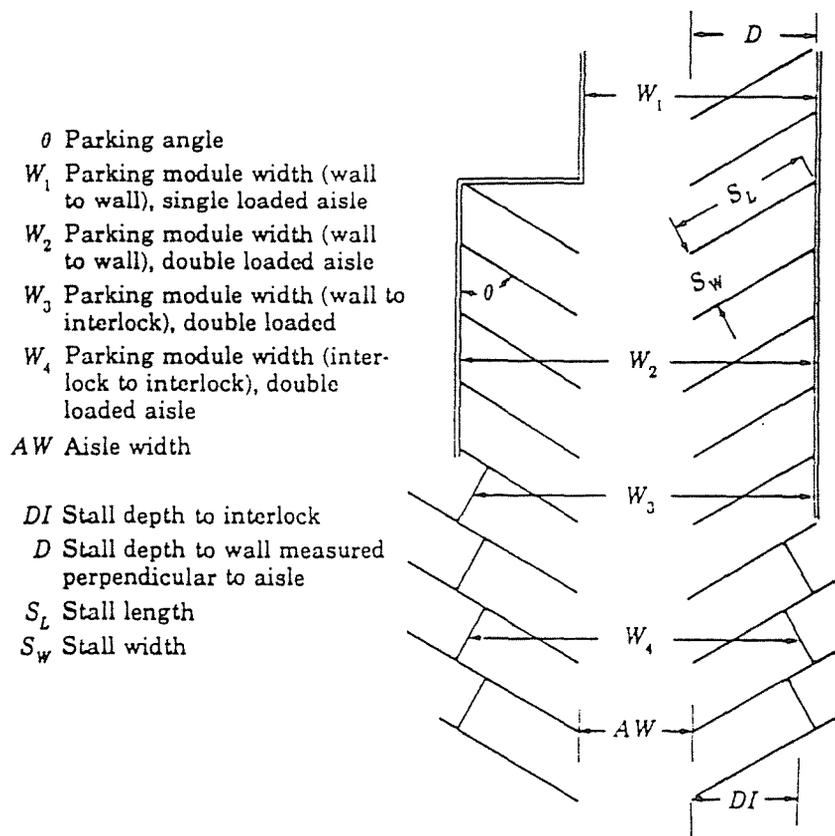
CHANGES TO THE SIMI VALLEY MUNICIPAL CODE

Sec.9-1.906. Miscellaneous provisions

(a) Compact parking spaces. The use of compact parking spaces are restricted to projects for which the applications were deemed complete prior to July 17, 1997 and shall be a minimum of seven and one half (7 ½) feet in width and fifteen (15) feet in depth.

Sec. 9-1.907. Dimensional requirements.

(a) *Parking space Table.* Except as specified in subsection (b), (c), (d), and (f) of this section, the minimum off-street parking space dimensions shall be as indicated in the table below:



STALL WIDTH	ANGLE	MODULE WIDTHS				AISLE WIDTH (AW)	STALL DEPTH (D)	INTERLOCK REDUCTION*	STALL DEPTH TO INTERLOCK (DD)
		W1	W2	W3	W4				
9'	30	30	46	43	39	16	15	3.5	11.5
9'	45	32	51	48	45	17	17	3	14
9'	60	36	54	52.5	51	18	18	1.5	16.5
9'	65	37	56	54.5	53	18	19	1.5	17.5
9'	70	39	58	57	55	20	19	1.5	17.5
9'	75	41	60	59	58	22	19	1	18
9'	90	43	61	61	61	25	18	-	-
9.5'	90	43	61	61	61	25	18	-	-
10'	90	42	60	60	60	24	18	-	-
9'	Parallel	-	-	-	-	12 (1 -way) 25 (2 - way)	22** 22**	-	-

* The interlock reduction shall only be applied where the subject spaces have been striped in a herringbone pattern.

** Stall length

(d) *Covered garage spaces.* In an enclosed multi-car garage [three (3) walls, a roof, and a garage door] for an attached or detached single-family dwelling, each parking space shall have a minimum width of ten (10') feet and minimum length of twenty (20') feet. For a single car garage for an attached or detached single-family dwelling, the minimum width of the space shall be twelve (12') feet.

(e) *Reduced parking space length.* The standard size parking space length [eighteen (18') feet] for open parking may be reduced up to two (2') feet if the overhang of the reduced space is used for additional landscaping *consisting of low ground cover or grass*, or if the overhang is over a sidewalk. Either landscaping or any sidewalks shown shall be a minimum of seven (7') feet in depth. When a combination of sidewalk and landscaping is provided to achieve the minimum seven (7') feet, the sidewalk abutting the parking space shall be a minimum of five (5') feet wide. If a sidewalk directly adjoins the curb without intervening landscaping, then the sidewalk shall be a minimum of six (6') feet in width. The curb shall act as a wheel stop with no other wheel stop required. Section 9-1.908(h)(2), which mandates a minimum ten (10') foot wide planter adjacent to a public street will not require the addition of two (2') feet of landscaping if the parking stall is reduced to sixteen (16') feet.

(f) *Reduced parking space length in parking structures.* The standard size parking space length may be reduced in parking structures up to two (2') feet in length where structural elements (walls or support columns) preclude the use of full size parking spaces. Under this provision, reduced parking space stalls may not constitute more than two percent (2%) of all parking spaces within a structure.

(g) *Clearance for covered parking.* Notwithstanding subsections (e) and (f) above, in multiple bay parking structures (carports, underground parking, and parking structures),

the parking stall design shall provide a nine (9') foot by eighteen (18') foot dimension with no encroachment of pillars and posts for roof supports.

Sec. 9-1.1203 - NONCONFORMING USES DUE ONLY TO CHANGES IN PARKING REQUIREMENTS

(b) *Changes of use* - Changes of use to a use which is allowed in the zone and which requires the same or a lesser amount of parking, shall be allowed provided that current requirements for parking can be met. Where the current parking requirement cannot be met for the new use, a new permit must be obtained.

(d) *Existing Compact Spaces*. Notwithstanding subsections (a), (b), and (c), all development completed, under construction, approved but unbuilt (with a valid development permit), or the subject of an application deemed complete for a development permit as of July 17, 1997 shall be allowed to comply with the previous provisions in effect at the time of its completion, construction, permit approval, or application completion, contained in Article 9, Chapter 1 of Title 9, of the Simi Valley Municipal Code. All such uses and structures based on previous parking standards shall be considered as conforming with regard to parking requirements for the purpose of determining consistency with the General Plan and Zoning Ordinance and may be continued, modified, or expanded pursuant to said previous parking standards provided that no new compact spaces are created.

EXHIBIT B**3.0 Development Standards****3.3.2 Off-Street Parking and Loading Standards****3.3.2.1 Off-Street Parking****A. ~~Development Prior to April 17, 1997 (Compact Spaces).~~**

~~All development in the West End Specific Plan area completed, under construction, approved but unbuilt (with a valid development permit), or the subject of an application deemed complete for a development permit prior to April 17, 1997 shall comply with the previous provisions in effect at the time of its completion, construction, permit approval, or application completion, contained in Article 9 (Parking), Chapter 1 of Title 9, of the Simi Valley Municipal Code. Notwithstanding the provisions of Article 12 (Nonconformities and Substandard Lots), all such uses and structures based on previous parking standards shall be considered as conforming with regard to parking requirements for purposes of determining consistency with the General Plan and Zoning Ordinance and may be continued, modified, or expanded pursuant to said previous parking standards provided that no new compact spaces are created, except as permitted in Section 3.3.2.1.D. Uses subject to previous parking standards are encouraged to convert existing parking facilities to comply with the standards contained in Section 3.3.2.1.B (below).~~

B. ~~Development On or After April 17, 1997 (No Compact Spaces)~~

~~All development in the West End Specific Plan area, except as provided in Section 3.3.2.1.A, shall comply with the provisions of Article 9 (Parking), Chapter 1 of Title 9, of the Simi Valley Municipal Code, except for the minimum dimensional requirements as shown in Table 3-1.~~

C. ~~Notwithstanding Section 3.3.2.1A or B above, no parking lot aisle or driveway required by the Ventura County Fire Protection District for access purposes shall be constructed with a width of less than twenty (20) feet for one-way traffic or twenty-five (25) feet for two-way traffic.~~**D. ~~New Compact Spaces in Parking Structures~~**

~~New compact parking stalls, not less than nine (9) feet wide and sixteen (16) feet long, and constituting not more than two percent (2%) of all parking spaces, may be constructed pursuant to the approval of the Planning Commission within parking garages or structures where structural elements (such as walls or support columns) preclude the use of full size parking spaces.~~

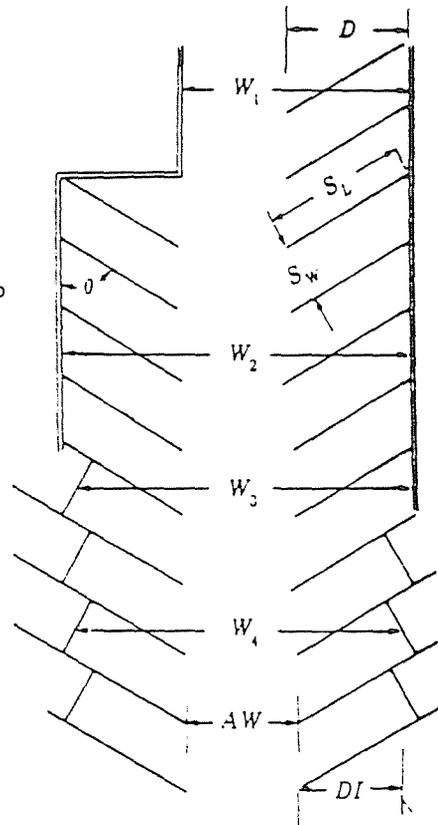
WEST END SPECIFIC PLAN

3.0 Development Standards

Table 3-1. Parking Space Standards

STALL WIDTH	ANGLE	MODULE WIDTHS				AISLE WIDTH (AW)	STALL DEPTH (D)	INTERLOCK REDUCTION	STALL DEPTH TO INTERLOCK (DI)
		W1	W2	W3	W4				
9'	30	30	46	43	39	16	15	3.5	11.5
9'	45	32	51	48	45	17	17	3	14
9'	60	36	54	52.5	51	18	18	1.5	16.5
9'	65	37	56	54.5	53	18	19	1.5	17.5
9'	70	39	58	57	55	20	19	1.5	17.5
9'	75	41	60	59	58	22	19	1	18
9'	90	45	63	63	63	27	18	-	-
9.5'	90	43	61	61	61	25	18	-	-
10'	90	42	60	60	60	24	18	-	-

- θ Parking angle
- W_1 Parking module width (wall to wall), single loaded aisle
- W_2 Parking module width (wall to wall), double loaded aisle
- W_3 Parking module width (wall to interlock), double loaded
- W_4 Parking module width (interlock to interlock), double loaded aisle
- AW Aisle width
- DI Stall depth to interlock
- D Stall depth to wall measured perpendicular to aisle
- S_L Stall length
- S_w Stall width



3.0 Development Standards

CB. Parking areas provide pedestrian as well as vehicular access. The separation of these uses to the extent possible is desirable to enhance the comfort and safety of both drivers and pedestrians. Measures that may be used in parking lots located in the West End Specific Plan to achieve a balance between vehicular and pedestrian uses are described below:

- 1) Direct pedestrian routes shall be provided to the greatest extent practical through parking areas to connect pedestrian destinations, such as public sidewalks, building entry points and transit stops.
- 2) Private pedestrian walkways within parking areas shall be distinguished from driving surfaces using different colors or materials such as, but not limited to, bricks, pavers, or stamped concrete.

3.3.2.2 Loading Zones

Development shall comply with the provisions of Section 9-1.909 of the Simi Valley Municipal Code.

3.3.3 Landscaping Requirements

3.3.3.1 Landscape Coverage

The minimum landscape coverage of a project's net development area shall be as follows:

General Industrial	15%
Light Industrial	15%
Business Park	18%
Office Commercial	18%
Auto Industrial	15%
Subregional Retail	18%

- A. Except as permitted in the WESP-SR zone, minimum landscape coverage credit shall not be allowed in portions of the site with 2:1 or steeper slopes.
- B. In the WESP-SR zone only minimum landscape coverage credit shall be allowed in portions of the site with 2:1 or steeper slopes, provided that these landscaped slope areas do not constitute more than 4% of the minimum requirement.

3.3.3.2 Landscape Design

parking shall be required at one (1) space per thirty-five (35) square feet of assembly area.

2) Parking Stalls Size

~~Standard parking stalls shall be a minimum of nine (9) feet in width by twenty (20) feet in length consistent with the minimum size and layout dimensions contained in Article 9 (Parking), Chapter 1 of Title 9, of the Simi Valley Municipal Code.~~

~~Stall may be reduced in length by two (2) feet where stalls are adjacent to a planter area of a minimum seven (7) feet in depth or when next to a sidewalk of the same minimum width. This allows for a two (2) foot overhang of the auto into the planter or walk area. If the planter or walk has parking on both sides, both parking rows may be reduced in length by two (2) feet if the planter or sidewalk is increased from seven (7) to nine (9) feet in depth. This allows for an appropriate two (2) feet overhang by cars on both sides of the planter or walk and a net usable planter or walk depth of five (5) feet. See Exhibit XIII.~~

~~In projects with twenty (20) or more required parking spaces up to twenty five percent (25%) of all required parking stalls may be devoted to compact car use. Minimum stall dimensions shall be seven and one half (7½) feet in width by fifteen (15) feet in length.~~

3) Handicapped Parking Requirements

Handicapped parking spaces shall be provided in accordance with requirements of the California Code of Regulations.

4) Bicycle Parking Requirements

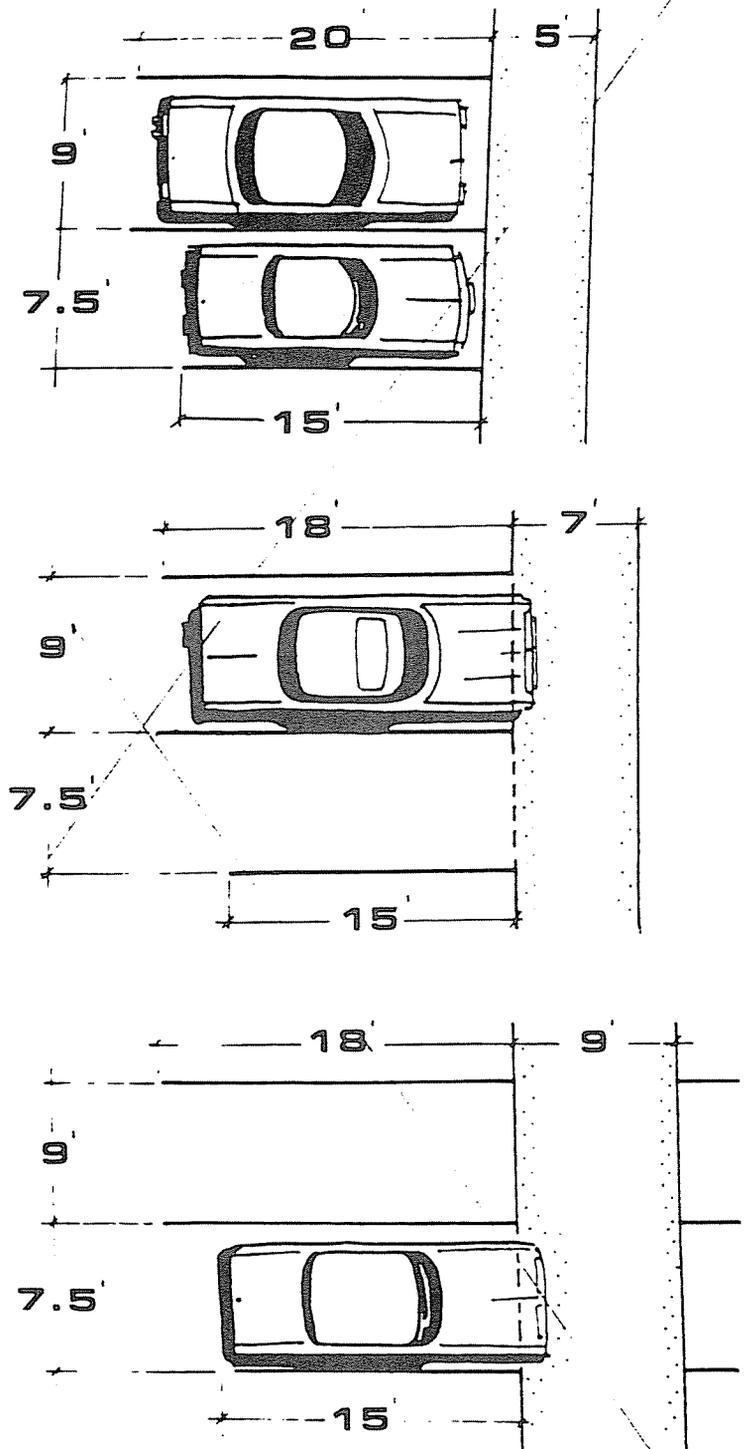
Bicycle parking facilities shall be provided in projects with 20 or more required parking spaces. One bicycle rack or other secure device for bike storage shall be provided for each twenty (20) required parking.

5) Double Counting

At the discretion of the Deputy Director/Current Planning of Environmental Services or the Planning Commission, whichever has jurisdiction, where two (2) or more permitted uses pursuant to this plan are combining parking facilities and the business hours of such uses do not overlap, the minimum space requirement may be reduced by up to twenty-five percent (25%) of the sum of the requirements of the various uses computed

BRANDEIS-BARDIN SPECIFIC PLAN

**STANDARD/COMPACT STALL W/
VARYING WALK/PLANTER WIDTHS**



STANDARDS

Table 5

GENERAL PARKING SCHEDULE SUMMARY

<u>Land Use</u>	<u>Parking Spaces Required</u>
Mall District	4.75 spaces/1000 s.f. of gross leasable area (regional mall)

Other Districts

Parking requirements shall comply with the provisions of Article 9 of the Zoning Ordinance, except as otherwise permitted in the Specific Plan. Whenever possible, parking standards for other Districts shall conform to the provisions of SVMC Sections 9-1.903(g) and 9-1.905(a)(24), except that:

- No additional parking spaces shall be required for outdoor dining/serving areas that are designated on an approved Planned Development Permit or Special Use Permit and do not exceed six hundred (600) square feet in area per business;
- No additional parking spaces shall be required for individual outdoor vendors operating on private property on sites designated on an approved Planned Development Permit or Special Use Permit.

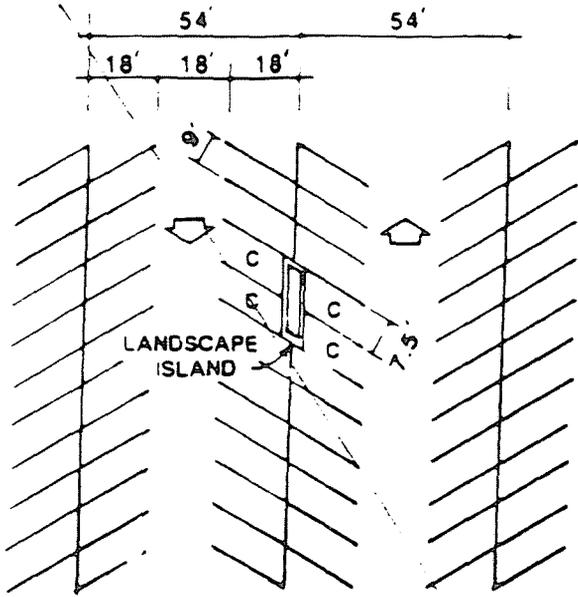
d. Design Requirements

~~Parking spaces and landscaping for the Mall District shall conform to standards shown in Exhibit 23. Parking spaces and landscaping in all other districts shall conform to design standards contained in Article 9 of the Zoning Ordinance, except that an interlocking design is specifically authorized for all development within the Regional Center.~~

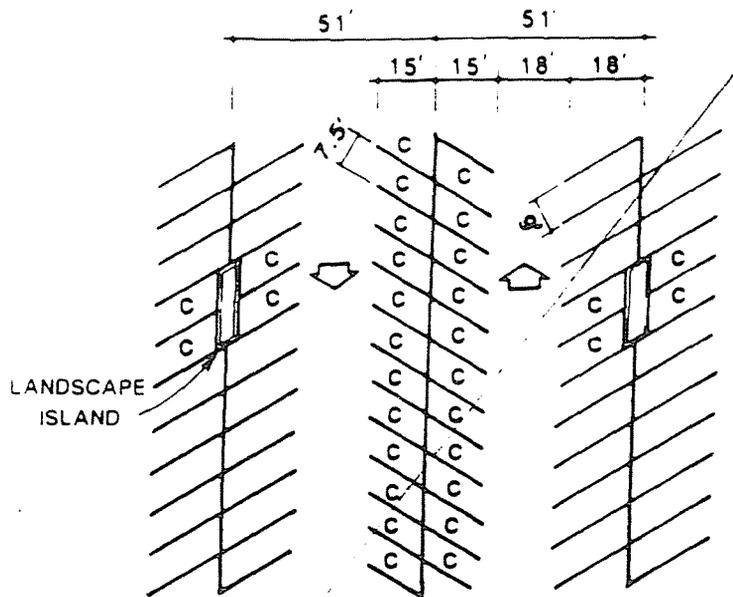
~~In the Mall District, landscape islands a minimum of six (6) feet wide shall be installed within parking areas, with spacing in conformance with the standards described in this Specific Plan. Detailed landscape plans shall be provided as part of the Planned Development application.~~

e. Loading Standards

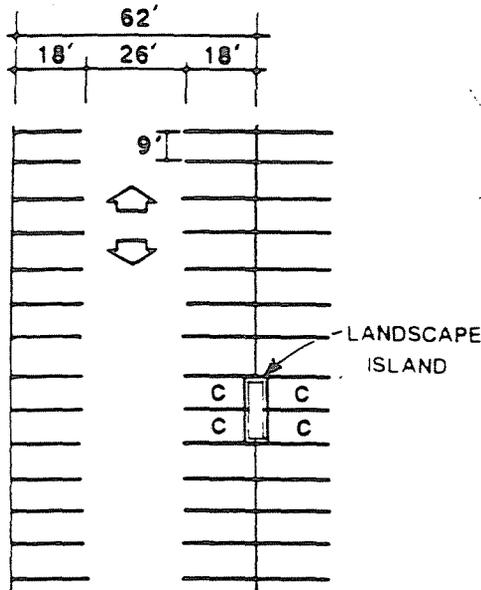
Each district shall permanently maintain areas for loading and unloading of materials and merchandise. Loading facilities shall be located or screened in such a way that they do not detract from the aesthetics of the building, adjacent buildings, or pedestrian areas (Exhibit 24). The loading facilities shall be located to allow safe maneuvering of delivery vehicles and shall conform to the design standards of



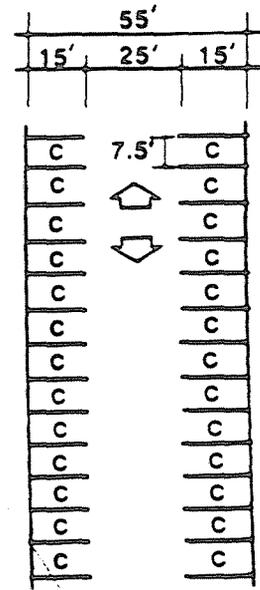
60 DEGREE STANDARD ONE-WAY²



60 DEGREE STANDARD/COMPACT ONE-WAY²



90 DEGREE STANDARD



90 DEGREE COMPACT

C = COMPACT PARKING STALL

- NOTE: 1. SVMC STANDARDS FOR ALL OTHER DISTRICTS.
 2. PURSUANT TO AGREEMENT WITH THE FIRE PROTECTION DISTRICT LETTER DATED MAY 12, 1991, OR AS OTHERWISE APPROVED BY THE DISTRICT.

PARKING STANDARDS
 MALL DISTRICT ONLY

SPECIFIC PLAN
Simi Valley Regional Center
 Simi Valley, California

Exhibit 23

EXHIBIT E

and the limited use of metal. Accent materials such as ceramic tile will be used creatively, but sparingly. Colors will be chosen to complement the materials used, and enhance the surrounding environment. The project team will work closely with the City Planning staff in developing the architectural vocabulary of the project.

Building heights for single-story structures shall not exceed twenty-six feet (26'). Single-story structures with mezzanines shall be permitted, with a height not to exceed thirty-six feet (36'). Architectural elements are not to exceed forty-two feet (42').

4.2.2.a Parking Area Design

The arrangement of, access to and basic design requirements of all off-street parking areas shall conform to the Development Standards for the *City of Simi Valley*. Clearly marked handicapped parking spaces shall be provided in accordance with State and City requirements.

- 1) Provision of one set of bicycle racks (with locking apparatus and containing from five to six stalls each) for each anchor store in the commercial area.
- ~~2) Provision of 25% compact car parking stalls with dimensions of not less than 7 1/2 feet by 15 feet.~~
- 3) Provisions of a separate and clearly marked motorcycle parking area.

4.2.2.b Walls and Fences

- 1) There is a minimal need for the use of walls and fences on-site and, in general, walls and fences are encouraged only as a method of screening when landscaping alone would not be sufficient.

Screencheck S.P. Submitted: September 20, 1990
2nd Screencheck S.P. Submitted: October 31, 1990
Draft S.P. Submitted: November 30, 1990
Proposed Final S.P. Approved: _____
Proposed Final S.P. Revised/Submitted: _____
Final S.P. Certified Complete: November 18, 1991

Civic Center Plaza

Specific Plan (SP-S-17)

Prepared for:

The Lusk Company

DEPT. OF ENVIRONMENTAL SERVICES
PLANNING DIVISION

DATE 11-18-91 APPROVED BY
CITY COUNCIL

Prepared by:

Turrini & Brink

Planning Consultants

3242 Halladay

Suite 100

Santa Ana, California 92705

Contact Persons:

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Eric J. Boos

(714) 662-2774

In Association with:

The Nadel Partnership, Inc., Urban Design/Architecture

CYP, Inc., Architecture

William Rose and Associates, Inc., Engineering

Donald Frischer and Associates, Traffic Analysis

Lead Agency: *City of Simi Valley*

Contact Person: Tom Preece, Staff Planner

(805) 583-6897

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1.0 Introduction

1.1 Specific Plan Purpose and Intent

This Specific Plan provides the *City of Simi Valley* with a comprehensive set of plans, regulations, conditions and programs for guiding the orderly development of Civic Center Plaza, a proposed 38-acre project incorporating commercial and mixed residential land uses, envisioned to complement the design plan for the City's Master Civic Center. The Civic Center Plaza Specific Plan has been prepared through careful coordination with City staff, and citizen groups in the project vicinity to implement each applicable element of the *City of Simi Valley* General Plan. Approval of this Specific Plan is the first step to allow the development of the Civic Center Plaza project and establishes a policy document to provide guidance for future detailed site design and development of the site.

The Civic Center Plaza Specific Plan has been prepared in accordance with the State Specific Plan requirements as delineated within the *1990 California Planning Zoning and Development Laws (Government Code Sections 65450 through 65457)* and Simi Valley Municipal Code (Section 9-1.1701 et. seq.). This Specific Plan addresses all issues and topics specified within these State and Local laws.

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a Specific Plan for development of any area covered by a General Plan for the purpose of establishing systematic methods for implementation of the Agency's General Plan. A Specific Plan, as the term implies, is specific in nature designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and public service provisions. A General Plan does not show local streets, individual parcels, or specific land uses. While a General Plan examines an entire City, a Specific Plan will concentrate on the individual development issues of a particular region or project. The *City of Simi Valley* General Plan document establishes objectives which mandate the preparation of individual Specific Plan documents in order to ensure that new master planned developments meet the basic standards of environmental safety, infrastructure, quality of structural design, quality of planning and contains the

provisions to maintain aesthetic quality and cultural identity. The Civic Center Plaza Specific Plan will be the instrument to be used by City staff and Council as well as project developers to ensure that the intent of the General Plan is implemented.

1.2 Specific Plan Format and Function

In providing for the systematic implementation of the City's General Plan, this Specific Plan is organized into five (5) primary sections, all of which relate to and support the General Plan. These sections include:

- Introduction
- Specific Plan Summary
- Specific Plan
- Specific Plan Design Guidelines
- Specific Plan Implementation

This Specific Plan serves to establish detailed policies and programs which shall guide the development of the Civic Center Plaza development, and will provide both the City and the developers with a reference source to ensure that specific services, development standards, design features, and maintenance provisions are adhered to in the future.

1.3 Specific Plan Goals and Objectives

The Civic Center Plaza Specific Plan development will provide a complimentary variety of commercial land uses along with high quality residential communities within a central node-oriented environment which will serve to accent and compliment the City's Civic Center. The Civic Center Plaza Specific Plan has been prepared in a manner consistent with the goals and objectives of the City's General Plan, establishing a specific set of project goals and objectives which will serve to implement those of the General Plan. These goals and objectives are as follows:

- The project shall establish civic identity and provide a strong visual statement due to proximity from the 118 freeway for motorists as they enter the Simi Valley region, taking advantage of all available amenities.
- The Commercial component of the Specific Plan should complement the Master Plan of the Simi Valley Civic Center and existing commercial services in the City and should serve to both set and continue a precedent of quality design and community values.
- The combination of both residential and commercial land uses for the site should be planned in a manner that promotes a complementary and compatible relationship.
- The project should generate significant usage as a community node, and provide revenues for the City to continue the provision of community services, infrastructure improvements and quality planning.
- The project should provide consistency of community goals and values and an avenue for General Plan implementation as established for the property.

1.4 General Plan Consistency

The General Plan is the chief policy document of the *City of Simi Valley*. It establishes and directs the City's attitudes toward issues which affect the City; and broadly maps the anticipated pattern and nature of development. A Specific Plan is established in response to the need for a concrete linkage between plan and policy and it represents a commitment to interpret faithfully, the intent of the General Plan.

The Civic Center Plaza Specific Plan is intended to achieve approval from both the City's Planning Commission and City Council to permit development within the parameters of this Specific Plan and the applicable ordinances of the *City of Simi Valley*.

Currently, the site is designated as *General Commercial* on the eastern 18.3 acres of the project site, *Medium Density* on the northwest 14 acres, and *Moderate Density*

on the southwest 6 acres of the project site. Discretionary actions associated with the Civic Center Plaza approval process include establishment of the 38.3-acre site as the Civic Center Plaza Specific Plan Area through the approval by the Simi Valley City Council by resolution. This document specifies the improvements to the land which the developer will provide and also stipulates the City's responsibility.

The following discussion provides an analysis and demonstrates consistency between the goals and objectives of the Civic Center Plan Specific Plan and of standards found in the City's General Plan pertaining to the Civic Center Plaza project site.

◆ **G.P. Purpose No. 1**

"To coordinate the overall development of a mixed use project on a highly visible site adjacent to State Route 118 and south of the Simi Valley Civic Center site."

Consistency:

As discussed in Section 2.0 of this document, the Specific Plan outlines the development plan for a mixed-use project including both mixed residential and varying general commercial uses on-site, in a configuration and architectural format which complements and continues the theme and site design concept of the *City of Simi Valley Civic Center* project located across Alamo Street. The Civic Center Plaza Specific Plan has established the project commercial portion along Tapo Canyon Road where visibility from the 118 Freeway is at an optimum, consistent with the Simi Valley General Plan Land Use Plan.

◆ **G.P. Purpose No. 2**

"As this is a unique commercial location, it shall be reserved for those types of commercial uses which complement and benefit by their proximity to the Civic Center. Design criteria shall provide for offices, banks, restaurants, personal service stores, small specialty markets and the like. The criteria shall not permit supermarkets and convenience markets."

Consistency:

The commercial portion of the Civic Center Plaza Specific Plan proposes general commercial, professional office and small specialty shops that will cater to visitors in the project area and personnel from the City Civic Center Complex, restaurants and financial institutions, all of which are permitted in both the General Plan and Zoning Designations for the site and are appropriate to implement the goals for the site.

◆ **G.P. Purpose No. 3**

"The Commercial Center shall be designed with a courtyard configuration which provides for outdoor patio areas and a significant separation between pedestrian and vehicular areas."

Consistency:

As described in Section 4.0, Design Guidelines, the commercial component of the project is required to provide for safe pedestrian access through the parking areas into courtyards which must be interwoven with the commercial and office commercial areas providing significant separation between auto and pedestrian traffic. The various buildings that make up the center will be joined together by pedestrian walkways which may include coverings to shelter pedestrians and convey a human-scale feeling through landscape plazas and colonnades.

◆ **G.P. Purpose No. 4**

"The site shall be designed to integrate the commercial and residential uses through similarity of materials and style, shared landscape features (such as a greenbelt or water element buffer between offices and restaurants and the residential areas), and pedestrian walkways."

Consistency:

Section 4.0, Design Guidelines, addresses the overall landscape architectural element of the proposed Specific Plan development project, in which a comprehensive project-wide set of plants and trees are proposed to unify all landscaped areas of the project. Included in the Landscape Design Guidelines are provisions and requirements for a generous landscape buffer between the residential and commercial planning areas as well as pedestrian landscaped walkways along all major roadways and within the commercial planning area. Figures 9 through 19 of the Specific Plan document display the appearance of all trees and plants in landscaped areas.

◆ **G.P. Purpose No. 5**

"Lower-profile and Medium Density units shall be located along the western property line to integrate the development with the single-family neighborhood to the west."

Consistency:

The Civic Center Plaza Specific Plan proposes the construction of 51 single-family medium density dwelling units within the westerly portion of the project (Parcel C). These homes will span across most of the west project boundary. In addition, Section 4.0, Design Guidelines, provides provisions that will require the sensible use of building massing and scale treatments which will provide for proper transitioning of roof heights and building setback along the western property boundary.

◆ **G.P. Purpose No. 6**

"There shall be no direct street access from Tapo Canyon Road to the existing residential neighborhood to the west."

Consistency:

As depicted on Figure 4, Circulation Plan, no automobile or truck access will be allowed from Tapo Canyon Road to the proposed residential neighborhood located within the project site. Direct access will be taken from Alamo Street.

◆ **G.P. Purpose No. 7**

"Within acceptable standards for the protection of public health and safety, the plan shall incorporate measures to preserve existing eucalyptus tree rows on the site to the fullest extent possible."

Consistency:

The goal of the Civic Center Plaza Specific Plan is to preserve any eucalyptus trees on site which will not jeopardize the health, safety and welfare of any future users or residents. However, due to several factors associated with the trees' current health conditions, it is proposed that all eucalyptus trees be removed. Due to the trees' size, age and rapid rate of deterioration, partly due to the infestation of the *long horned wood boring beetle*, it was determined by the City that there remained too much risk of the trees collapsing on proposed structures on-site. As discussed in the Civic Center Plaza Environmental Impact Report, Section 4-4, it is recommended that the dying trees be removed.

◆ **G.P. Purpose No. 8**

"Prior to public hearing by the Planning Commission, the proposed Specific Plan shall be reviewed by the Civic Center Sub-Committee."

Consistency:

As part of the mandatory public review process associated with the approval of this Specific Plan document, the Civic Center Plaza Specific Plan has

been reviewed by the said sub-committee, and comments raised by both the committee and refined by the City's Community Development Department, have been incorporated into the document.

2.0 Specific Plan Summary

2.1 Specific Plan Site Location

The 38.3-acre Civic Center Plaza Specific Plan site is located within the *City of Simi Valley* within the *County of Ventura*. The rectangular shaped site within the eastern portion of the City is bound on the north by Alamo Street, on the east by Tapo Canyon Road; on the west by an existing single family residential subdivision and on the south by the 118 Simi Valley Freeway. The *City of Simi Valley* Civic Center is located directly to the north of the site as depicted within Figures 1, Regional Map; and 2, Vicinity Map/Surrounding Land Uses.

The site is currently undeveloped with no improvements. Review of previous aerial photographs, dated 1977, indicate that the site previously contained tree orchards. Portions of the property may have been used for agricultural cultivation.

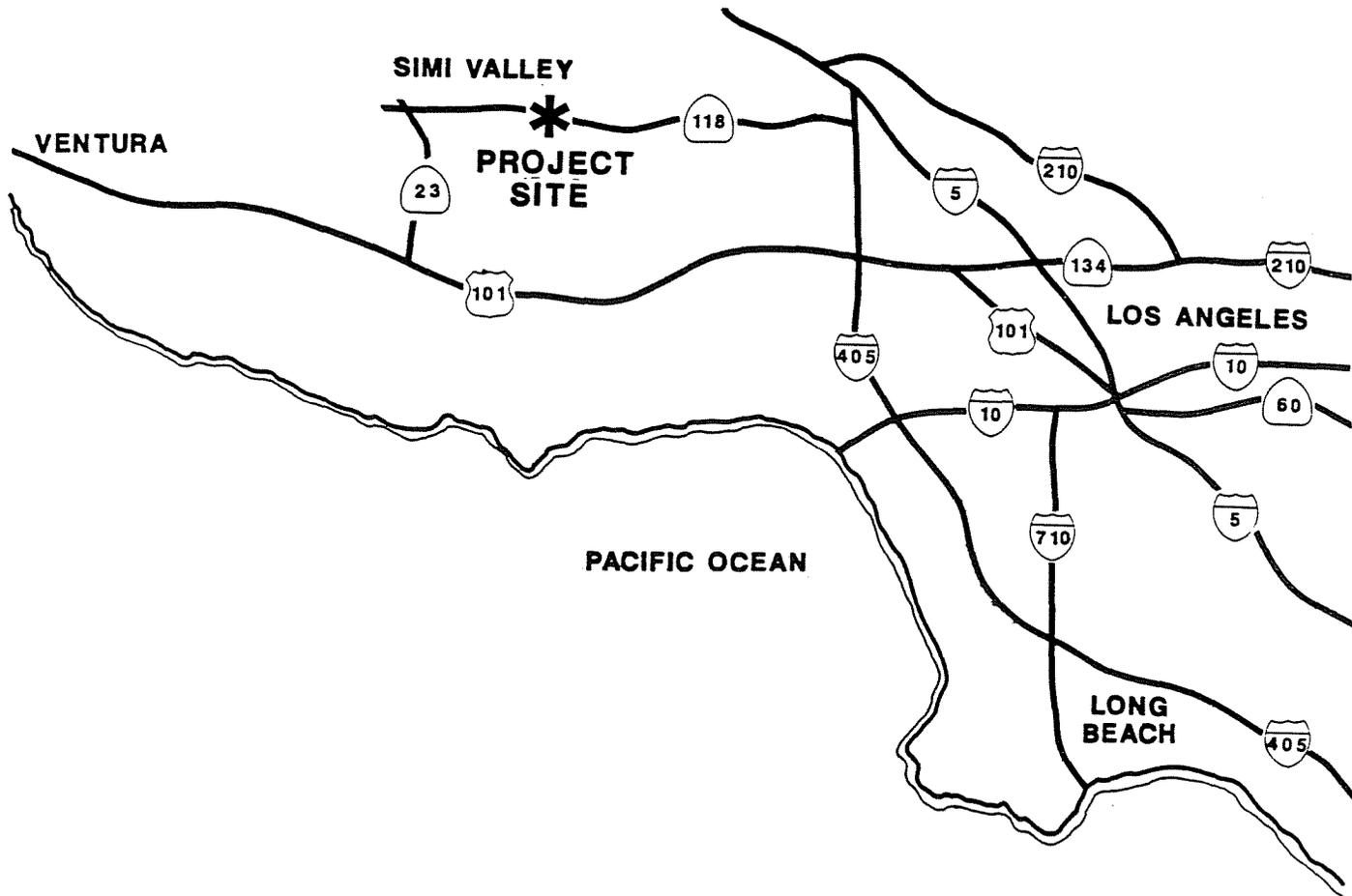
Within the site is a north-south row of tall Eucalyptus trees located at the center of the site, an three east-west oriented rows of trees which section the site. The surface of the site is relatively flat and contains low grasses and weeds.

Previously, three structures were located near the north-central corner of the site adjacent to the freeway property. There are currently no curbs, gutters or sidewalks along the frontage on Alamo Street and Tapo Canyon Road.

The proposed development project site area slopes gently to the south, with an approximately 20-foot cross fall over the 1,300-foot long site. No significant natural landform, geologic or hydrologic features are present.

2.2 Project Summary

The Civic Center Plaza Specific Plan is a comprehensive proposal for a master planned mixed-use community on a 38.3-acre undeveloped site. As illustrated on Figure 3, this land use plan represents the logical and orderly extension of development currently experienced within the City. As a master planned develop-



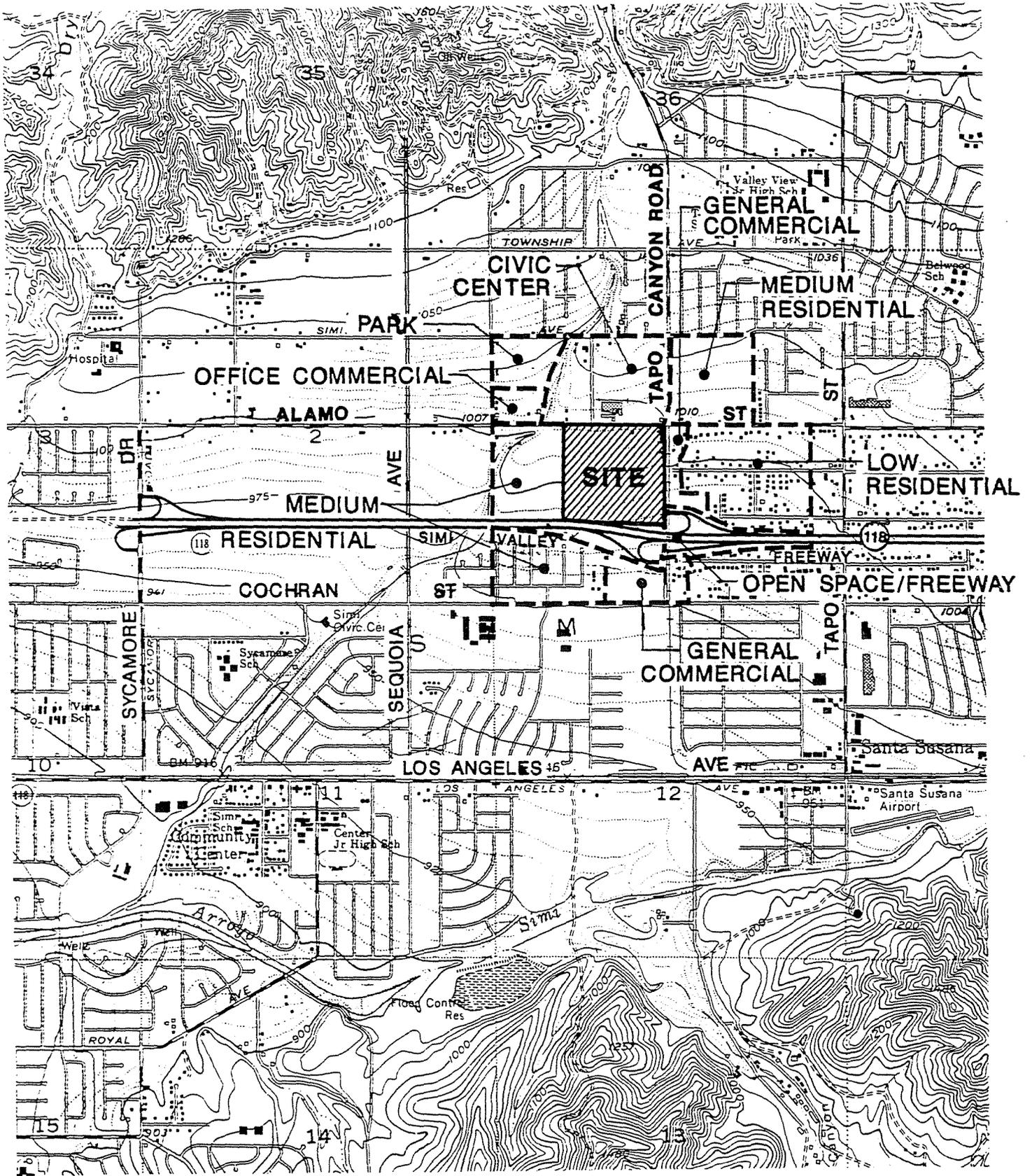
Regional Map

*Civic Center Plaza
Simi Valley*

FIGURE 1



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1342 HALLWAY SUITE 200
SANTA ANA, CALIF. 92705 (714) 962-2772
7225 IRVINE STREET SUITE 102
SAN DIEGO, CALIF. 92121 (619) 596-5995



Vicinity Map/Surrounding Land Uses
Civic Center Plaza
Simi Valley

FIGURE 2



TURRINI & BRINK
 Planning Consultants
 1242 HALL LANE SUITE 100
 SANTA ANA, CALIF. 92705 (714) 462-2774
 7220 TRANK STREET SUITE 102
 SAN DIEGO, CALIF. 92121 (619) 566-5495

ment, the project is consistent with the existing and planned surrounding development in terms of urban design, circulation, sewer, water, drainage and public services.

The Civic Center Plaza development incorporates the following: 18.3 acres of commercial including retail shops, restaurants, and office suites; 14 acres of medium density residential; and 6 acres of moderate density residential units. The value associated with master planning of this site is created through coordination with adjacent development character, the arrangement of land uses in a fashion consistent with the City's General Plan and utilizes creative urban design concepts. The plan provides for the adequate distribution of auto and pedestrian traffic, which fosters interaction between individual land uses of the Specific Plan, creates and identity through quality planning and development and provides requirements to meet the needs associated with regional growth. The Civic Center Plaza land uses are summarized in the following table:

Specific Land Use Summary

LAND USE	GROSS ACREAGE	DWELLING UNITS	PERCENTAGE (Acres)
<u>Residential</u>			
Medium	14.0	51	37%
Moderate	6.0	42	15%
Subtotal	20.0	93	52%
<u>Commercial</u>			
General Commercial	2.9		7%
General Commercial	15.4		41%
Subtotal	18.3	226,000 s.f.	48%
PROJECT TOTAL	38.3	93/226,000 s.f.	100%

2.3 Development Concepts and Goals

2.3.1 Commercial

The Civic Center Plaza development is presented as a unique major commercial and residential project within the *City of Simi Valley* which has been designed to further the master planned concept of the Simi Valley Civic Center complex. Future land uses are envisioned to consist of a complementary variety of commercial uses which complement and benefit by their proximity to the Civic Center, including but not limited to, apparel stores, general merchandise, home furnishings and appliances, small specialty market and drug stores, hardware and building maintenance, banks, realty, legal, engineering, architecture and other professional offices, restaurants, medical offices and clinics, personal services, recreational services, entertainment services, and a day care center. Principal uses permitted within the commercial center will be those uses identified in Section 9.1.507 of the *Simi Valley Municipal Code*, except supermarkets and convenience stores are not allowed. The commercial component is proposed to contain a maximum of 226,000 square feet of building area.

The Specific Plan circulation system will provide a central loop road extending from Alamo Street south and west to Citronella Street. The commercial portion of the project has separate entrances from both Alamo Street and Tapo Canyon Road including an entrance located directly across from both the on- and off-ramps from the Simi Valley Freeway (118).

2.3.2 Residential-Medium Density

Fifty-one (51) single family residential units on 14 acres are proposed. These units will architecturally reflect the character and flavor of the existing residential tract directly to the west. Extensive landscaping and the extension of Eucalyptus and Citronella Streets will blend the new development into the surrounding community.

2.3.3 Residential-Moderate Density

Forty-two (42) moderate density residential units are proposed for 6 acres at the southwest corner of the Specific Plan site. These units will reflect the architectural flavor and character of the existing residential tract to the west and will provide extensive landscaping to act as a buffer between the freeway to the south.

2.4 Design Objectives

The Civic Center Plaza Specific Plan community will provide for a variety of commercial and residential land uses within a master planned environment. The project will be distinguishable by a comprehensive design theme both architecturally, and through the coordination of cohesive landscape standards. Design amenities such as architectural treatments, a comprehensive landscaping project theme, enhanced paving, signage, street furniture and comprehensive walls and fence treatments will be incorporated into the project to tie together the various land use elements and encourage pedestrian movement throughout the center. The Civic Center Plaza streetscapes will provide visual and aesthetic distinction through the integration of curvilinear streets and thematic landscaping treatments within the variation of street parkways.

The Civic Center Plaza Specific Plan objectives for the site realize the potential of the project's unique location along the 118 Freeway adjacent to the City's Civic Center. It is the intent of the project that the unique location serve as the focal point of design.

The design goals for the Civic Center Plaza are as follows:

- ◆ To ensure a site design for the commercial portion of the project which is founded upon a courtyard configuration providing outdoor patio areas and a significant and effective separation between pedestrian and vehicular areas.

- ◆ To develop a project that will accent and correspond aesthetically and functionally to the Civic Center Complex.
- ◆ To develop a specific land use plan that is compatible with surrounding uses.
- ◆ To provide a balanced circulation system through a hierarchy of streets and roadways.
- ◆ To reinforce the community identity of the Simi Valley area through control of project design elements such as architecture, landscaping, building materials, paving, walls and fencing, signage and entry treatments.
- ◆ To provide a variety of commercial uses that will provide fulfillment of a diversity of neighborhood and regional commercial needs to serve both project residents but primarily off-site users.
- ◆ To provide an adequate drainage and grading network to ensure that floodwaters and excessive drainage are properly carried off-site to avoid any property or personal damage.
- ◆ To meet anticipated market needs for both commercial and residential by providing appropriate housing types and commercial services that will be marketable within the developing Simi Valley area.
- ◆ To provide consistency with the goals of the Simi Valley General Plan and all other regulatory ordinances and resolutions.

3.0 Specific Plan

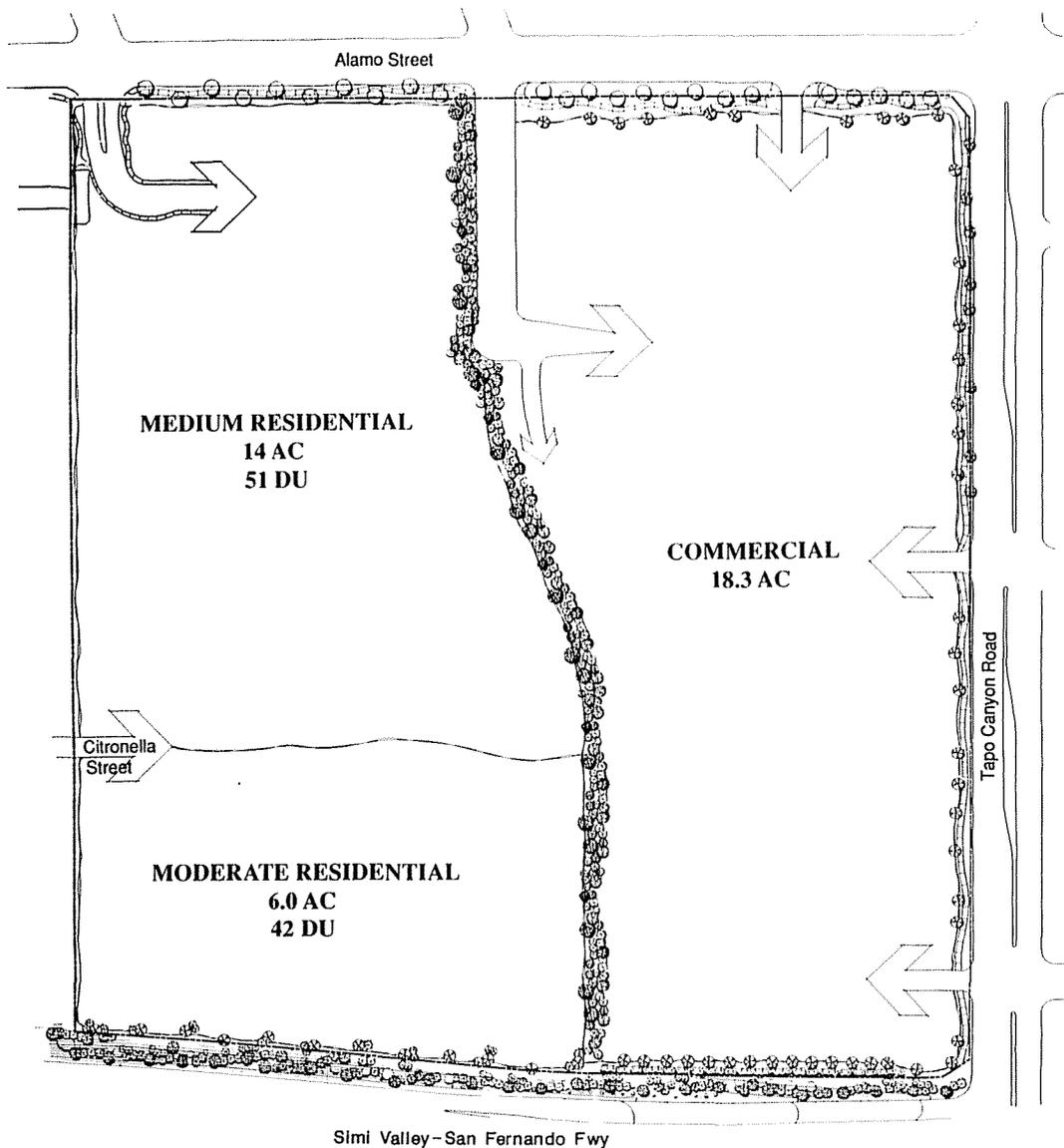
3.1 Specific Land Use Plan

The Specific Land Use Plan section of the Civic Center Plaza Specific Plan expresses the types and distribution of land uses within the study area. As required in the Planning and Zoning Development Laws document, Article 8, Section 65450, "*A specific plan shall include . . . the distribution, location and extent of the uses of land, including open space, covered by the plan.*" The Civic Center Plaza Comprehensive Land Use Plan discusses the land uses proposed by the project wide general development standards which are to direct the future development of the site.

3.1.1 Plan Description

The Civic Center Plaza Specific Plan is focused primarily as a master planned residential and commercial community providing a mix of residential densities from 3.7 dwelling units per acre (51 medium density residential units on 14 acres) to 7.0 dwelling units per acre (42 moderate density residential units on 6 acres), and an 18.3 acre commercial center planned to enhance the development of the City of Simi Valley Civic Center Complex located across Alamo Street. The primary function of the commercial center is to provide retail, service commercial, restaurant and office space complementary to the Civic Center environment, and for those who will be visiting or working at the future Civic Center complex which is now under construction. As a master planned development, the Civic Center Plaza Specific Plan proposes a systematic plan toward the implementation of the Simi Valley General Plan which through the feasible private construction of public infrastructure and services, will achieve a development which limits the need for public funding of costly infrastructure.

The Civic Center Specific Plan Commercial portion is proposed to consist of a maximum of 226,000 square feet of building area. The commercial center will contain a complementary variety of commercial uses, which may consist of apparel stores, general merchandise, gift shops, restaurants, personal



Specific Land Use Plan

CIVIC CENTER PLAZA
STATISTICAL ABSTRACT

ZONING DESIGNATIONS	ACRES	MAXIMUM DENSITY	MAXIMUM DWELLING UNITS	MAXIMUM SQUARE FOOTAGE
MEDIUM RESIDENTIAL	14	3.7	51	
MODERATE RESIDENTIAL	6	7.0	42	
RESIDENTIAL TOTAL	20	2.42	93	
COMMERCIAL	18.3			226,000
PROJECT TOTAL	38.3	2.42	93	226,000

Civic Center Plaza - Simi Valley



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FIGURE 3

services, recreational services, entertainment services, financial institutions, home furnishings, professional offices, medical offices and clinics, and a daycare center consistent with those uses outlined in Section 9.1.507 of the Simi Valley Municipal Code. More detailed commercial/office uses will be determined by the Planned Development (PD) review process.

The Civic Center Plaza Specific Plan is designed to provide an extension of the existing Civic Center development. Through the selection of building materials, architectural treatments, and site planning methods, this project will serve as an extension of the existing Civic Center theme envisioned for the area. The Specific Land Use Plan is structured around the circulation system which has been designed to provide a connection with the Civic Center Complex, existing residential, and Tapo Canyon Road making the project easily accessible from the freeway and existing development in the area. Through a hierarchical network consisting of a collector, sub-collector, private streets and service vehicle accesses, the proposed locations of land uses will be serviced in an appropriate manner reducing unnecessary traffic in residential areas, and providing adequate access for the commercial component of the plan.

The Specific Land Use Plan also utilizes landscaping entry features and streetscapes which serve to form cohesion of design between the residential and commercial aspects of the Land Use Plan, while providing a visual identification network for land use intensities and roadway hierarchy levels.

3.1.2 Land Use Development Standards

The following standards are designed as project-wide standards which serve to unify and interrelate the individual parcels. In order to ensure the orderly and environmentally sensitive implementation of the residential and commercial uses planned, special considerations and standards have been incorporated within.

- 3.1.2.a The Civic Center Specific Plan will include no more than 93 dwelling units on 20 acres as illustrated on Figure 3, Specific

Land Use Plan. General uses permitted will include residential, commercial, public facilities and transit circulation (i.e., auto, bicycle, etc.), as listed on Figure 3, Specific Land Use Plan.

- 3.1.2.b Uses and development standards will be in accordance with and consistent with the City's Comprehensive General Plan and the City's Zoning Code.
- 3.1.2.c All development design guidelines, including, but not limited to, signage, landscape architecture, site planning, building materials, exterior building treatments, structure massing, parking and street frontage treatment will conform to the City's Zoning Code. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the zoning code requirements.
- 3.1.2.d The implementation of the Civic Center Plaza Specific Plan shall be in accordance with the mandatory requirements of all *City of Simi Valley* ordinances and all applicable State laws.
- 3.1.2.e As each tract, plot plan, subdivision application for development, specific plan amendment or any other discretionary permit required to implement the Civic Center Plaza Specific Plan is submitted to the Planning Department, an Environmental Assessment (E.A.) shall be conducted. As a minimum, Environmental Impact Report No. 38183001 prepared for this Specific Plan shall be utilized when the assessment is prepared for the evaluation of impacts associated with any of the above mentioned proposals.
- 3.1.2.f As deemed necessary, in order to implement the development of the Specific Plan, roadways, infrastructure and open space may be coordinated by and paid for through an assessment or community service agency to facilitate construction, maintenance and management, pursuant to the Mello-Roos Community Facili-

ties Act of 1982 (Government Code Section 53311 et. seq.) as amended.

- 3.1.2.g Conceptual access points are identified for each Parcel Area within the Specific Plan. Final ingress and egress points are to be identified formally at time of tentative tract map submittal.
- 3.1.2.h Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular and pedestrian and/or bicycle).
- 3.1.2.i Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated and installing simple heat storage systems.
- 3.1.2.j Final development densities and square footages for each Parcel Area shall be determined through the appropriate development application up to the maximum density identified based upon, but not limited to, the following:
 - Adequate availability of services.
 - Adequate access and circulation.
 - Sensitivity to landform.
 - Innovation in housing types, design conservation, or opportunities.
 - Sensitivity to neighborhood design through appropriate lot and street layouts including minimization in the use of flag lots.
- 3.1.2.k Prior to the issuance of building permits, improvement plans for developed common open space area, including irrigation plans,

shall be submitted for Planning Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.

- 3.1.2.l It is anticipated that maintenance associations for the Commercial Center, if formed, will be established as follows:

The master property owners' association shall be charged with the unqualified right to assess their own individual owners for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for private roads, parking, open space area, signing, landscaping, irrigation common areas and other responsibilities as necessary.

- 3.1.2.m Transfer of dwelling units between medium and moderate land use designations is allowed, as long as the maximum number of dwelling units provided in this Specific Plan is not exceeded, and provided that two distinct development styles (medium and moderate) are maintained.

- 3.1.2.n A landscape setback averaging forty-two and one half feet (42.5') from the curb face for the building pads along Alamo Street, shall be provided, incorporating a ten foot (10') meandering sidewalk within an average twenty-two and one half foot (22.5) wide enriched parkway (as required by The General Plan Appendix D) and an additional twenty foot (20') landscape building setback. A two foot (2') roof overhang will be allowed to encroach into this setback. Parking areas will be allowed to encroach ten feet (10') into said setback for an average thirty-two and one half foot (32.5') setback from the curb face. Any future free-standing building located at the southwest corner of the intersection of

Tapo Canyon Road and Alamo Street shall maintain a landscaped setback of fifty-two and one-half feet (52-1/2") from Alamo Street as measured from face of curbs.

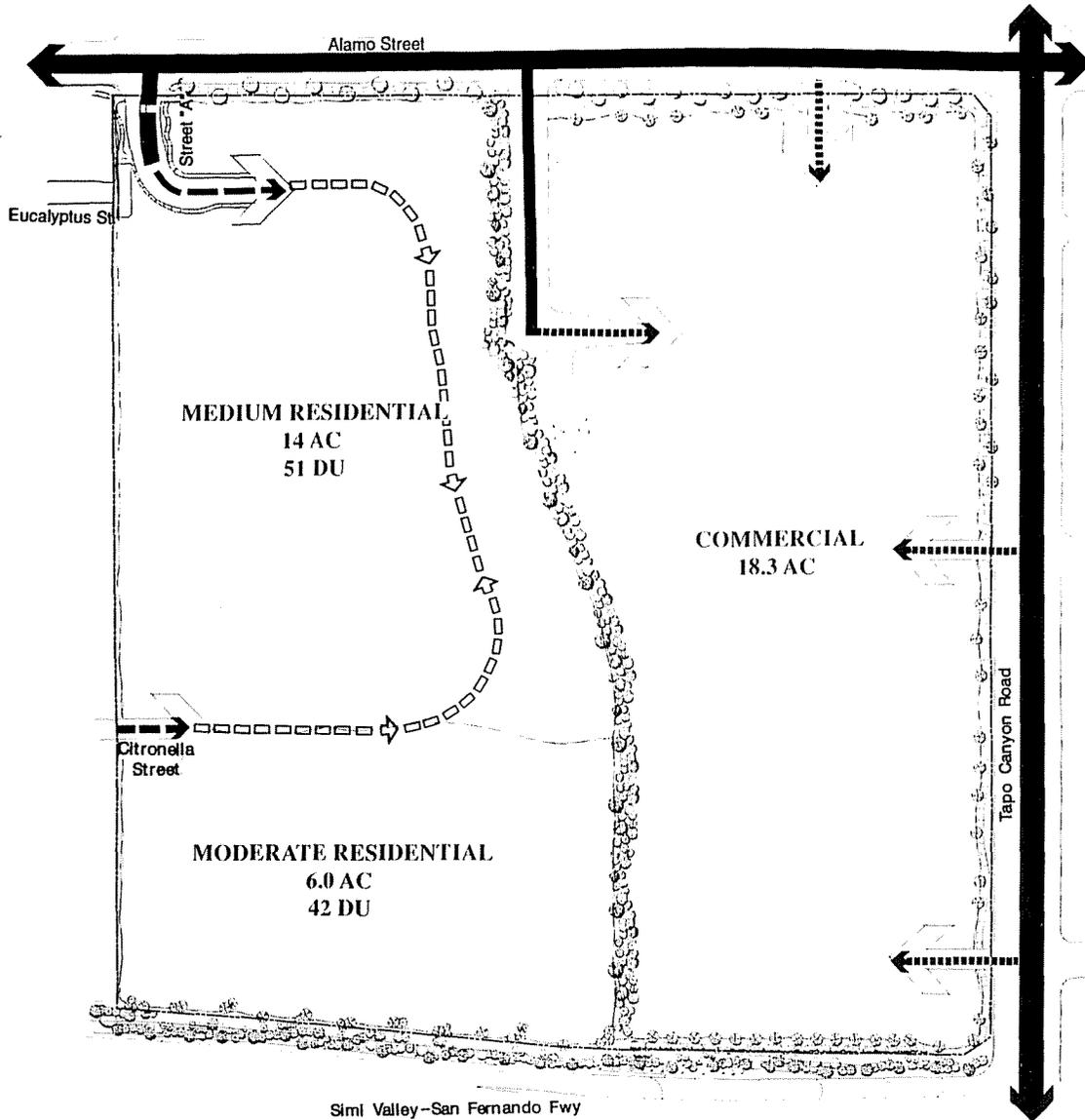
- 3.1.2.o A landscape setback of forty feet (40') from the curb face shall be provided along Tapo Canyon Road to all commercial building pads, incorporating a ten foot (10') sidewalk and thirty foot (30') landscape parkway. Parking areas will be allowed a ten foot (10') encroachment for an overall twenty foot (20') setback from the curb face.
- 3.1.2.p The developers of the commercial portion of the project shall create, maintain, or participate in a transportation management association.
- 3.1.2.q The developers of the commercial portion of the project shall incorporate secure bicycle storage facilities.
- 3.1.2.r Project developers shall contribute funds to Simi Valley Transit in order to reduce the air quality impacts of the project pursuant to the 1983 Guidelines for Air Quality Impact Analyses.
- 3.1.2.s Developers of the medical office portion of the project shall develop a parking management plan to include a minimum provision that at least ten percent of the available on-site parking be set aside for preferential parking of vanpools and carpools.
- 3.1.2.t During the Planned Development (PD) permit processing phase(s), the Planning Commission may consider a pedestrian access from the residential component into the commercial component of the Specific Plan. Access shall be reviewed for ease of access and safety.

3.2 Circulation Plan

The Civic Center Plaza Specific Plan establishes the comprehensive circulation configuration and design standards for both the residential project wide "loop road", and the specific local and private roadways utilized in the residential and commercial portions of the project. The Circulation Plan serves to implement the City's Circulation Element of the General Plan. To achieve this implementation, the Circulation Plan provides a comprehensive transportation system that maximizes efficiency and convenience while minimizing danger and delay. As stated in the City's General Plan Circulation Element, Goal VIII-1, the General Plan shall *"Provide for the safe and efficient movement of people, goods and services throughout the City while minimizing the impact of the circulation system on residential areas and the suburban character of the community."*

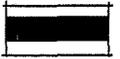
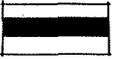
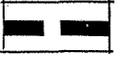
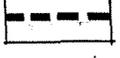
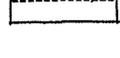
3.2.1 Plan Description

As depicted in Figure 4, the on-site circulation plan provides for a safe and efficient system whereby vehicular, pedestrian and bicycle traffic for the community is achieved ensuring a high level of service. The proposed traffic design meets or exceeds the public safety, security and transportation needs of the project. Through the use of a curvilinear roadway system within the residential portion which eliminates any auto access to the commercial portion, and serves to direct project residential traffic to enter and exit at the proposed Street "A" access along Alamo Street, the future user will naturally conform to appropriate speed conditions and standard driving procedures. The roadways within the residential portion, as depicted on Figure 4, show the conceptual location of the loop road, and how it will serve to link Citronela and Street "A". The developer will incorporate a *"hammer-head"* design at the terminus of Eucalyptus Street or by being blocked-off with an emergency access gate together with turf block, per the City of Simi Valley Public Works Department standards, subject to review of and approval by the City's Traffic Engineer and Ventura County Fire Protection District. There shall be no vehicular access from Eucalyptus Street to streets within the project.



Circulation Plan

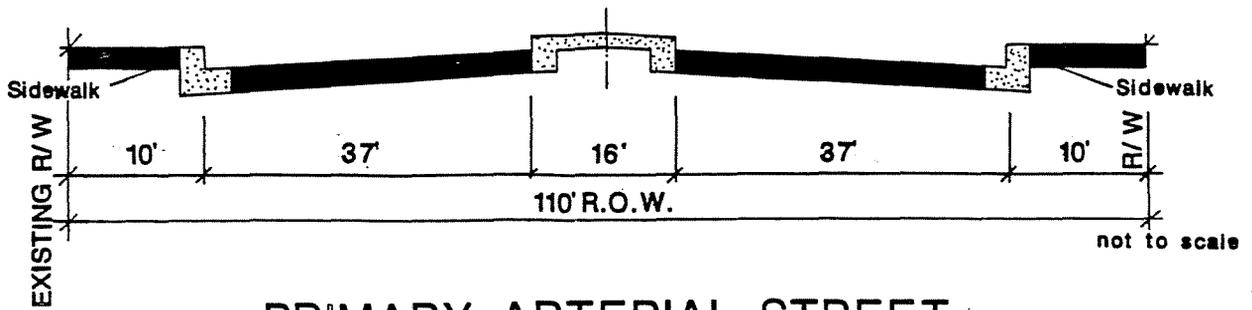
Legend

-  PRIMARY ARTERIAL STREET
(110' R.O.W.) TAPO CANYON ROAD
(90' CURB TO CURB) PLATE B-2A
-  SECONDARY ARTERIAL ST.
(114' TO 140' R.O.W.) ALAMO STREET
(80' CURB TO CURB) PLATE B-2B
-  COLLECTOR STREET
(60' R.O.W.) "A" STREET
(40' CURB TO CURB) PLATE 4A
-  PRIVATE STREET
(60' R.O.W.)
(40' CURB TO CURB) PLATE B-3D
-  MINOR STREET
(49' R.O.W.) ALL OTHER STREETS
(36' CURB TO CURB) PLATE B-5B
-  CONCEPTUAL ALIGNMENT OF
RESIDENTIAL LOOP ROAD.
PLATE B-5B
-  PRIVATE DRIVE
(25' MINIMUM CURB TO CURB)

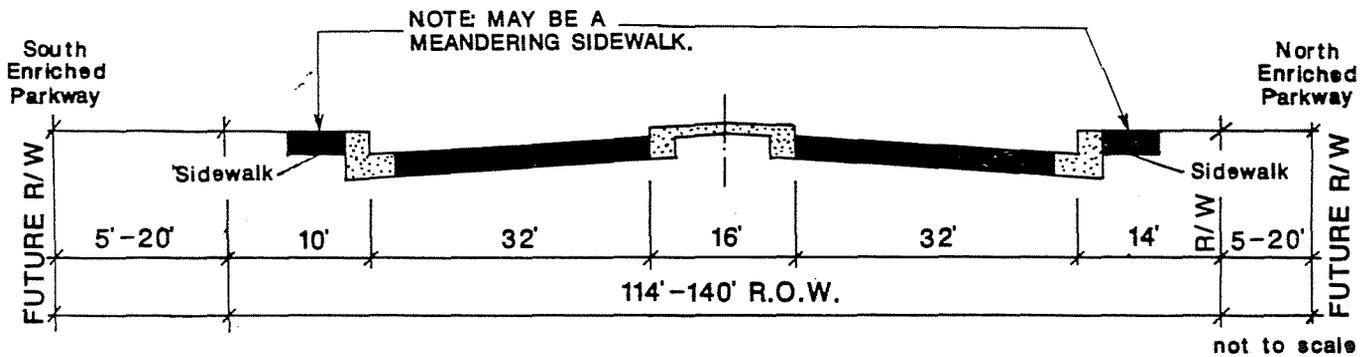
Civic Center Plaza - Simi Valley



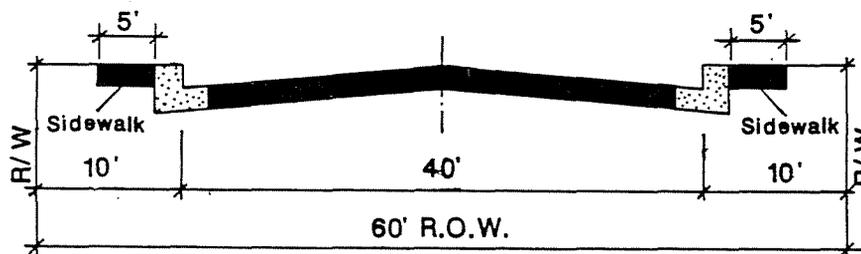
FIGURE 4



PRIMARY ARTERIAL STREET
 (TAPO CANYON ROAD)
 (PLATE B-2A MOD.)



SECONDARY ARTERIAL STREET
 (Alamo Street)
 (PLATE B-2B MOD.)



**RESIDENTIAL LOOP
 COLLECTOR STREET**
 (STREET "A")
 (PLATE B 4A)

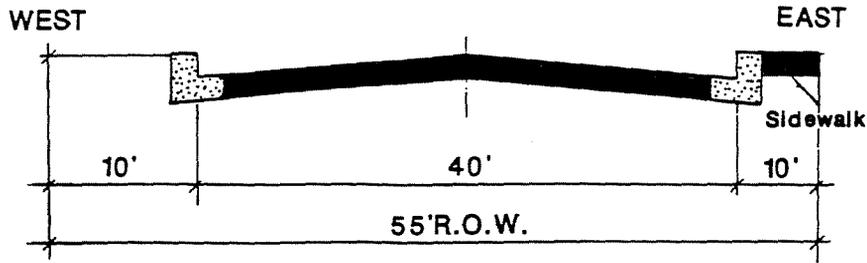
Roadway Cross Section

Civic Center Plaza
Simi Valley

FIGURE 5(a)

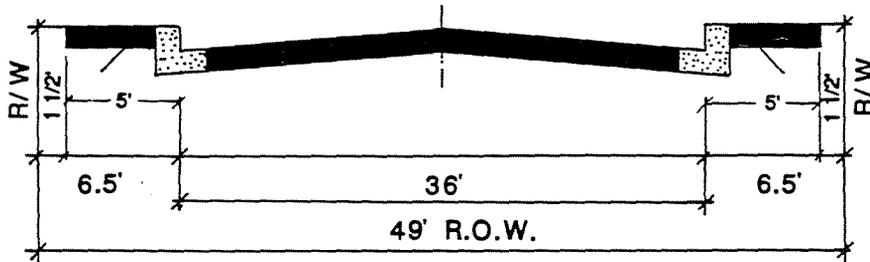


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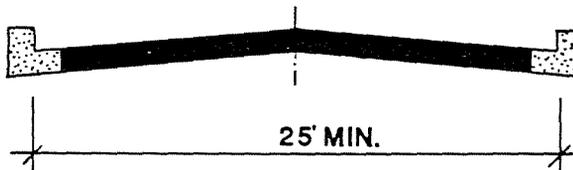
not to scale

**PRIVATE STREET
(COMMERCIAL ACCESS)
(PLATE B-3D)**



not to scale

**RESIDENTIAL MINOR
COLLECTOR STREET
(CITRONELLA STREET & A STREET)
(PLATE B-5B)**



not to scale

**PRIVATE DRIVE
(COMMERCIAL ACCESS)**

Roadway Cross Section

*Civic Center Plaza
Simi Valley*

FIGURE 5(b)



**TURRINI & BRINK
Planning Consultants**
1403 HALEWAY SUITE 201
SANTA ANA, CALIF. 92705-1781 AND 2774
7220 TRAVIS STREET SUITE 102
SANTA ANA, CALIF. 92705-0966-4000

Principal north-south access within the residential portion will be achieved via Street "A", a collector loop-road with exterior project access at Alamo Street, Citronella and Eucalyptus. This circulation design serves to implement the General Plan goal of no direct access to the residential portion from Tapo Canyon Road. The commercial portion of the site will provide access via four separate direct loading entrances off of Alamo Street and Tapo Canyon Road. The primary commercial access located directly across from the Simi Valley Freeway on- and off-ramps will serve to reduce traffic generated by the commercial portion of the project on Tapo Canyon Road.

3.2.2 Circulation Plan Development Standards

- 3.2.2.a All project roadways and private streets will be constructed as depicted in Figures 5a and 5b, Roadway Cross-sections, per the City of Simi Valley Public Works Department Standards.
- 3.2.2.b All road dedications shall correlate to the overall existing and proposed street system of the area surrounding the site. The dedications shall be made as part of the land division process.
- 3.2.2.c The design of the street intersections shall reflect the safe passage of through traffic and the negotiation of vehicular turning maneuvers.
- 3.2.2.d Mitigation measures as described in the certified EIR for Civic Center Plaza pertaining to environmental hazards, noise hazards and levels of service shall be implemented.
- 3.2.2.e Pedestrian access will be made available to the west side of the commercial center from the public sidewalk along Alamo Street.
- 3.2.2.f Adequate driver sight distances shall be maintained at all times, as required by the City Traffic Engineer.

- 3.2.2.g A bus turnout and lighted passenger shelter shall be located on the west side of Tapo Canyon Road between the two southernmost driveway entrances to the center and its construction shall be in accordance with all state and local laws.
- 3.2.2.h A traffic signal at the Alamo Street/"A" Street/West Civic Center driveway shall be installed prior to occupancy of the residential uses. Until such time as a signal is installed, northbound traffic on "A" Street approaching Alamo Street shall be controlled by a "Stop" sign during construction of the residential uses.
- 3.2.2.i The project driveway that is proposed on Tapo Canyon Road opposite the SR-118 westbound off-ramps shall have a curb-to-curb width of at least fifty feet (50') to accommodate two entering and two exiting lanes. Eastbound straight movements from the driveway shall be prohibited.
- 3.2.2.j Full-service driveways, with all turning movements permitted, shall be provided on Tapo Canyon Road at a location aligned with, but not connected with, the Adam Road cul-de-sac, and on Alamo Street opposite the City of Simi Valley east Civic Center driveway. All movements, except eastbound straight movement, should be allowed at the driveway proposed on Tapo Canyon Road opposite the SR-118 westbound ramps. All other project driveways shall be restricted to right-turning movements only.
- 3.2.2.k The project driveway at the Tapo Canyon Road/SR-118 westbound off-ramps intersection, shall require that the existing traffic signal system be modified and the phasing changed to add separate phases for the eastbound and westbound approaches.

3.3 Comprehensive Grading Plan

3.3.1 Plan Description

The Civic Center Plaza Specific Plan Grading Plan is designed to conform to the extent possible, to the existing topography of the project site. Grading criteria, to be most effective, should be tailored on a per site basis, so that each unique set of conditions may be analyzed and the most sensitive techniques may be applied. The following grading guidelines provide general direction to grading design for the Civic Center Plaza. Detailed grading plans (in conformance with City established procedures) should define project earthwork requirements and will be developed during subsequent, more detailed levels of planning (i.e., planned development, or tentative tract map preparation) and will be subject to review and approval of the City Engineer. The following standards and guidelines should be used in preparing grading and drainage plans for City submittal.

3.3.2 Grading Plan Development Standards

- 3.3.2.a All grading activities shall be in conformance with Chapter 70 of the Uniform Building Code (Current Edition) as well as the other applicable City's standards and grading policies.
- 3.3.2.b Prior to initial grading activities, a soils report and geotechnical study shall be performed which further analyzes on-site soil conditions and include appropriate measures to control erosion and dust.
- 3.3.2.c Detailed grading plans shall be prepared prior to any on-site grading for each phase of development.
- 3.3.2.d The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.

- 3.3.2.e Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 3.3.2.f Grading work shall be balanced on-site wherever possible.
- 3.3.2.g Graded but undeveloped land shall be maintained weed free and planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.
- 3.3.2.h A grading permit shall be obtained from the *City of Simi Valley*, as required by the City's Grading Ordinance, prior to grading.
- 3.3.2.i If any historic or prehistoric remains are discovered during grading, a qualified archaeologist and paleontologist should be consulted to ascertain their significance.
- 3.3.2.j Soil stabilizers should be used to control dust as required by SCAQMD Rule No. 403.
- 3.3.2.k Compliance with the City's grading ordinance for dust control.
- 3.3.2.l Frequent watering of disturbed areas and unpaved access roads shall be performed as necessary, and the use of a dust inhibitor should be used where appropriate. Petroleum based dust palliatives shall meet the road oil requirements of the Ventura County APCD Rule 74.4, Cutback Asphalt.
- 3.3.2.m Construction areas shall be landscaped or paved as soon as feasible to establish cover on exposed earth.

3.4 Comprehensive Drainage Plan

The Civic Center Plaza project site is relatively flat with approximately twenty feet (20') of relief difference from the north end to the south end of the property. There are no significant topographical land forms, and drainage on-site naturally flows to the south where it is carried off site via an existing reinforced concrete pipe, located in the Simi Valley Freeway (118) right-of-way. Surface water run-off which accumulates in this developing area of the City eventually is conveyed to the Santa Susana West Drain and to the Arroyo Simi.

3.4.1 Plan Description

The site is within the boundaries of the Ventura County Flood Control Tapo Canyon Drainage Planning Area. The Santa Susana West Drain and Tapo Canyon Channel are the regional conveyances for storm waters for the project. The proposed Comprehensive Drainage Plan will utilize the project streets and a detention basin(s) located within both/either the residential and commercial portions of the project which will discharge storm run-off water into the existing 48-inch storm drain located at the southeast portion of the site.

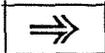
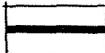
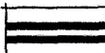
The Conceptual Drainage Plan, depicted in Figure 6, has been prepared to account for flood water flow rates to accommodate the 100-year flood frequency, and displays the general direction of storm run-off flows as they are conveyed through the street system off-site. This figure must be supplemented with detailed hydrology and hydraulics studies which will be prepared at time of tentative tract or PD submission to the *City of Simi Valley*.

3.4.2. Drainage Plan Development Standards

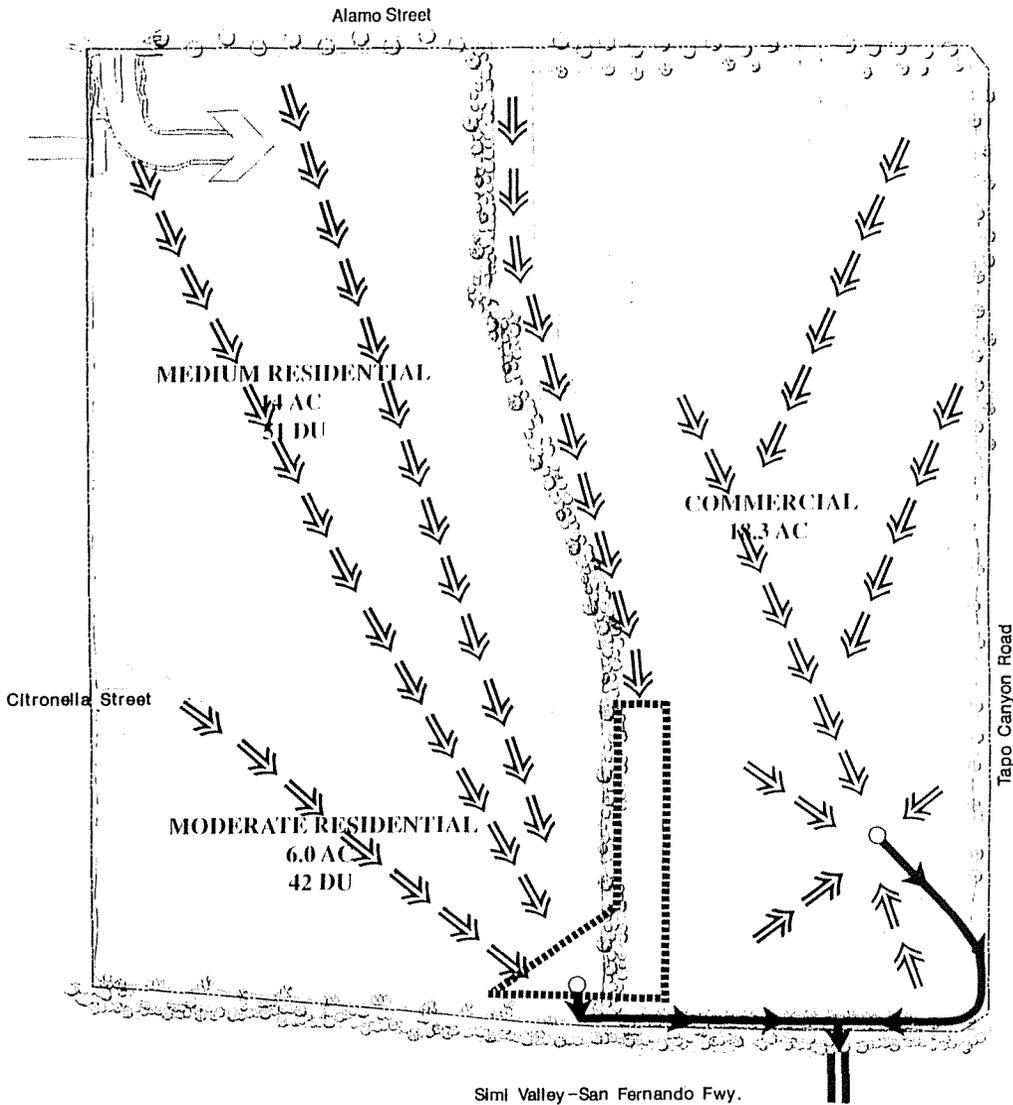
3.4.2.a Drainage and flood control facilities and improvements shall be provided in accordance with *City of Simi Valley* requirements.

Conceptual Drainage Plan

Legend

-  DRAINAGE FLOW
-  PROPOSED STORM DRAIN
-  EXISTING STORM DRAIN
-  STORM WATER DETENTION AREA

* STORM WATER DETENTION AREAS TO BE DESIGNED TO CITY STANDARDS AT P.D. AND TRACT MAP STAGE OF PLAN DEVELOPMENT.



SOURCE : WILLIAM ROSE AND ASSOCIATES, INC.

Civic Center Plaza - Simi Valley



FIGURE 6

- 3.4.2.b Detention basins shall be provided, designed and constructed per the City of Simi Valley standards, for review and approval by the City Engineer on the project site so that there will be no net increase in peak run-off from the site during the 10-year flood occurrence. The Q leaving the site shall not exceed the Q₁₀ - developed. Maintenance of said basin(s) will be the responsibility of residents and/or businesses of the project.
- 3.4.2.c The maintenance of detention basin(s) shall be the responsibility of the Homeowners' Association of the residential area and the owners of the commercial area. Detention basins shall be adequately screened and fenced where appropriate as determined by the Department of Environmental Services.

3.5 Conceptual Water and Sewer Plan

3.5.1 Plan Description

The Simi Valley County Sanitation District and Southern California Water Company will provide sewer and water services to the project, respectively. Currently there are no water lines within the project site, and the Simi Valley County Sanitation District has installed two sewer laterals off of Tapo Canyon Road to the project site. Existing water and sewer infrastructure lines are located in Eucalyptus and Citronella Streets west of the project site. The Public Services and Utilities Plan for Civic Center Plaza proposes to provide water and sewer services through an extension of these lines. The water and sewer plan configurations (Figures 7 and 8) shall follow the primary loop road within the residential portion of the project as designed at the (PD) stage. Water lines from the residential portion shall be extended to service the commercial portion as well. Additional sewer lines will be connected to existing lines beneath Tapo Canyon Road.

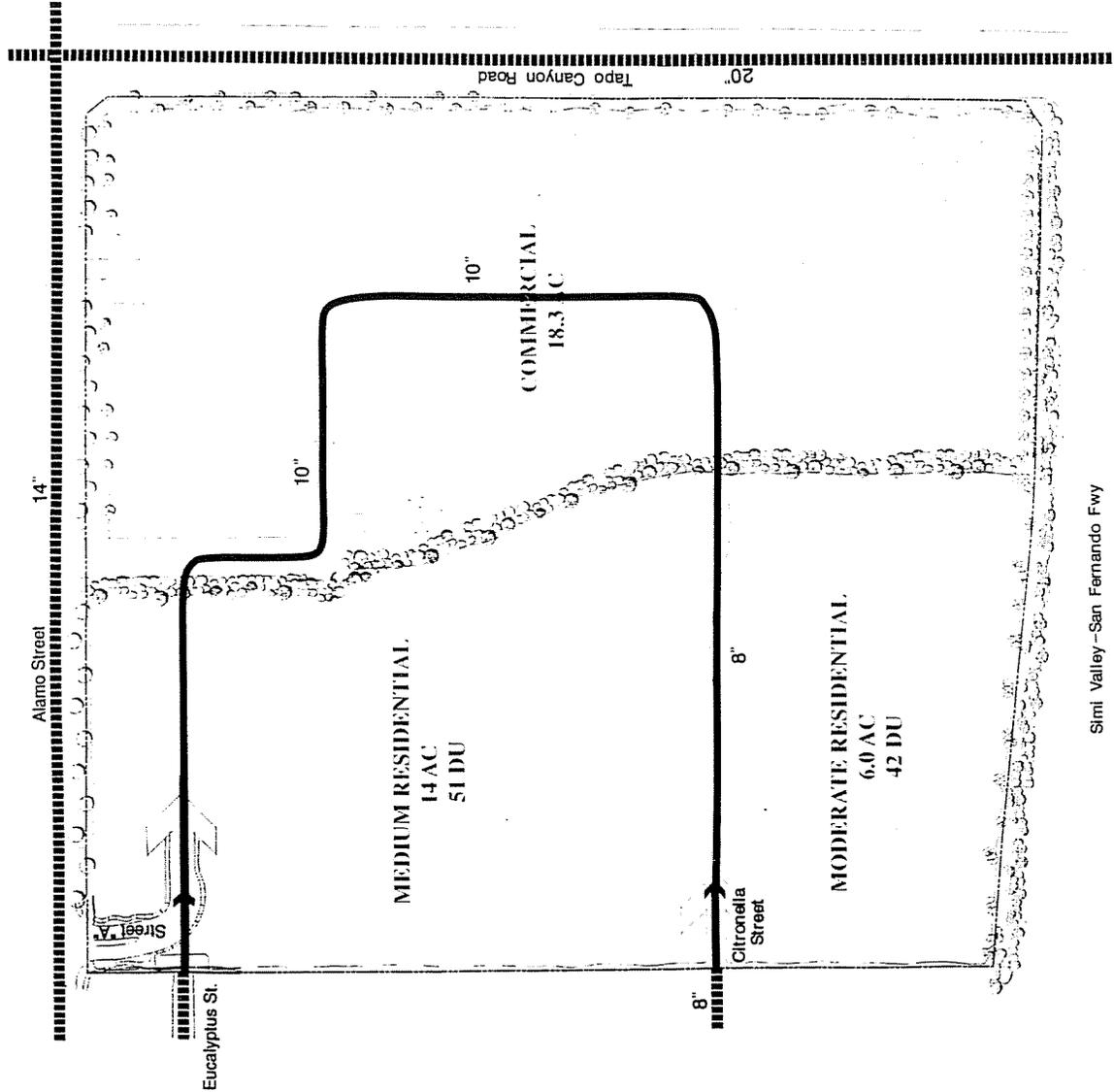
The following Conceptual Water and Conceptual Sewer Plan represent the proposed "backbone" system for the provision of water and sewer which is preliminary in nature. Final pipe sizes and routing will be determined at the time of final PD design.

3.5.2 Sewer and Water Plan Development Standards

- 3.5.2.a All water connections and lines shall be constructed in accordance with the standards of the Southern California Water Company who will provide service to the project.
- 3.5.2.b All sewer connections and lines shall be constructed in accordance with the standards of the Simi Valley County Sanitation District.
- 3.5.2.c All proposed water and sewer lines shall be consistent with the goals and policies outlined in the City's General Plan Community Services Element.

Conceptual Water Plan

Legend



SOURCE:
WILLIAM ROSE AND ASSOCIATES, INC.

Simi Valley - San Fernando Fwy

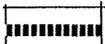
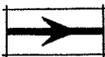
Simi Center Plaza - Simi Valley

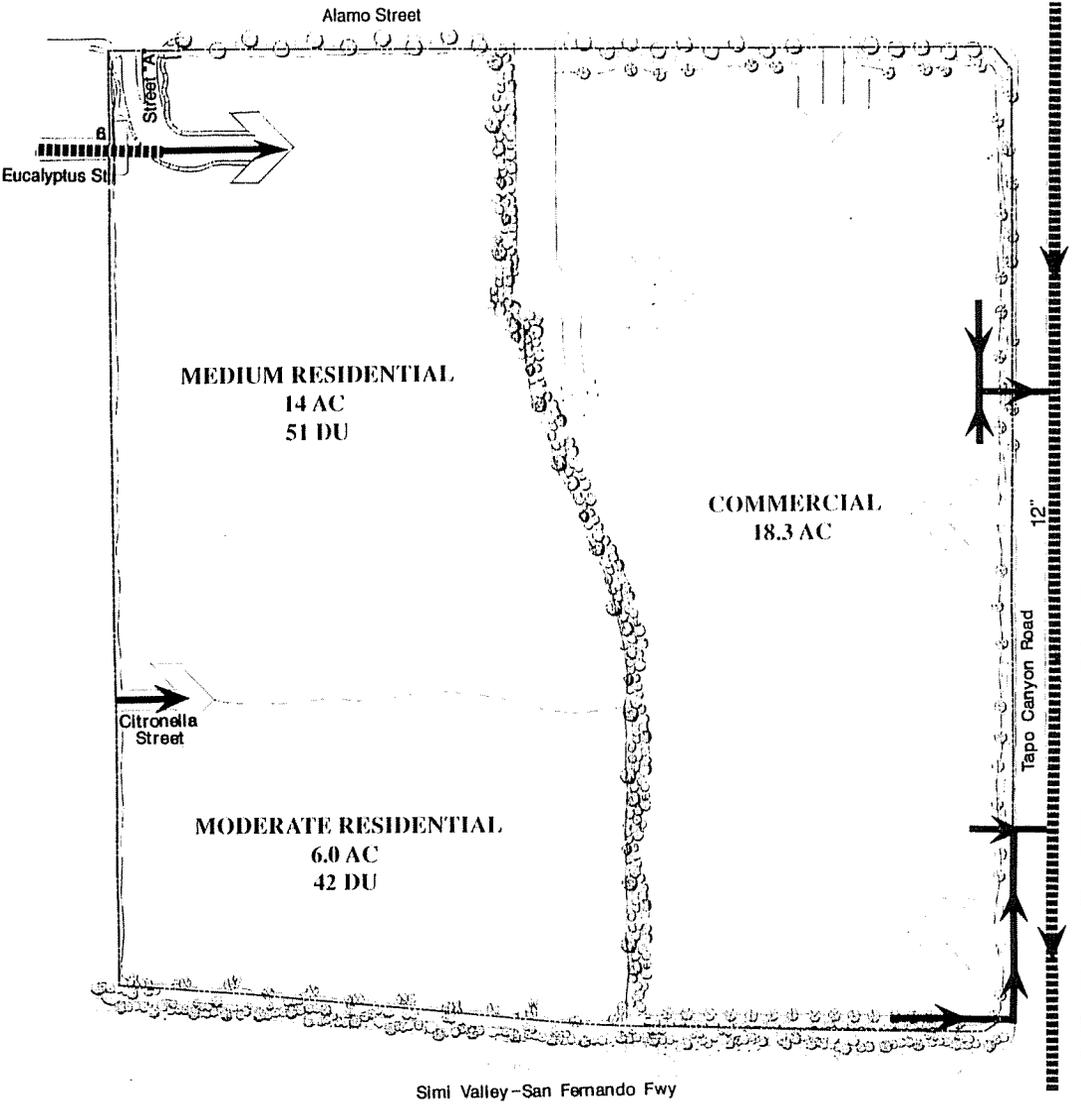


FIGURE 7

Conceptual Sewer Plan

Legend

-  EXISTING SEWER LINE
-  PROPOSED SEWER LINE EXTENTIONS



SOURCE :
WILLIAM ROSE AND ASSOCIATES, INC.

FIGURE 8



3.5.2.d All fire hydrant locations shall be determined by the Ventura County Fire Prevention District prior to the time of project development.

3.6 Comprehensive Maintenance Plan

3.6.1 Plan Description

In order to maintain the high quality of the Civic Center Plaza project, the successful operation of a public maintenance district or association is essential. In projects such as the Civic Center Plaza development where master planning dictates aesthetics, design components, recreation facilities, or other common features which are designed to maintain design consistency and add project value, maintenance organizations (public or private) are one of the most effective legal avenues organized for the common good of the project and the surrounding community.

With this in mind, it is anticipated that maintenance responsibilities for common project facilities will be handled through such an agency. This decision regarding the formation of such an agency will be made at a future stage of project design and review.

3.6.2 Maintenance Plan Development Standards

3.6.2.a Common areas identified in the Civic Center Plaza Commercial Center will be owned and maintained by a permanent Community Service Agency, Quasi Commercial Maintenance Organization, or a private master maintenance organization which will assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas.

3.6.2.b All public streets and roadways will be designed and constructed to standards acceptable to the *City of Simi Valley* and will therefore be entered into the City's system of roads for operation and maintenance. All other private roadways will be maintained by a Community Service Agency or other appropriate association. The detention basin facility shall be maintained by the property(ies) owner.

4.0 Specific Plan Design Guidelines

The Design Guidelines section of the Civic Center Plaza Specific Plan establishes the theme and character of the project. The Design Guidelines are intended to promote harmony and a coordinated image for the development, to establish consistency of design with the Civic Center Master Plan across Alamo Street and to provide direction for the community while remaining general enough to allow design flexibility.

The criteria set forth in this section will be utilized by the *City of Simi Valley* staff, architects, engineers, landscape architects and builders to ensure consistency and quality of design for the Civic Center Plaza Specific Plan. Compliance with these design guidelines will protect the integrity of the project.

The Civic Center Plaza Design Guidelines incorporate all of the elements of the project including: landscaping, architecture, signage and walls and fences. In addition, entry treatments and streetscapes are discussed.

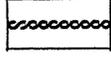
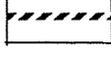
4.1 Landscape Architectural Guidelines

The primary goal of the landscape architectural guidelines is to set a theme on Tapo Canyon Road and Alamo Street which will serve as a visual gateway to the *City of Simi Valley* Civic Center, as well as to create a harmonious project serving the needs of the City.

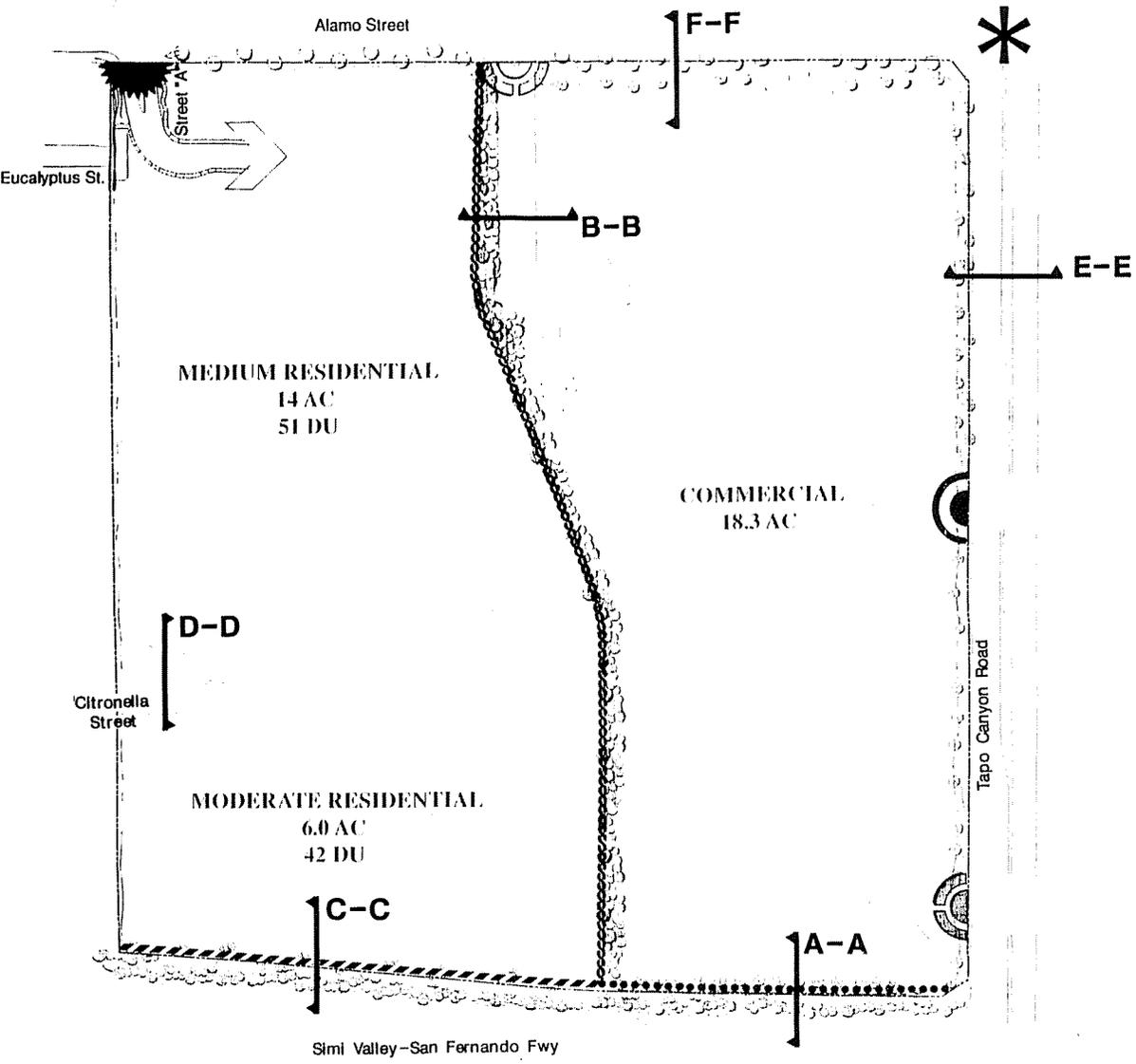
The proposed Conceptual Landscape Plan (Figure 9) will add strength and character through the use of a unified plant palette and other site amenities for both the commercial and residential portions of the project. The Concept Landscape Plan, as depicted in Figure 9, displays all of the major components of the plan. The plan includes four project landscape nodes made up of three entry concepts (Figures 10, 12, 12a and 13); one project exterior intersection plan (Figure 11); one major landscape buffer corridor separating project commercial uses from residential uses; and six streetscape or land use interface conditions (Figures 14-19).

Concept Landscape Plan

Legend

-  PRIMARY INTERSECTION
-  PRIMARY COMMERCIAL ENTRY
-  SECONDARY COMMERCIAL ENTRY
-  PRIMARY RESIDENTIAL ENTRY
-  COMMERCIAL/RESIDENTIAL LAND USE INTERFACE
-  COMMERCIAL/FREEWAY LAND USE INTERFACE
-  RESIDENTIAL/FREEWAY LAND USE INTERFACE

CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES.
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION



Civic Center Plaza - Simi Valley



FIGURE 9

In order to attain a sense of identity, substance and congruity, the following guidelines have been developed:

◆ **Tapo Canyon Road/Alamo Street Intersection**

The Tapo Canyon Road/Alamo Street intersection, as illustrated on Figure 11, will serve as the primary design link to the existing Civic Center development across the street from Civic Center Plaza, and thus will be a dominant focal point. Project signage will be located at this intersection to capture full traffic attraction capabilities. *Washingtonia filifera* (California Fan Palm) will be planted along the meandering walkway at key locations of Tapo Canyon Road and Alamo Street giving the intersection a sense of visual continuity with the other three corners of the intersection. Drought tolerant shrubs will also be added for color, texture and variety.

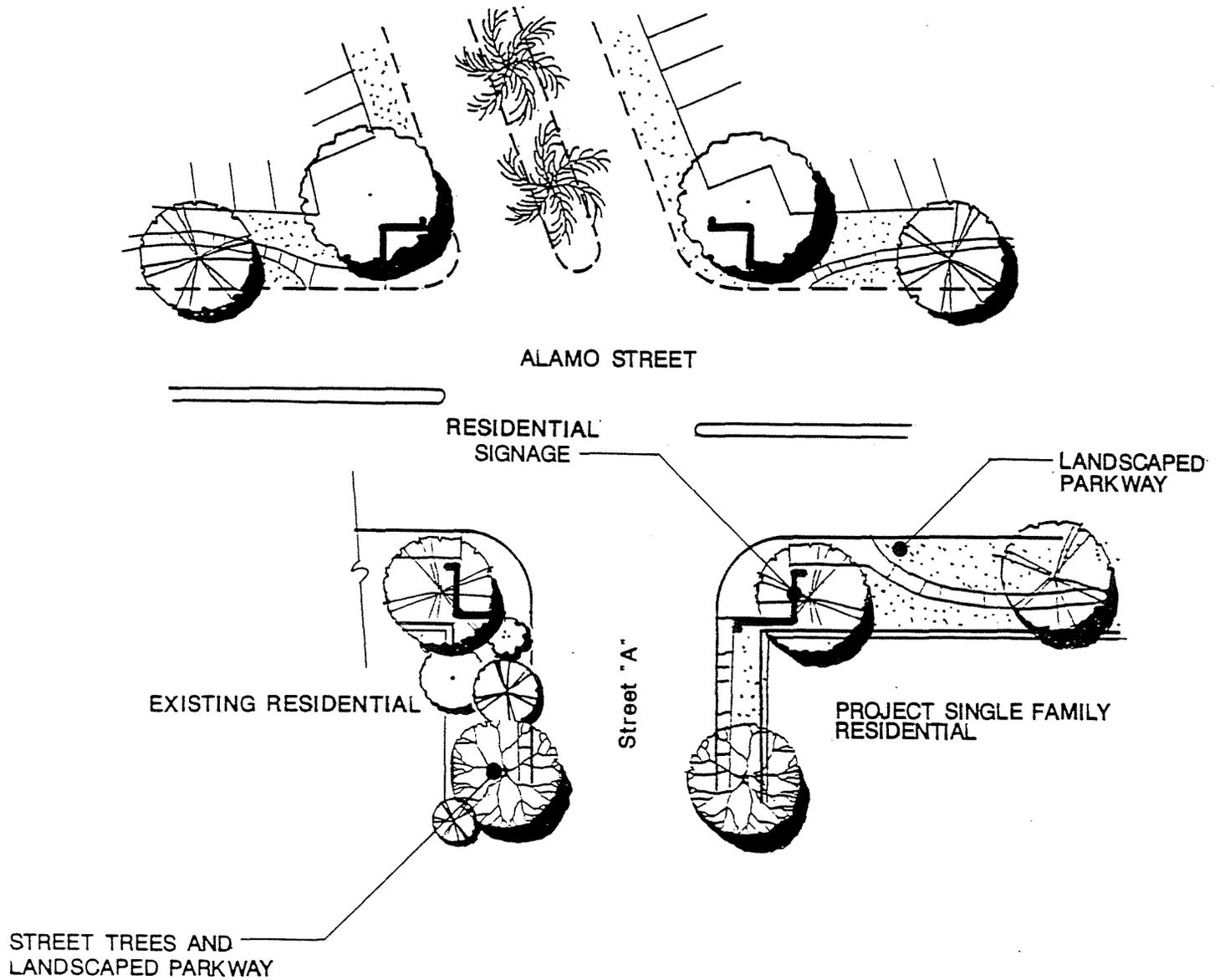
Colorful deciduous theme trees, as depicted on Figures 9-13, will appear in clusters at major intersections of the residential portions of the residential and commercial enclaves. These trees will create a year-round sculptural feature at the entries through the formation of large canopies. *Washingtonia filifera* (California Fan Palm) will be used selectively within the commercial project as accents.

◆ **Primary Residential Entry**

The primary residential entry on Street "A", as depicted on Figure 10, will be located off of Alamo Street directly across from the existing entry to the Civic Center. The entire frontage along the project will be landscaped with both evergreen and deciduous flowering trees which will be in appropriate scale in accordance to their placement and will add variety and interest to the streetscape. In addition, a ten foot (10') meandering walkway within a twenty-two and one half foot (22.5') enriched parkway with an additional ten foot (10') landscape setback will be provided along the frontage of the project providing a 32.5-foot setback area along Alamo Street.

Ground covers and flowering shrubs will comprise the landscape ground plane. Mounding along the frontage will serve to screen cars from Tapo Canyon Road. The

EXISTING CIVIC CENTER ENTRY



CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

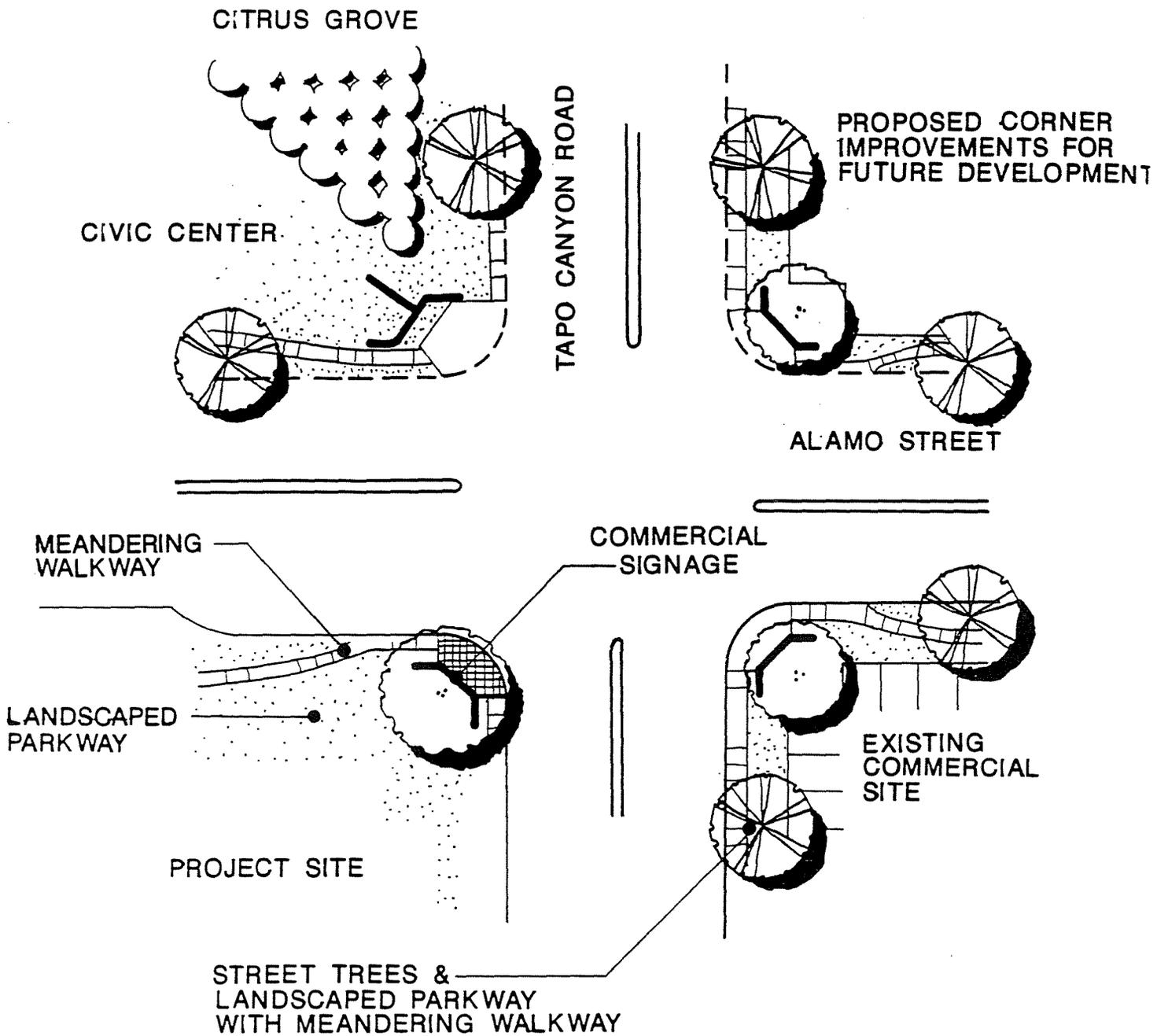
Residential Entry Plan

Civic Center Plaza
Simi Valley

FIGURE 10



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 Santa Ana, CA 92705 (714) 962-2774
 2220 Frank Street, Suite 102
 San Diego, CA 92106 (619) 594-9995



CONCEPTUAL GRAPHICS REPRESENTATION
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 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

Tapo Canyon/Alamo Street Intersection Plan

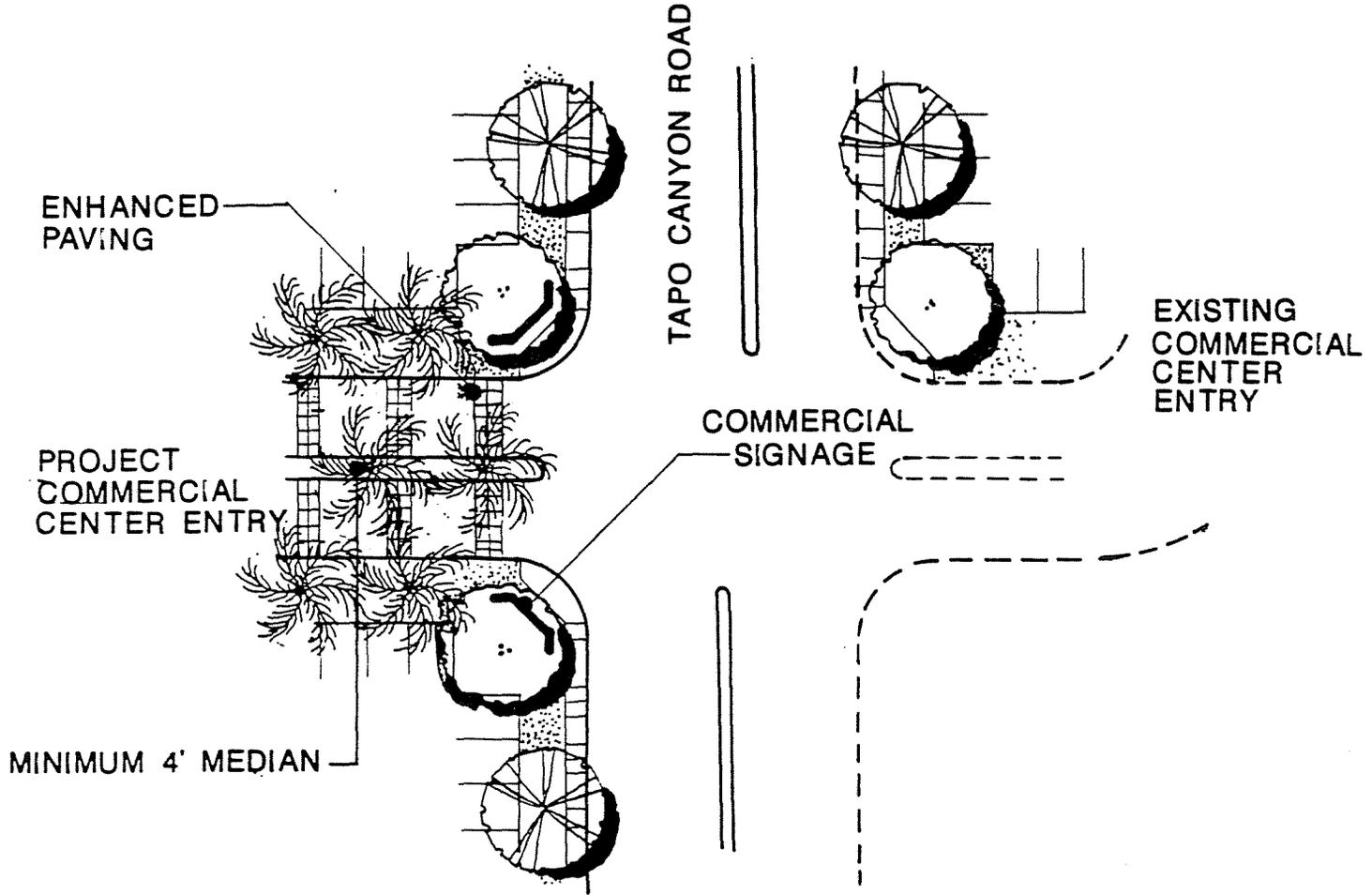
*Civic Center Plaza
 Simi Valley*

FIGURE 11



TURRINI & BRINK
 Planning Consultants
 1142 HALLADAY SUITE 100
 SANTA ANA, CALIF. 92705-1741 949.277.2774
 7220 TRADE STREET SUITE 302
 SAN DIEGO, CALIF. 92121-0906 619.597.5974

STREET TREES &
LANDSCAPED PARKWAY



- DRIVER SIGHT DISTANCE AREA SHALL BE CLEAR OF OBSTRUCTIONS AT COMMERCIAL ENTRANCE.

CONCEPTUAL GRAPHICS REPRESENTATION
NOT FOR ADOPTION PURPOSES.
DETAILED LANDSCAPING TO BE
DETERMINED AT TIME OF PD SUBMISSION

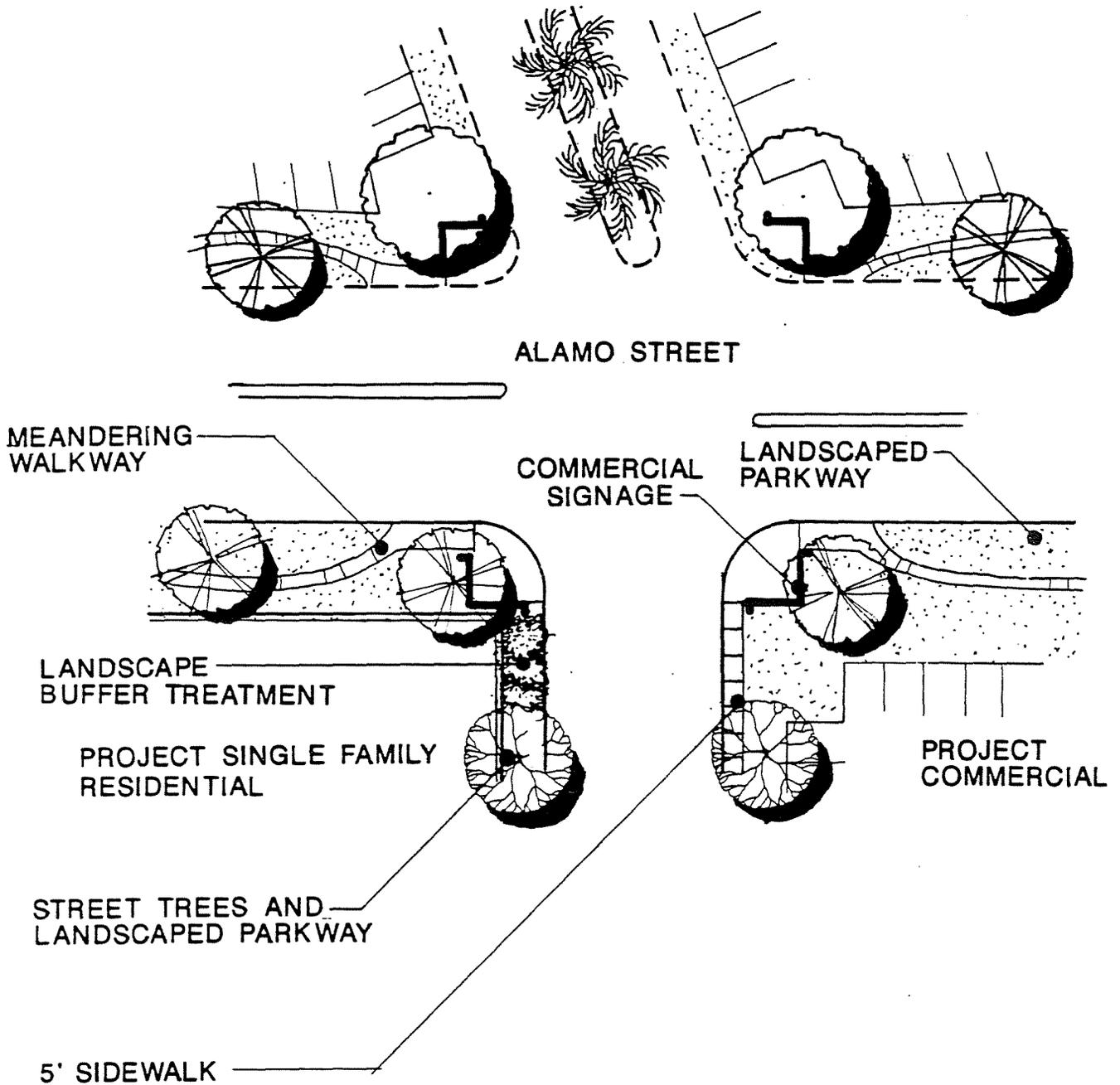
Primary Commercial Entry
Civic Center Plaza
Simi Valley

FIGURE 12



TURRINI & BRINK
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1542 PHASE 16000 SUITE 200
SAN JUAN CAPITOL CENTER 17341 ROAD 2772
2220 TRACON STREET SUITE 310
SAN DIEGO, CALIF. 92121-0226 SAN-SD-95

PROPOSED CIVIC CENTER ENTRY



CONCEPTUAL GRAPHICS REPRESENTATION
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 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

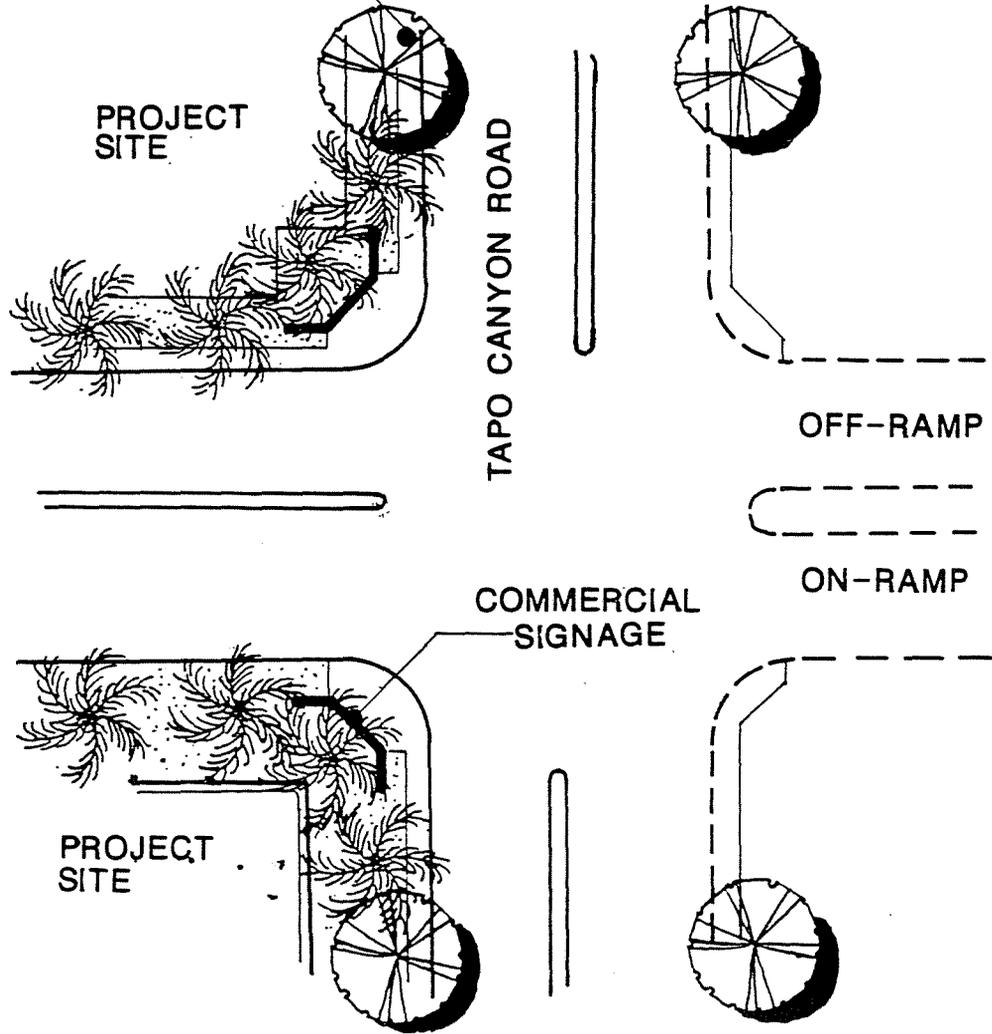
Secondary Commercial Entry
Civic Center Plaza
Simi Valley

FIGURE 12(a)



TURRINI & BRINK
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 7220 TRADE STREET SUITE 312
 SAN LEO, CALIF. 92571 (951) 666-5195

STREET TREES &
LANDSCAPED PARKWAY



- DRIVER SIGHT DISTANCE AREA SHALL BE CLEAR OF OBSTRUCTIONS AT COMMERCIAL ENTRANCE.

CONCEPTUAL GRAPHICS REPRESENTATION
NOT FOR ADOPTION PURPOSES.

DETAILED LANDSCAPING TO BE
DETERMINED AT TIME OF PD SUBMISSION

Secondary Commercial Entry
Civic Center Plaza
Simi Valley

FIGURE 13



TURRINI & BRINK
Planning Consultants
1242 HALLWAY SUITE 101
SANTA ANA CALIF 92705-1741 662-2774
2220 TRADE STREET SUITE 102
SAN DIEGO CALIF 92111-0956-9095

sidewalk along Tapo Canyon Road will be a monolithic walkway. Street trees will be incorporated into the landscape at the back of the walk for ease of maintenance. The theme planting that is approved for the north side of Alamo Street should be comparable to the opposite side of the roadway to further solidify the comprehensive plan for the entry to the Civic Center.

◆ **Primary Commercial Entry**

The suggested landscape here should be one created with both good architecture and attractive landscaping.

This intersection, as illustrated on Figure 12, is a significant node within the City and should be treated as such. Furthermore, this intersection is recognized as a major entrance into the commercial project. Landscaping used in the previously mentioned nodes should also be used for this area to provide project consistency.

◆ **Secondary Commercial Entry**

The second commercial entry, as illustrated on Figures 12a and 13, will serve as a secondary access point to the commercial portion of the Civic Center Plaza project. Its prominence as a project identification element is defined by its frontage location along Tapo Canyon Road and Alamo Street, yet it serves as a secondary entrance to the primary access directly across from the Simi Valley Freeway on- and off-ramps. As one of the projects thematic focal points, its landscaping should be cohesive with the other entry nodes using the same tree and plant types.

◆ **Alamo Street/Tapo Canyon Road Streetscape**

This portion of the Civic Center Plaza Design Guidelines is of importance as it will contribute to the direct design cohesion with the Civic Center located across the street on Alamo Street.

The existing landscape theme located westerly along Alamo Street will be continued herein. A six foot (6') high block wall will be located within the landscape easement to buffer and screen the rear yards of the adjoining residential units.

Colorful vines and shrubs will be planted to soften the wall and add variety and interest along the street. A meandering sidewalk and undulated mounds will complete the streetscape.

◆ **Landscape Streetscape Interface**

Trees planted on the project site will be evergreen varieties to buffer the residential and commercial project from freeway views as well as from each other. As depicted on Figures 9, Conceptual Landscape Plan and Figures 14-17, Streetscape Exhibits, project theme trees will be used along with screen walls to provide a transition between uses. Depicted in these exhibits are several streetscape conditions including transitions between differing residential densities, circulation routes and land uses, and uses which are closest to the Simi Valley Freeway (118).

Flowering vines shall be installed on solid screen walls to soften the hard lines. Diverse varieties of flowering shrubs and appropriate ground covers will be the planting theme of the development.

◆ **Commercial Landscape Concept**

Landscaping will play a major role in views of the commercial center from Tapo Canyon Road and Alamo Street. Earth berms will minimize views of the parking areas adjacent to the road, while still allowing the buildings to be seen from the road. The masses of the various buildings in the center will be divided so as to be in human scale and not to appear monolithic. Through the rhythm that will be created by the interaction of landscaping, buildings and landscaped parking areas, no one element will dominate views from both streets and a varied visual image will result.

The rear of the commercial center will be screened from view of the residential development to the west through the use of six-foot high masonry wall. The architecture of the wall shall be complimentary to the building design, and will be softened with landscaping.

The planting setback areas will create a layered effect of ground cover, shrubs and trees to soften building facades, screen utilities and vehicular circulation and accent entries.

Planting in the parking area shall consist of landscape planters, fingers and tree wells pursuant to the *City of Simi Valley Development Code*. These landscape planters shall consist of random masses of trees in a mix of varieties to complement the adjoining commercial and Civic Center uses. Trees are to be well distributed in parking areas to create a canopy of shade and to screen views from residential units. Shrubs, earth mounding, and decorative walls shall be used to soften the parking lot appearance and interrupt headlight glare as viewed from adjoining streets.

♦ **Residential Landscape Concept**

There are two density types of housing being proposed; medium density residential and moderate density residential. Distinctive tree species will define the villages and differentiate the densities. The street tree themes for the units will be selected utilizing the City's guidelines. Tree groupings within the residential project shall be placed informally. Deciduous and evergreen trees of various species will be located throughout the development to provide interest and diversity throughout the seasons. The evergreen trees will also provide screening and privacy. (See Figures 14-19.)

The proposed residential element of the project will have a greater latitude to create an independent village scene through the placement of trees. Flowering trees will be located at intersections, as focal features. Large deciduous trees interspersed with evergreen and conifers will thread through the attached development to provide shade, solar access and a sense of community.

The planting in setback areas will create a layered effect of ground cover, shrubs and trees to soften building facades, screen utilities and vehicular circulation and accent entries.

◆ **Landscape Maintenance**

IRRIGATION

All areas requiring landscaping should be irrigated with a permanent automatic irrigation system to ensure proper plant growth. The irrigation system should be designed to separate turf areas from shrub areas so as not to irrigate shrubs, ground cover and lawn simultaneously.

The landscape irrigation system should be designed and operated to prevent or minimize run-off and discharge of irrigation water onto roadways, driveways, adjacent properties and any area not under control of the user.

The irrigation system should be monitored so that the precipitation rate does not exceed the water infiltration capabilities of the soil and meets the peak moisture demands of all plant materials used within landscaped areas.

Areas of separate maintenance responsibility should be controlled by separate water meters and irrigation controllers and/or separate control valves.

Clocks for common open space areas should be programmed for the most efficient time and frequency of watering. Tensiometers should be strategically placed and should override controllers should the area be too wet.

Approved backflow prevention devices should be installed to service all sprinkler irrigation systems.

MAINTENANCE

The overall aesthetic effect of the landscape shall be an evergreen thriving plant community. Each property owner shall provide continuous maintenance for all planted and hardscape areas within the site, keeping them free and clear of weeds, debris, rubbish and in a neat and clean condition. All owners will be required to maintain plant materials in a thriving condition

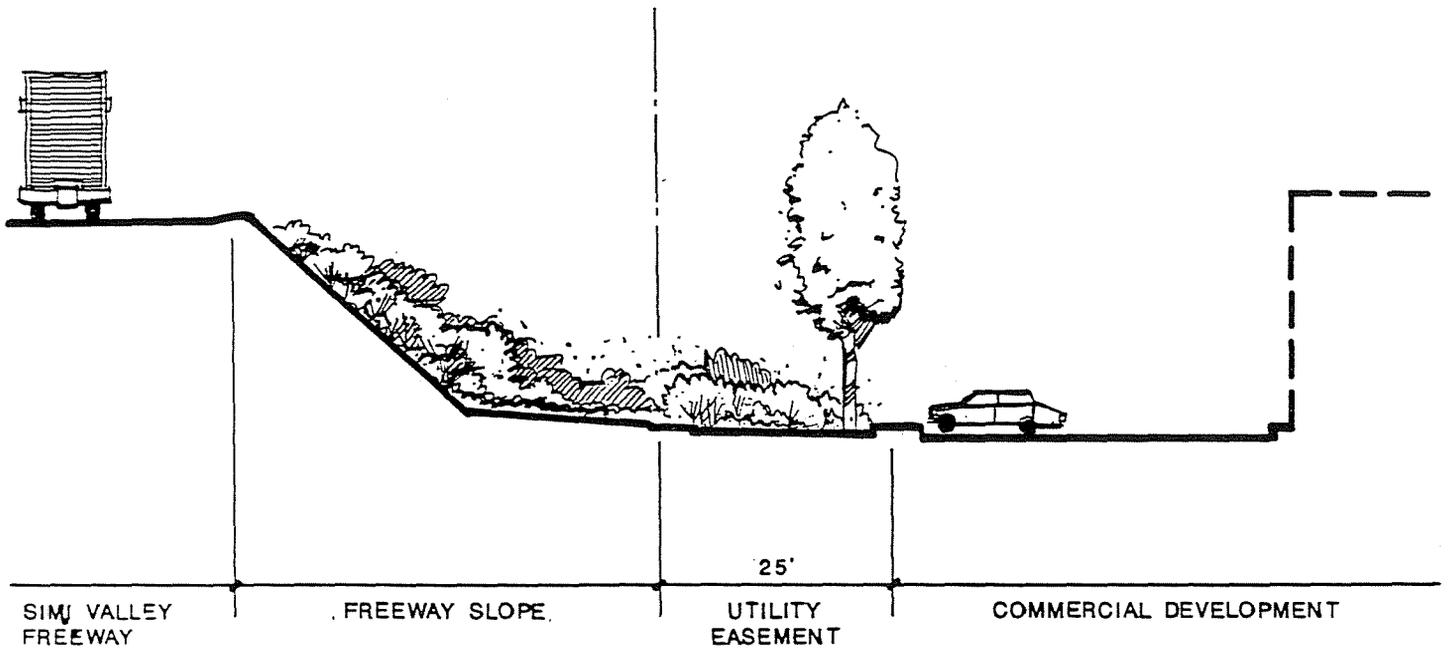
of growth by practicing proper agricultural techniques of pruning, pest control, and fertilization.

Individual property owners and homeowners associations are strongly encouraged to maintain plant materials in a thriving condition by practicing proper agricultural techniques of pruning, pest control and fertilization. Palms should be skinned periodically as necessary.

Until maintenance responsibility is transferred to a CSA, or Homeowners Association, the Master Developers shall repair and maintain all landscaped parkways and medians. This maintenance should include the replacement of landscaping, pavement, and lighting (if necessary), and keeping the area free and clear of weeds, debris and rubbish.

◆ **Tree Preservation**

The removal of any mature trees shall be mitigated by the upgrading of the size of tree plantings up to the value of the trees removed from the site. The applicant shall be responsible for the maintenance and survival of all replacement trees for a period of one year following their installation.



SECTION A-A

CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

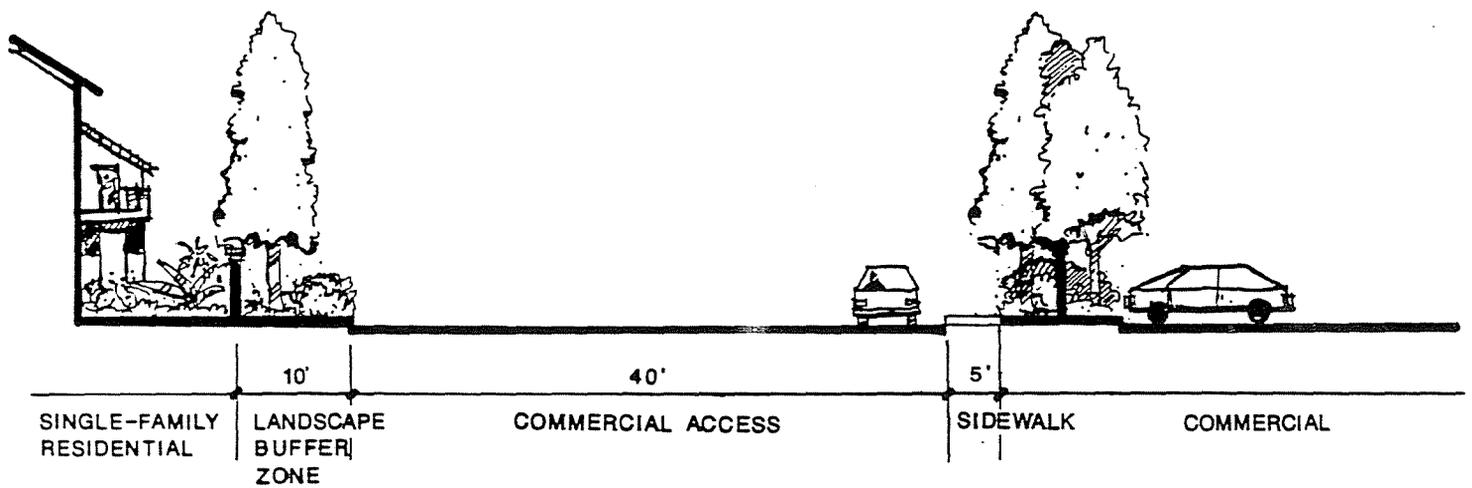
Commercial/Freeway
 Land Use Interface

Civic Center Plaza
Simi Valley

FIGURE 14



TURRINI & BRINK
 Planning Consultants
 1242 HALLADAY SUITE 100
 SANTA ANA, CALIF. 92705 (714) 442-2772
 7220 TRAHN STREET SUITE 102
 SAN DIEGO, CALIF. 92121 (619) 566-9995



SECTION B-B

CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

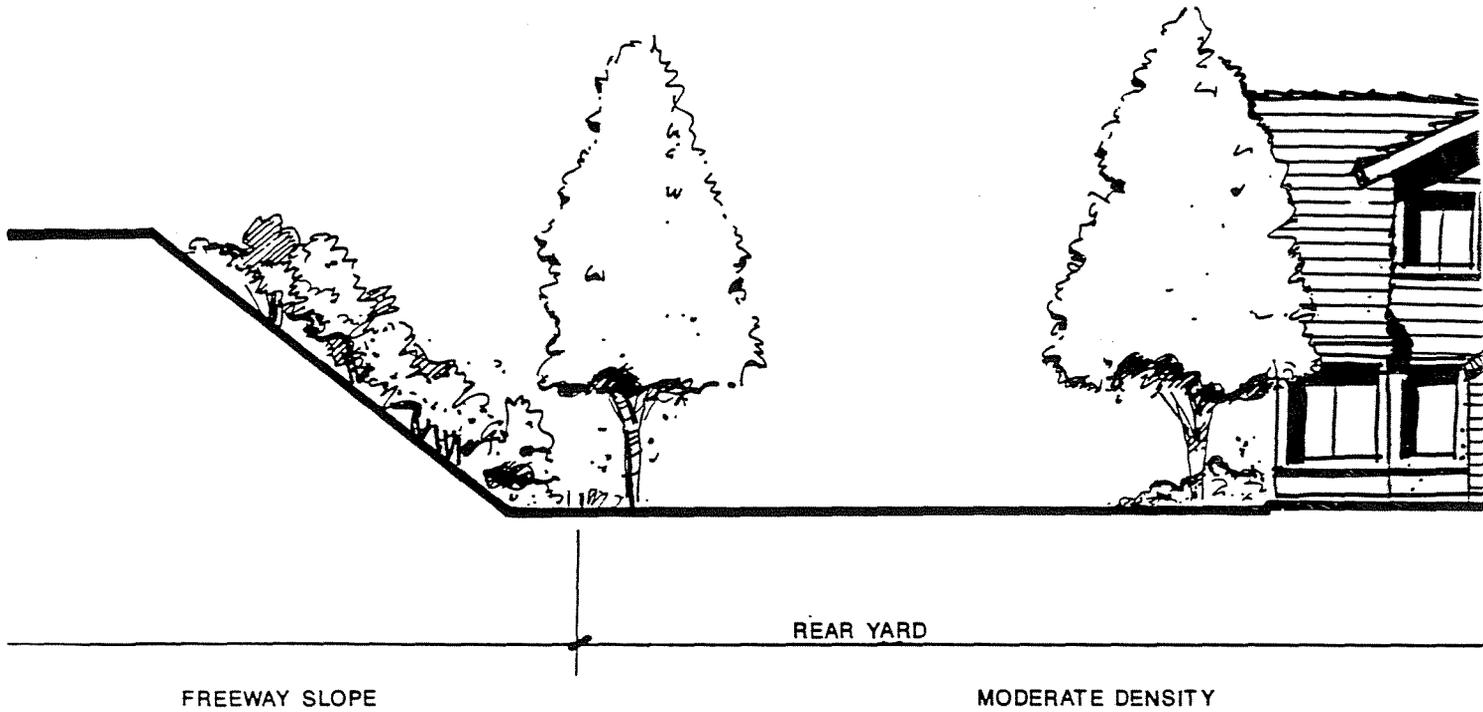
Commercial/Residential
 Land Use Interface

Civic Center Plaza
Simi Valley

FIGURE 15



TURRINI & BRINK
 Planning Consultants
 1241 HILLWAY SUITE 300
 SANTA ANA CALIF 92705-1781 FAX 2772
 7220 TRADE STREET SUITE 102
 SAN DIEGO CALIF 92121-6906 FAX 5405



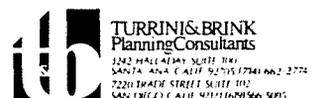
SECTION C-C

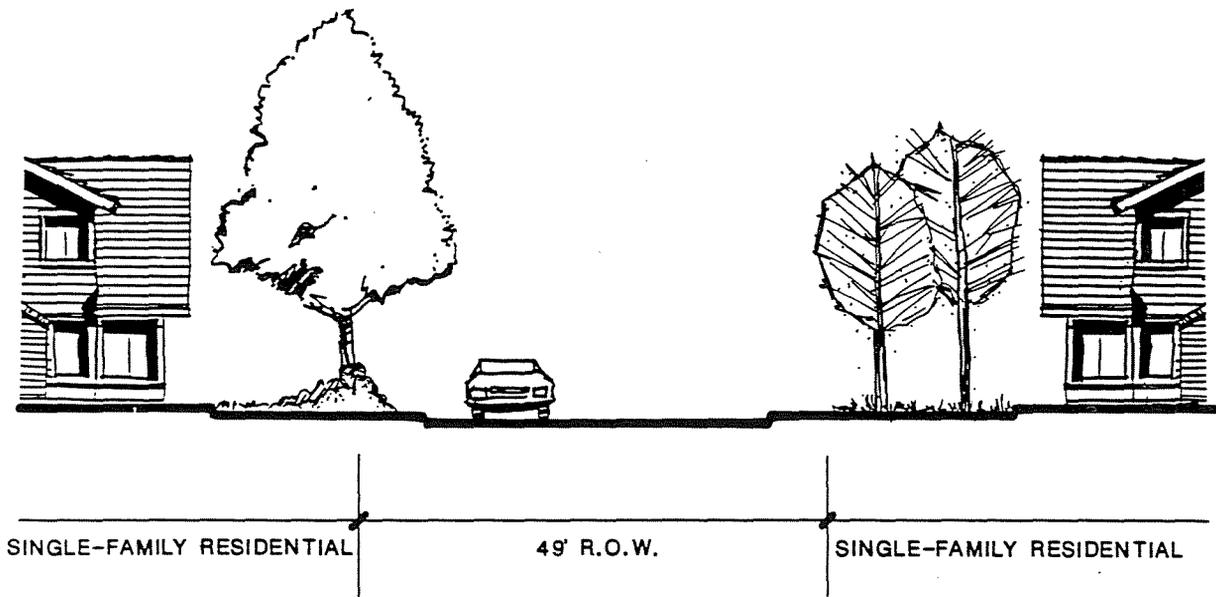
CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

Residential/Freeway
 Land Use Interface

Civic Center Plaza
Simi Valley

FIGURE 16





SECTION D-D

CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES.
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

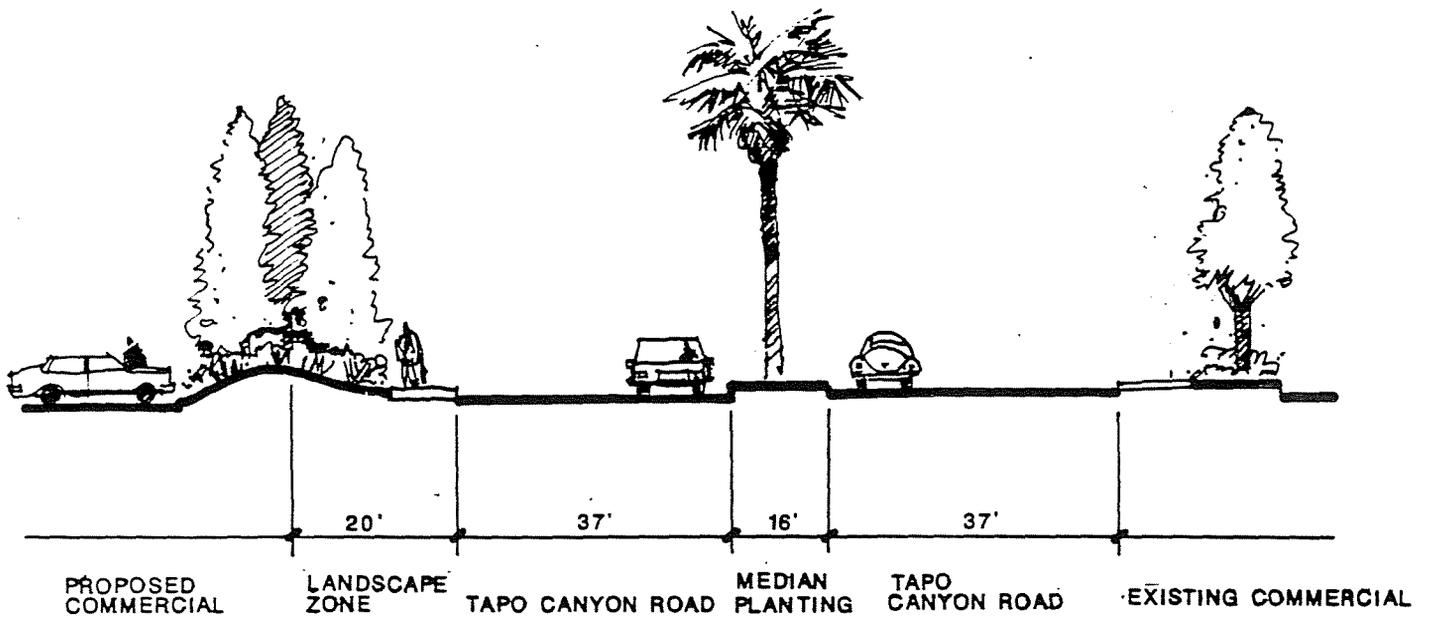
Typical Residential
 Streetscape Treatment

Civic Center Plaza
Simi Valley

FIGURE 17



TURRINI & BRINK
 Planning Consultants
 1347 HENSLER WAY, #100
 SANTA ANA, CALIF. 92705 (714) 662-2774
 7220 TRADE STREET, SUITE 302
 SAN DIEGO, CALIF. 92121 (619) 444-4495



SECTION E-E

CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

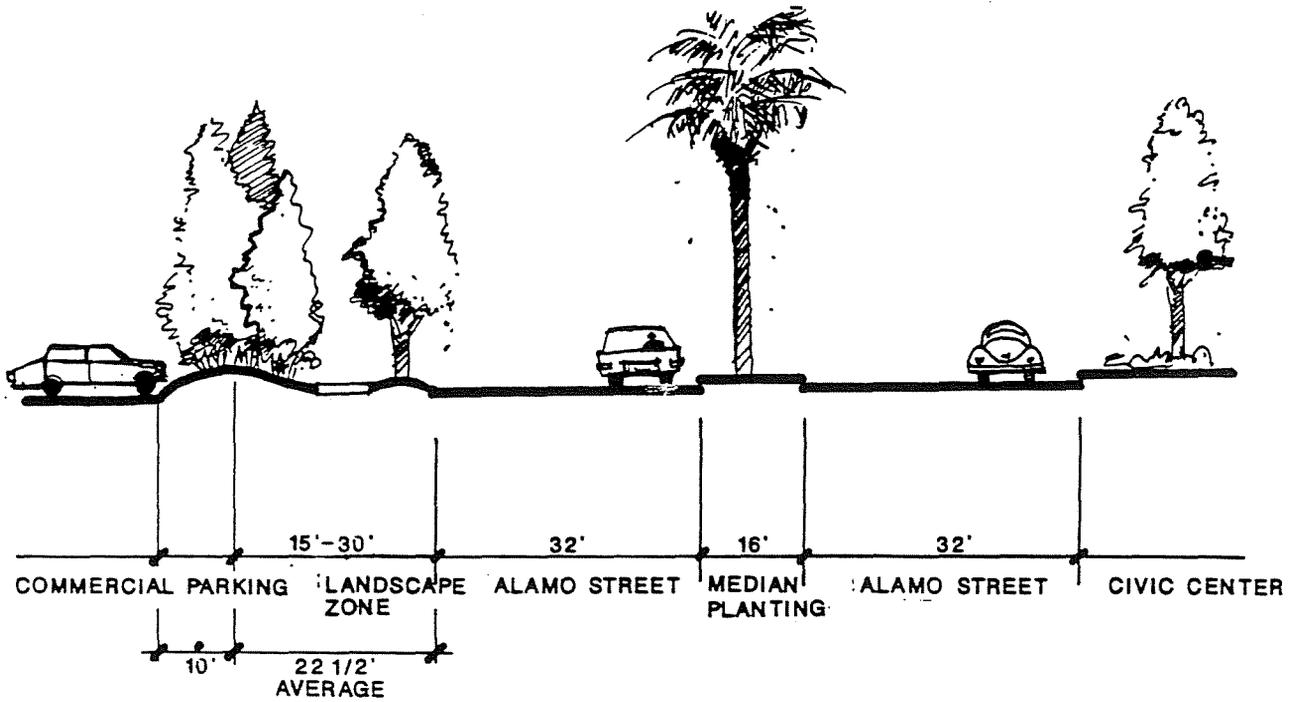
Typical Landscape
 Street Cross Section

Civic Center Plaza
Simi Valley

FIGURE 18



TURRINI & BRINK
 Planning Consultants
 1243 HALLGATE SUITE 300
 SANTA ANA, CALIF. 92705 (714) 662-2724
 7220 TRAVIS STREET SUITE 112
 SAN DIEGO, CALIF. 92121 (619) 566-9197



SECTION F-F

CONCEPTUAL GRAPHICS REPRESENTATION
 NOT FOR ADOPTION PURPOSES
 DETAILED LANDSCAPING TO BE
 DETERMINED AT TIME OF PD SUBMISSION

Typical Landscape
 Street Cross Section

Civic Center Plaza
Simi Valley

FIGURE 19



TURRINI & BRINK
 Planning Consultants
 1182 HALL MEYER SUITE 700
 SANTA ANA CALIF 92705 (714) 662-2774
 7220 TRADE STREET SUITE 302
 SAN DIEGO CALIF 92121 (619) 566-5995

4.2 Architectural Guidelines

4.2.1 Introduction

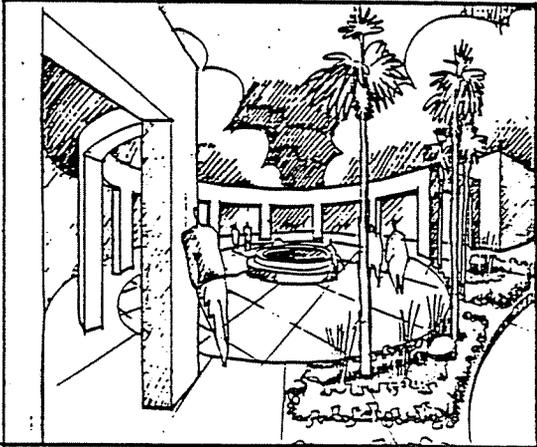
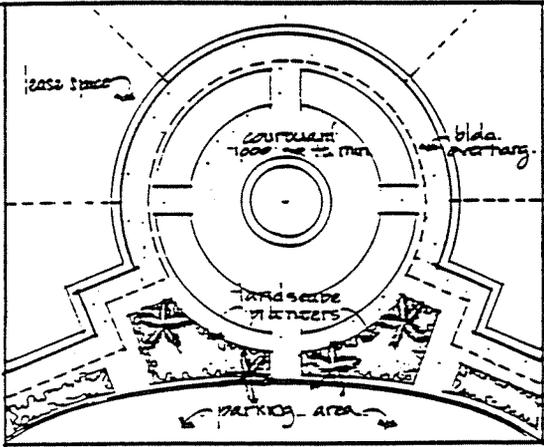
This section sets forth the overall residential and commercial architectural guidelines for the Civic Center Plaza Specific Plan. All buildings within the Civic Center Plaza shall be designed in a contemporary character in keeping with the theme established by the Civic Center complex. The goal is to promote an overall complementary character of development providing for a warm and enriching environment to its residents and users.

All buildings within the Specific Plan boundary shall match a specific selected and approved building style, allowing variations within the style to create special visual interests.

4.2.2 Commercial Guidelines

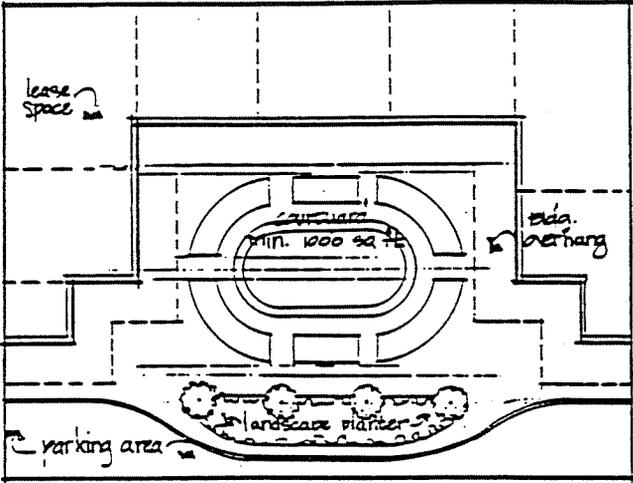
Civic Center Plaza will offer an attractive architectural environment that will encourage strolling, window shopping and pausing to relax at shaded seating clusters. The various buildings that make up the center can be joined together by covered walkways sheltering pedestrians and conveying a human-scale feeling through landscaped plazas and colonnades. Through this architectural treatment, which will be low profile and set off by open space, a rural character will be established for the center. Buildings will be of a contemporary nature employing layout, scale and proportion to achieve a coordinated, visually pleasing design effect.

The Commercial portion of the project shall be designed to create "courtyards" for the exclusive use by pedestrians. these courtyards shall provide a minimum of 1,000 square feet exclusive of building overhangs and parking areas. The courtyards may incorporate seating and/or overhead shade structures.

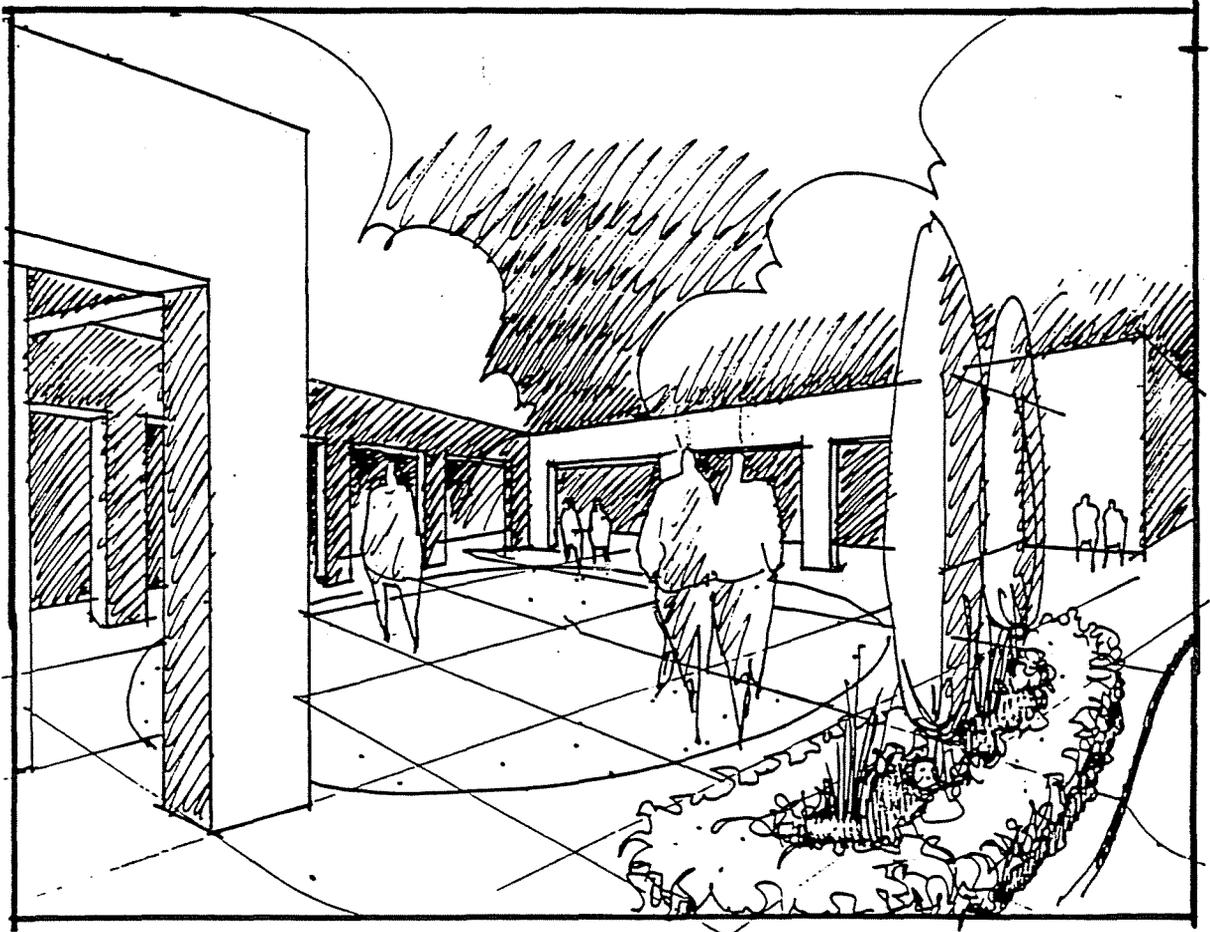


There shall be a minimum of two such areas within the commercial center.

Due to the nature of tenants housed with the leased spaces around the courtyards, the stores shall be designed and oriented to allow visibility of storefronts or signage as viewed from the street right-of-ways, major parking areas and courtyards. (The intent is to preclude the visibility of any of the rear doors or any other not aesthetically pleasing aspect of the building as viewed from the courtyards.)



Courtyards shall be separated from parking areas by the use of significant landscaped and concrete bollards.



Design details and features will be utilized that will create a visual-prominent character and feeling to the retail center. Compatibility with the residential portion of the project will be emphasized first and foremost.

The contemporary architectural theme will be enhanced by the use of strong unifying elements such as colonnades, roofs and uncluttered detailing. Massing and proportioning will provide a pleasant ambiance for the shopper. Materials shall consist of painted metal roofs, plaster, masonry

and the limited use of metal. Accent materials such as ceramic tile will be used creatively, but sparingly. Colors will be chosen to complement the materials used, and enhance the surrounding environment. The project team will work closely with the City Planning staff in developing the architectural vocabulary of the project.

Building heights for single-story structures shall not exceed twenty-six feet (26'). Single-story structures with mezzanines shall be permitted, with a height not to exceed thirty-six feet (36'). Architectural elements are not to exceed forty-two feet (42').

4.2.2.a Parking Area Design

The arrangement of, access to and basic design requirements of all off-street parking areas shall conform to the Development Standards for the *City of Simi Valley*. Clearly marked handicapped parking spaces shall be provided in accordance with State and City requirements.

- 1) Provision of one set of bicycle racks (with locking apparatus and containing from five to six stalls each) for each anchor store in the commercial area.
- 2) Provision of 25% compact car parking stalls with dimensions of not less than 7-1/2 feet by 15 feet.
- 3) Provisions of a separate and clearly marked motorcycle parking area.

4.2.2.b Walls and Fences

- 1) There is a minimal need for the use of walls and fences on-site and, in general, walls and fences are encouraged only as a method of screening when landscaping alone would not be sufficient.

- 2) Walls shall be constructed of decorative masonry or concrete materials with a decorative cap and other features consistent with, and complementary to, building materials.
- 3) Open-style, non-required screen fencing shall be restricted to ornamental iron and decorative block. Open-style fencing shall not be used for screening purposes. "Chain-link" fencing shall be prohibited.

4.2.2.c Signage

All signs will be coordinated in terms of materials, design and lighting to provide an attractive whole which is complementary to the design of the center. A master sign program shall be submitted and approved by the *City of Simi Valley*. Signs shall be used for the purpose of identification and direction. The design of signs shall be in accordance with the City of Simi Valley Sign Ordinance. The free-standing signs, however, shall be a maximum of forty (40) square feet in sign area and not exceeding a height of eight feet (8').

4.2.3 Residential Guidelines

The architectural theme for the Civic Center Plaza residential community will have a distinctive identity, expressing a thoughtful integration of building structures and the natural environment. The theme will be based on a distinctive Southern California vernacular which has evolved over time, being shaped by the cultural and climatic influences of the region.

Southern California vernacular architecture can be characterized by strong unifying elements such as concrete tile roofs, simple and uncluttered detailing, conveying a sense of solidity and permanence. These forms and materials traditionally provide a response to the need to provide shelter from the sun with walls insulated and light colors for reflection. The result

is a structure both visual and functionally enduring which responds to the climate and culture of the Southern California environment.

This section characterizes the building materials and forms which are expressive of the intended architecture. Architectural elements are defined as appropriate (required, encouraged, permitted), and discretionary (limited use), as determined by the Developer.

It is the intent of these guidelines to create a consistent architectural theme for the Civic Center Plaza residential community, while allowing for flexibility of design expression.

4.2.3.a Building Heights and Setbacks

- 1) Building faces (particularly front elevation planes) shall be varied in placement, size and material to avoid visual monotony, and to create interest and human scale.
- 2) Architectural articulation of building faces and roof planes shall be accomplished through the introduction of sub-elements such as projections, dormers, roof ridge jobs, roof overhangs, building face trims, recessed doorway, bay windows, or entry courts.
- 3) Units should maintain complementary profiles at street fronts and boundary edges.
- 4) The single family residences along the western perimeter shall be oriented so that they match those of existing residences to the west in terms of type of yard (rear or side), setback depth, and area of existing residences provided said residences comply with minimum Simi Valley Zoning Code requirements.

4.2.3.b Roof Pitches and Materials

- 1) The predominate roof forms shall be hip, gable or shed with pitches from 4:12 to 7:12. Roof projections and overhangs are encouraged as a response to energy and climatic concerns.
- 2) All pitched roof materials shall be concrete tile, to ensure a continuity of textures and colors. Flat roof areas shall have a gravel surface or other approved roof material and shall blend in color with the main roof.
- 3) Low maintenance details, limiting the amount of exposed wood, are encouraged.

4.2.3.c Exterior Materials and Colors

- 1) Exterior building materials shall be of natural materials which are compatible with and reflect the elements of the surrounding natural environment. This includes wood, masonry, adobe, concrete and plaster or stucco. Exposed sheathing shall be limited to the underside of roof or patio decks. Exterior plaster or stucco will have a smooth, sand, or other Mediterranean or Spanish finish texture.
- 2) Complimentary accent materials and colors are allowed and encouraged. Wood trim shall be stained with semi-transparent stain or painted as accents. The crisp, clean and simple use of tile, brick, stone, masonry or pre-cast concrete are permitted as design accents and trim.
- 3) Color is intended as a primary theme element reflecting the nuances of the indigenous elements of the natural environment. The values should generally be light, with darker or lighter accents, encouraged to highlight the character of the structure, particularly in respect to balcony rails, awnings, inlaid tile bands and cornice bands. All

accents must relate to the architectural form and character of the building.

- 4) Prohibited materials include vinyl or aluminum siding, rustic materials used as primary wall surfaces and dark earthtone colors.

4.2.3.d Windows and Doors

- 1) Recessed door, window and wall openings are characteristic elements of the intended architectural style of Civic Center Plaza Homes and are encouraged, although plaster projections and projecting windows may be used to add articulation to wall surfaces.
- 2) Anticipated architectural styles of accent trim of wood, brick or plaster tile and divided window lites in dark or white frames are encouraged.
- 3) The use of many different styles of windows on one building plane shall not be permitted. However, accent windows having different or articulated shapes (e.g. rounded, diamond and/or with contrasting moldings) or with a finer texture (e.g. many small panes) and rectangular and arched openings may be used to create interest on building elevations.

4.2.3.e Balconies and Garage Doors

- 1) The use of balconies or porches is encouraged. Balconies should be incorporated into the building form to articulate and break up large wall masses. The shade producing qualities of balconies and porches is an important element of the intended style. Simple, clean, projections are encouraged with accent trim of tile or wood permitted. Wood or wrought iron or plastered balconies are permitted.
- 2) To avoid the dominance and repetitiveness of garage doors on the streetscene, ornamentation is encouraged. Design treatments should

relate to the architecture and provide visual variety along the streetscape. Treatments may include color accents and architectural features such as pediments, molding, small roofs overhangs and projections to recess the garage door.

4.2.3.f Chimneys

- 1) As an architectural form, chimneys shall be simple in design, having the same material and texture as the building, to ensure the consistency of character and style. Chimney caps may repeat the fascia cornice band treatment integrating the trim colors.

4.2.3.g Private Walls and Fences

- 1) Private fences and walls are encouraged to provide security, privacy and landscape definition in both commercial and residential areas. Wall treatments along Aiama Street and walls separating the commercial area from the residential shall be consistent in treatment.
- 2) Private fences and walls within the residential area may be solid slumpstone, or semi-transparent walls such as wrought iron grilles between slumpstone pilasters.
- 3) Plant materials, including vines and espaliered trees, may be used to visually soften garden walls. Refer to landscape section for additional design criteria in wall treatment.

4.2.3.h Mailboxes

- 1) Mailboxes in residential neighborhoods should be set into a plaster, masonry, wrought iron or wood post and detailed to contribute to the overall community theme.

4.2.3.i Residential Building Details

- 1) ***Mechanical Equipment:*** All air conditioning/heating equipment and soft water tanks must be screened from public view.
- 2) ***Antennas:*** All antennas are restricted to the present governing codes.
- 3) ***Accessory Structures:*** Patio trellises, pergolas and other exterior structures shall be constructed as permitted by governing codes, with finishes complying with the approved material and color palette.
- 4) ***Flashing and Sheet Metal:*** All exposed metals, flashing and sheet metal shall be painted to match adjacent building surface.

4.2.3.j Special Area Treatment

Units adjacent to the adjoining westerly residential area boundary require additional treatment. The following techniques and treatments shall be used to soften the architecture edge at this boundary.

- 1) Building heights shall maintain a low profile through a combination of primarily one-story elements and varied floor setbacks at the second story.
- 2) To lower the apparent height, second story rooms may be tucked into roof planes and roofs may be clipped at the sides and corners of the buildings.
- 3) The units' rear yards shall be placed against the adjoining westerly units' rear yard wherever possible. Placing side yards against the adjoining units' rear yards shall be discouraged.

4.2.3.k Sound Attenuation

Construction of sound walls where appropriate shall be located between the residential areas and State Route 118 to minimize freeway-oriented noise impacts. With the cooperation of CalTrans, a wall six to ten feet (6'-10') high shall be constructed at the top-of-slope of the site and two hundred \pm feet (200 \pm ') to the west along the freeway, and the freeway on-ramp bordering the site in order to minimize noise flanking. The wall shall be built to CalTrans standards and shall be a continuous structure without gaps or gates and shall be constructed of a material that is impervious to noise.

If CalTrans does not approve the wall on the freeway and it is therefore not constructed, the residential units bordering the freeway shall be oriented so that all exterior living spaces (i.e., outside rearyard areas) are on the opposite side of the building from the freeway. No windows or doors, other than garage doors, shall be oriented towards the freeway. In addition, wing walls may be required between the buildings to mitigate flanking noise.

4.2.3.l Other Sound Attenuation Measures

- 1) To mitigate traffic noise impacts on the residential area along Alamo Street, a sound wall having a minimum height of six feet (6') shall be required. The wall shall be placed along the southern limits of the enriched parkway.
- 2) To protect the exterior living spaces (outside rear yard areas) from noise flanking around the barriers, the wall recommended in "1)" shall be extended perpendicular to Alamo Street, as needed, between lots and roadway entrances.
- 3) All sound walls shall be continuous structures without gaps, wrought iron sections or gates and shall be constructed of a material that is impervious to noise.

- 4) Residential and commercial interior noise control shall be mitigated as outlined in the EIR, beginning on page 4-32 and ending on page 4-33.
- 5) Section 4.2.3.k shall be stated as conditions on all grading permits for the project.

5.0 Plan Implementation

This section of the Civic Center Plaza Specific Plan discusses the manner in which the development of the Civic Center Plaza project will be administered over the period of construction and in the future as the Civic Center Plaza becomes a viable commercial/residential land use within the City. In general terms, the provisions of the Specific Plan will be implemented through the normal administrative and development review procedures contained in the *City of Simi Valley Zoning Ordinance* and *Subdivision Ordinance*. Additional modifications may be dealt with through a possible development agreement between the City Planning Department and the project applicants.

In addition, Specific Plans along with all other policy documents can be amended in order to take into consideration new growth or land use regulation values which the City staff or citizens may adopt due to changing economic or socio-political trends. This section will discuss these issues.

5.1 Specific Plan Zoning

The Civic Center Plaza Specific Plan does not propose to amend the City's General Plan designations currently given to the project site. The Specific Plan, if approved, will constitute new specific regulations and development goals for the property. The proposed uses are as follows:

- Commercial and Medical Office: CPD (SP)
- Medium Density: RM (SP)
- Moderate Density: RMOD (SP)

These zoning designations reflect the maximum units, square footage, land use permitted and development standards, as described in Figure 3, Comprehensive Land Use Plan. Each zoning designation shall be suffixed by the identification number of this Specific Plan in order to provide ease of reference to future users.

5.2 Tentative Tract Maps

A Tentative Tract Map or Maps for residential developments shall be submitted to the *Department of Environmental Services of the City of Simi Valley* for distribution and review by affected City and County agencies. The *Department of Environmental Services Planning Division* shall present the Tentative Tract Map(s) at a public hearing to the Planning Commission for consideration of findings that the proposed Tentative Tract Map(s) comply with this Specific Plan. The Tentative Tract Map(s) shall also comply with all regulations from the Simi Valley Municipal Code, the Subdivision Map Act, and the California Environmental Quality Act.

Subsequent Final Tract Maps shall be processed to recordation with the County of Ventura Recorders Office, in accordance with the aforementioned regulations and codes.

5.3 Planned Development Permits

All development within the Specific Plan area shall be subject to filing, processing and issuance of a development permit or permits (Planned Development or Special Use Permit) pursuant to the Simi Valley Zoning Code. The development permit or permits shall be employed to set precise development standards for each project and precise conditions of approval, and to review consistency with the provisions of this Specific Plan.

The Planning Commission shall consider each development permit application within the Civic Center Plaza Specific Plan.

5.4 Amendments to the Specific Plan

Amendments to the Civic Center Plaza Specific Plan shall be in accordance with the provisions of California Government Code, Article 6, Sections 65350 through 65359. An amendment shall be required if any of the following occur:

1. A change in land use;

2. A change in the intensity or character of development;
3. An increase in the number of dwelling units; and/or
4. A change in any other provision, purpose or standard of this Specific Plan which would significantly alter the basic intent and concepts of this Specific Plan document.

5.5 Zone Changes

Application for development permits/ tract maps shall be accompanied with a change of zone request consistent with the land uses allowed by this Specific Plan.

5.6 Monitoring Plan

Upon approval of any planned development for the separate portions of the project, the following mitigation measures shall be implemented where applicable and shall be translated into conditions of project approval.

5.6.1 Drainage/Hydrology

- In order to prevent any increase in runoff from the site as a result of development, two (2) stormwater detention basins sufficient to detain runoff from a 100-year storm to the level of a 10-year storm will be constructed, one each in the residential and commercial portions of the project.
- The detention basin in the residential portion of the project shall be fenced entirely. Both basins shall be screened entirely, as determined by the Case Planner from all streets and residential areas.
- A storm drain facility, as identified by TAPO25 in the City Master Plan of Drainage, shall be constructed with this development.

Subdivision Engineering of the Department of Public Works shall check the final map prior to the recordation to determine that the detention basins and storm drain facility have been appropriately designed. The Department of Public Works shall be responsible for verifying that detention basins and storm drain facility have been constructed in accordance to approved plans. The case planner shall be responsible for reporting the completion of these improvements.

Maintenance of the detention basins shall be the responsibility of the commercial/business owners in the commercial and office portions of the project and that of the homeowners' association in the residential area.

5.6.2 Loss of Mature Trees

Pursuant to Section 9-1.1500, S.V.M.C., a Tree Removal Permit is required prior to removal of any mature tree on the project site. The removal of mature trees shall be mitigated by the upgrading of the trunk size of tree plantings by a dollar value up to the appraised value of the trees removed from the site. The applicant shall be responsible for the maintenance and survival of all replacement trees for a period of one year following their installation. The applicant shall submit a landscaping plan demonstrating where tree sizes will be upgraded to compensate for the loss of mature trees. The City's contract landscape architect shall verify the adequacy of the tree replacement plan and the case planner shall monitor execution thereof.

5.6.3 Traffic

- A traffic signal at Alamo Street/Street "A" - West Civic Center driveway intersection shall be installed. Until such time as a signal is installed, northbound traffic on Street "A" approaching Alamo Street shall be controlled by a "stop" sign.
- The West Alamo Commercial access driveway shall have a minimum curb-to-curb width of 40 feet to accommodate three travel lanes. The

channelization of the driveway shall be one 16-foot-wide lane for incoming vehicles and two 12-foot-wide lanes for outgoing vehicles.

- The South Tapo Canyon Road commercial access driveway opposite the SR-118 westbound off/on ramps shall have a curb -to-curb width of at least 50 feet to accommodate two entering and two exiting lanes. All movements except the eastbound straight movement shall be allowed (see Appendix C in the EIR for recommended channelization).
- Full-service driveways with all turning movements permitted shall be provided at the North Tapo Canyon Road commercial access driveway at a location aligned with, but not connected with, the Adam Road cul-de-sac, and at the intersection of Alamo Street/West Alamo commercial access driveway - East Civic Center driveway.
- The existing traffic signal at the Tapo Canyon Road/SR-118 westbound off/on ramps - Civic Center Plaza driveway intersection shall be modified to control traffic to and from the project driveway.

The case planner shall coordinate with the City's Traffic Engineer to verify that these improvements have been made prior to issuance of a certificate of occupancy on any of the proposed commercial structures or issuance of electrical clearances on any of the residential units.

5.6.4 Noise

- Construction within 350 feet of the western boundary of the site, including equipment warm-up, shall occur only between the hours of 7:00 a.m. to 7:00 p.m. and shall not occur on Sundays. Construction and maintenance of equipment in this area shall be confined to the same hours. In addition, no staging areas shall be located within this zone.

- Mufflers shall be provided for all heavy equipment and stationary noise sources (such as diesel generators) shall be located at least 350 feet from occupied residences.

These measures shall be incorporated into any conditions of approval for any grading permit issued. The Department of Public Works shall monitor these requirements. The case planner shall be responsible for reporting on completion of these items.

- With the cooperation of CalTrans, a wall 6 to 10 feet high shall be constructed at the top-of-slope along the freeway and on-ramp bordering the project site.

The wall shall be built to CalTrans standards, shall be a continuous structure without gaps or gates and shall be constructed of a material that is impervious to noise.

- If the freeway noise wall is not permitted by CalTrans and is therefore not installed, the buildings adjacent to the freeway shall be oriented so that all exterior living spaces are on the opposite side of the building from the freeway. In addition, depending on the layout of the buildings, wing walls may be needed between the buildings to mitigate flanking noise.
- In order to ensure a project design which complies with the City's interior L50 standards of 45dB(A)Leq, residential buildings adjacent to the freeway should incorporate the mitigation measures listed on pages 4-31 and 4-32 of the EIR.
- A noise reduction of as high as 31 dB(A) is needed in order to comply with the generally recognized noise standards for non-residential building construction. The commercial and office portions of the project should incorporate the mitigation measures listed on pages 4-32 and 4-33 in the EIR.

The Department of Environmental Services shall monitor the implementation of these mitigation measures prior to electrical release on any of the residential units abutting the freeway.

5.6.5 Air Quality

Short-term construction-generated emissions would be reduced through adherence to mandatory dust control measures required by the APCD and City for construction activities within the Oxnard Plain Airshed. These mitigation measures include:

- Compliance with the City's grading ordinance for dust control.
- Frequent watering of disturbed areas and unpaved access roads shall be performed as necessary, and the use of a dust inhibitor shall be used where appropriate. Petroleum-based dust palliatives shall meet the road oil requirements of the Ventura County APCD Rule 74.4, Cutback Asphalt.
- Construction areas shall be landscaped or paved as soon as feasible in order to reestablish cover on exposed earth, thus minimizing dust generation.
- Streets adjacent to the project shall be swept as needed to remove silt, which may have accumulated from construction activities, so as to remove excessive amounts of dust.

These measures shall be conditions of approval of any grading plan and shall be monitored by the Department of Public Works and reported on by the case planner during the construction phase of the project.

Due to the significant level of emissions anticipated to be generated by project development (primarily through vehicular emissions), mitigation for long-term emissions is also required. A contribution of \$69,402.65 shall be used to implement some of the following mitigation measures:

- *Areawide Carpooling and Vanpooling.*

Areawide carpooling is defined as providing ridesharing and promotional activities for individual commuters rather than those serviced at their worksite. This measure contains the recommendation that areawide carpooling be improved by using direct mail to a greater degree, using more personalized calling, targeting multi-employer office development, and targeting new residential communities. The measure would be implemented by the Project Developers in cooperation with Commuter Transportation Services (CTS).

- *Funding CTS Field Operations (applicable to commercial and residential projects).*

This measure reduces emissions by funding CTS field operations. The monetary contribution will be commensurate with the amount of emission reductions needed from the project. This measure would be applicable to developments where the majority of emissions are not employee generated.

- A fiscal contribution to Simi Valley Transit.
- *Parking Controls.*

This measure contains the recommendation that all new and existing industrial, commercial office and institutional developments with 100 or more employees per tenant in which a revised entitlement is sought have a parking management program to encourage employee ridesharing. The parking management plan shall include a minimum provision that at least 10 percent of the available on-site parking be set aside for preferential parking of carpools and vanpools. The measure would be implemented through the City and County land use planning and zoning administration functions.

- By January 1, 1992, employers of 50 or more employees would be required to implement a trip reduction program, per Rule 210 of the Ventura County APCD.
- *Bicycle Lanes and Storage Facilities.*

Experience in other areas indicates that provision of bicycle lanes and storage facilities increases the percentage of trips made by bicycle. This measure describes actions which can be taken by major employers, transit districts and developers of shopping areas to encourage the use of bicycles. These include providing secure bicycle storage, route maps and showers.

These measures shall be incorporated into conditions of approval for any Planned Development permit and shall be monitored by the Department of Environmental Services.

5.6.6 Design/Neighborhood Interface

- Extensive landscaping buffers, a solid masonry wall, and controlled lighting shall be placed between the commercial and residential portions of the project in order to reduce any potential interface impacts to a level of insignificance. These design elements shall be incorporated into any planned development permit applications filed.

These measures shall be monitored by the Department of Environmental Services.