

DOUGLAS RANCH SPECIFIC PLAN

Submitted by:

Mt. Sinai Memorial-Park

to the

City of Simi Valley

Adopted March 25, 1996

Contacts:

**Bob Levonian, LCB Associates
(818)242-4109**

**Elaine Freeman, Urban Strategies
(805) 494-1336**

Prepared by:

Impact Sciences, Inc.

In Association with:

**Urban Strategies
The Haaland Group
LCB Associates**

DOUGLAS RANCH SPECIFIC PLAN

Table of Contents

Section	Page
1.0 Introduction	
1.1 Purpose of Specific Plan.....	1
1.2 Authority for Specific Plans.....	2
1.3 Project Location.....	2
1.4 Organization and Content.....	2
2.0 Specific Plan Concept	
2.1 Goals	5
2.2 Land Use Concept.....	5
2.3 Relationship to State Law and General Plan.....	9
3.0 Land Use Plan	
3.1 Land Use Categories.....	23
3.2 Memorial Park.....	24
3.3 Residential.....	27
3.4 Open Space and Recreation.....	29
4.0 Site Development and Infrastructure Plan	
4.1 Circulation Master Plan.....	33
4.2 Drainage Master Plan	41
4.3 Water Master Plan.....	43
4.4 Sewer Master Plan	45
4.5 Other Utilities.....	47
5.0 Design Standards	
5.1 Specific Plan Area	49
5.2 Memorial Park.....	53
5.3 Residential.....	56
6.0 Implementation	
6.1 Project Review and Permit Procedures	59
6.2 Infrastructure Requirements.....	60
6.3 Specific Plan Amendment Procedures	72
6.4 Financing.....	72
6.5 Mitigation Monitoring Program	72

Appendices (under separate cover)

Hydrology Study
Sewer Study
Spring Biological Surveys

Geotechnical Study
Wetlands Study

Water Study
Tree Report

List of Exhibits

Exhibit	Page
Exhibit 1	Location Map.....3
Exhibit 2	Planning Units7
Exhibit 3	Drainage Facilities, Wetland Impacts and Mitigation Areas 10
Exhibit 4	Memorial-Park Planning Features 25
Exhibit 5	Slope and Prominent Ridgelines Map..... 26
Exhibit 6	Trail System..... 31
Exhibit 7	Circulation Master Plan 34
Exhibit 8	Street Cross-Sections..... 35
Exhibit 9	Location of Road Easements..... 38
Exhibit 10	Location of Entry Gates..... 39
Exhibit 11	Drainage Master Plan 42
Exhibit 12	Water Master Plan..... 44
Exhibit 13	Sewer Master Plan 46
Exhibit 14	Slope Map for Memorial-Park..... 55
Exhibit 15	Memorial-Park Slope Impacts..... 57
Exhibit 16	Infrastructure Improvements Required for Development of Planning Unit 1..... 63
Exhibit 17	Infrastructure Improvements Required for Development of Planning Unit 2..... 65
Exhibit 18	Infrastructure Improvements Required for Development of Planning Unit 3..... 67
Exhibit 19	Infrastructure Improvements Required for Development of Planning Unit 4..... 69
Exhibit 20	Infrastructure Improvements Required for Development of Planning Unit 5..... 71

List of Tables

Table	Page
Table 1	Land Use Mix..... 23
Table 2	General Plan Land Uses..... 23
Table 3	Residential Density Slope Analysis 27

1.0 INTRODUCTION

1.1 Purpose of Specific Plan

This Specific Plan provides the framework for the future planning and development of the Douglas Ranch and Crawford Properties. This Specific Plan is based on a General Plan Amendment (GPA-18) approved for the Douglas Ranch Property by the Simi Valley City Council on October 3, 1994.

The amended General Plan depicts the development of residential and open space uses on the Douglas Ranch. The open space uses include parks, natural open space and a cemetery. General Plan Appendix B defines the overall mix of land uses allowed on the property by type and amount, as well as the overall goals for the planning of the property.

The Douglas Ranch is one of several areas in the City of Simi Valley identified in the General Plan for special treatment through a Specific Plan. Specific Plans are a flexible planning tool appropriate for use when an area has unique characteristics that require a more detailed level of planning than that provided by the General Plan. Among other reasons, the General Plan indicates that a Specific Plan is needed when a large vacant area is planned for a wide variety of specific land uses. In this case, an overall circulation pattern and certain design features should be defined before any one portion of the property is developed.

In addition, the Specific Plan can include special development standards to cover items not addressed by the City of Simi Valley Development Code.

After the Douglas Ranch Specific Plan is reviewed and adopted by the City, more precise plans for individual planning units within the area covered by the plan will be

defined through the City's Planned Development and Special Use Permit processes. Subsequent land subdivision maps will also be processed for the individual planning units.

By serving these purposes, the Douglas Ranch Specific Plan provides an intermediate step in the City's planning process.

1.2 Authority for Specific Plans The authority to require Specific Plans is granted by California State Law, as found in the 1992 California Planning Zoning and Development Laws (Government Code Sections 65450 through 65457) and the Simi Valley Municipal Code (Section 9-1.1701 et seq.). The required content of a Specific Plan, as defined in Section 65451 of the California Government Code.

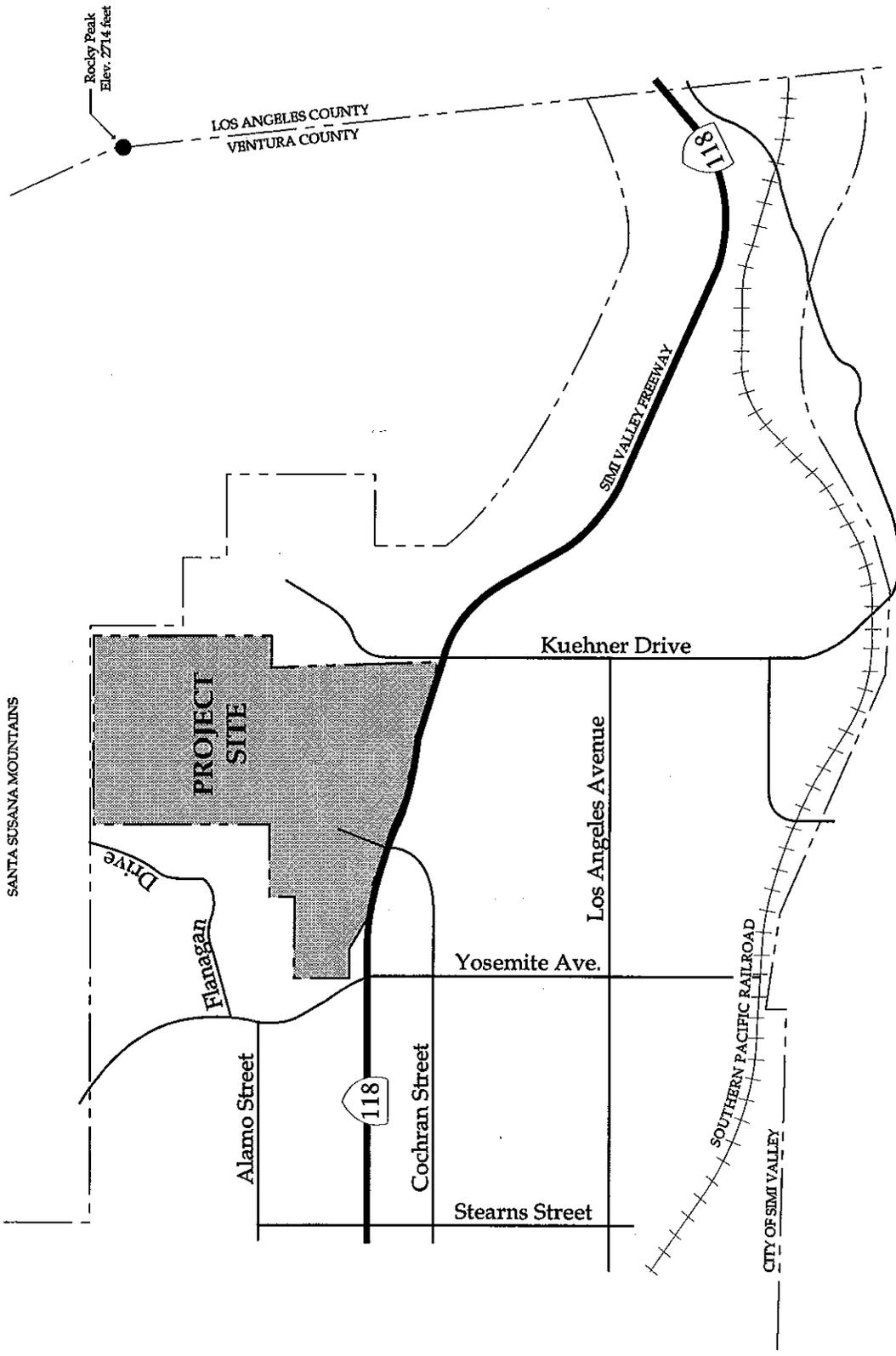
1.3 Project Location Douglas Ranch is located immediately north of the Simi Valley Freeway (SR 118) between Yosemite Avenue and Kuehner Drive as shown in the location map in Exhibit 1.

1.4 Organization and Content The Douglas Ranch Specific Plan is organized into six main sections, including this introduction. The title and contents of these sections are briefly described below:

2.0 Specific Plan Concept - discusses the goals of the plan, the land use concepts for the planning units in the plan area, the sequence of development allowed by the plan, and the relationship of the plan to the requirements of State Law and the General Plan.

3.0 Land Use Plan - defines the distribution location and extent of the uses of the land within the plan area as required by State Law.

4.0 Site Development and Infrastructure Plan - describes the grading concept for the plan along with the circulation, drainage, water, and sewer systems designed to support the land uses allowed by the plan.



Source: Impact Sciences, Inc., 1995.

EXHIBIT

Not to Scale

1

LOCATION MAP



5.0 Design Standards - includes specific design and development standards created for the plan area which supplement the standards found in the City's Development Code.

6.0 Implementation - discusses procedures for the processing of subsequent plans within the plan area and other items related to implementing the plan.

2.0 SPECIFIC PLAN CONCEPT

2.1 Goals

The Douglas Ranch Specific Plan provides a comprehensive plan for the development of the Douglas Ranch and Crawford Properties. The following goals, which reflect the goals of the City of Simi Valley General Plan and the objectives of the owner of the property, have guided the preparation of this Specific Plan:

1. To preserve the natural topography and scenic nature of the site.
2. To allow for a variety of housing types on portions of the site suitable for residential development.
3. To provide for a Memorial-Park to meet the cemetery needs of the Jewish Community.
4. To develop the site with sensitivity to the natural landforms, vegetation, and streambeds.
5. To provide infrastructure plans that allow for independent development of the planning units within the plan area.
6. To ensure that the different uses allowed by the Specific Plan are developed in a compatible manner.

2.2 Land Use Concept

The Douglas Ranch Specific Plan area includes 381 acres of undeveloped land consisting of two parcels. The Douglas Ranch, formerly the private recreation area of the McDonnell-Douglas Corporation, consists of 355 acres. The eastern boundary of the site is comprised of Kuehner Drive, open space of the Ballymeehan Farm, and lands of the Rancho Simi Recreation and Park District. The southern boundary is the Simi Valley Freeway. The area to the north is open space and

the area to the west is the Chumash Themed Community Park. The second parcel, known as the Crawford property, consists of 26 acres located east of and near the intersection of Yosemite Drive and the Simi Valley Freeway.

As part of the evolution of this plan, site characteristics played an important factor in the distribution of land uses. The property consists of a small, scenic canyon in the south-central portion of the site, with major ridge lines abutting the site to the north and east. The canyon floor contains White Oak Creek, which carries storm water runoff southward to existing pipes under the 118 Freeway and an improved flood control channel. Both the creek and the channel are designated as "red-line" facilities under the jurisdiction of the Ventura County Flood Control District.

Seven planning units were established to facilitate the design of the site in response to the existing characteristics of the site and the established goals. The location and boundaries of these Planning Units are shown in Exhibit 2. As shown in this exhibit, the boundaries of the Planning Units are defined by planned streets and other features on the site.

Mt. Sinai Drive (formerly Douglas Drive), connecting Yosemite Avenue to Kuehner Drive, will be the primary element of the circulation system. The City of Simi Valley Circulation Element calls for Mt. Sinai Drive to be constructed in an east-west alignment between these two streets. Cochran Street will provide a secondary access to the site from south of the freeway.

In order to preserve the natural and scenic characteristics of the site, the Mt. Sinai Memorial-Park is sited in the center of the site in Planning Units 1 and 2. The overall character of the Memorial-Park will be that of a landscaped park area. The internal streets will be developed in accordance with the City's private drive standard and will be privately maintained.

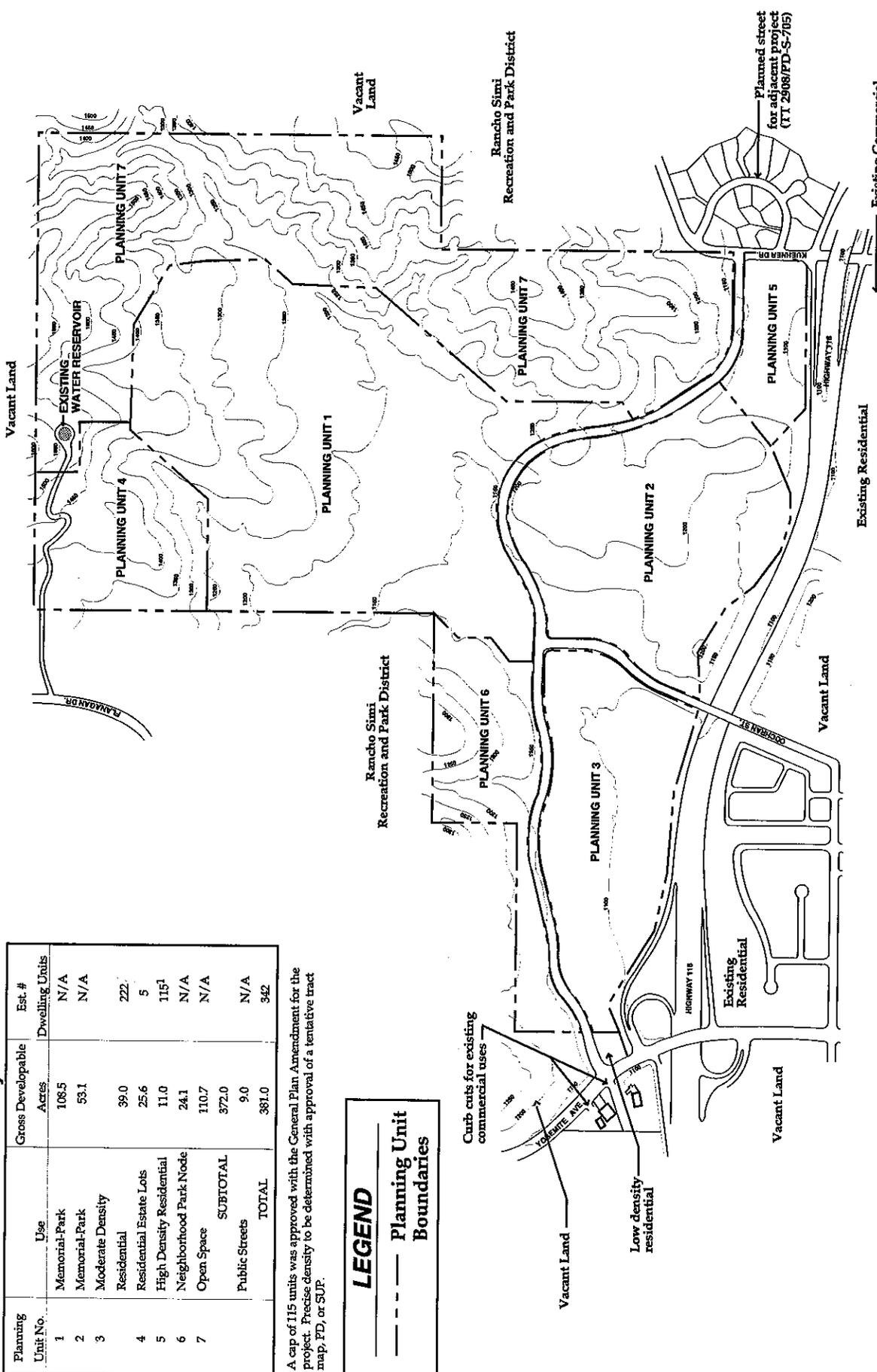
Land Use Summary

Planning Unit No.	Use	Gross Developable Acres	Est. # Dwelling Units
1	Memorial Park	108.5	N/A
2	Memorial Park	53.1	N/A
3	Moderate Density Residential	39.0	222
4	Residential Estate Lots	25.6	5
5	High Density Residential	11.0	115 ¹
6	Neighborhood Park Node	24.1	N/A
7	Open Space	110.7	N/A
	SUBTOTAL	372.0	N/A
	Public Streets	9.0	N/A
	TOTAL	381.0	342

¹ A cap of 115 units was approved with the General Plan Amendment for the project. Precise density to be determined with approval of a tentative tract map, PD, or SUP.

LEGEND

--- Planning Unit Boundaries



Source: Haaland Group, Inc., 1995.

PLANNING UNITS/LAND USE SUMMARY

These roadways will be 28 feet in width as measured from the back of the curb on either side of the street. The curbs will be rolled concrete. Access to the Mt. Sinai Memorial-Park will be controlled by gates located at each of the four connection points to Mt. Sinai Drive (formerly Douglas Drive).

To the east of the Memorial-Park, and north of Mt. Sinai Drive, the area within Planning Unit 7 will be left as natural open space. Planning Unit 6, located west of the Memorial-Park and north of Mt. Sinai Drive, will provide park land to be added to the existing Chumash Themed Community Park to the immediate north. The open space uses in these Planning Units, including the Memorial-Park, park lands and natural open space, comprise approximately 78 percent of the 381 acre site.

As shown, Planning Units 3, 4 and 5 will contain residential uses. These residential Planning Units are separated by the open space areas in the project. At the southwest corner of the site, Moderate Density Uses are allowed in Planning Unit 3. Planning Unit 5, in the southeast corner of the property, is planned for High Density Residential use, but not to exceed 115 units. Estate Lots are allowed on the northwest corner of the site, in Planning Unit 4. As these residential areas are separated by open space, the Specific Plan allows for a separate design character to be developed in each area.

As part of the evaluation for the placement of Mt. Sinai Drive, consideration was given to wetlands, topography and oak trees. For the easterly portion defined Planning Unit 5, there are multiple oak trees limiting the placement of the roadway. Because of the oak trees Mt. Sinai Drive was placed north of the trees. In addition to the oak tree considerations, the distance from the 118 Freeway to Mt. Sinai Drive is increased as a result of the proposed placement increasing stacking capabilities on Kuehner Drive.

Development and drainage facilities have been designed to minimize impacts to the existing streambeds onsite. As shown on Exhibit 3, of the 14 acres of wetland and streambed areas in the project area, less than two acres will be impacted. Areas have been identified for development of additional riparian areas to provide mitigation for impacts that will occur to the streambeds.

2.3 Relationship to State Law
and the General Plan

The Douglas Ranch Specific Plan has been developed to be consistent with the requirements of State Law related to the content of specific plans and the City of Simi Valley General Plan. The consistency of the Specific Plan with State Law and the General Plan is discussed below:

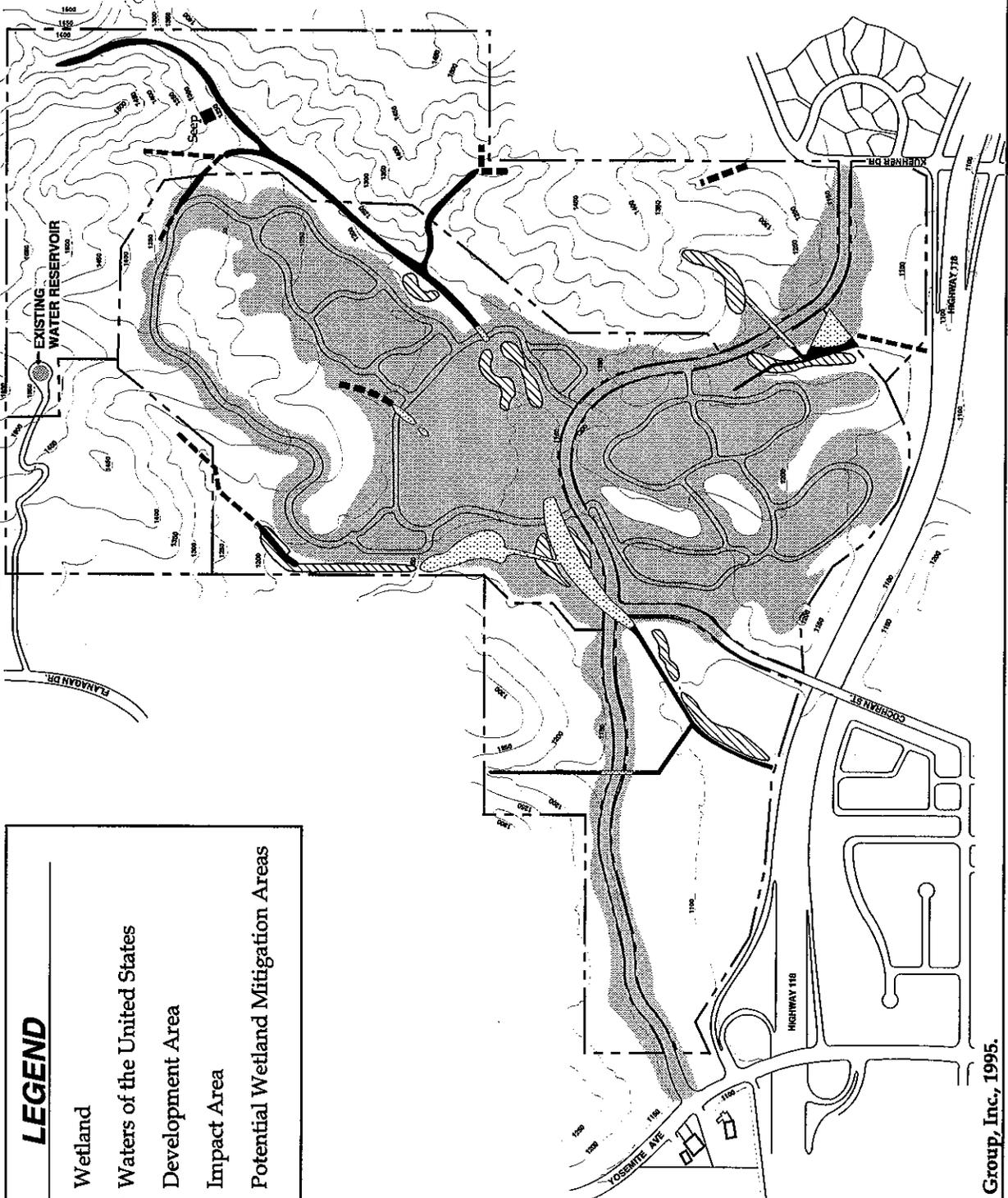
State Law

Government Code Sections 65450 to 65457 require that a Specific Plan shall include a text and diagrams specifying all of the following items in detail.

1. "The distribution, location and extent of the uses of land, including open space, within the area covered by the plan."

Consistency: Section 3.0, Land Use Plan, contains an exhibit and table which sets forth the size in acres and allowed use for each of the 7 Planning Units. The number of units allowed in each of the residential Planning Units is defined based on the City of Simi Valley's Hillside Performance Standards.

2. "The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan."



LEGEND

- Wetland
- Waters of the United States
- Development Area
- Impact Area
- Potential Wetland Mitigation Areas

WETLANDS, IMPACT AREA & POTENTIAL MITIGATION AREAS

Source: Haaland Group, Inc., 1995.

Consistency: Section 4.0, Site Development and Infrastructure Plan, defines the location and size of each of these infrastructure elements.

3. "Standards and criteria by which development will proceed and standards for the conservation, development and utilization of natural resources, where applicable."

Consistency: Development allowed under the Douglas Ranch Specific Plan will be subject to the standards contained in the City of Simi Valley Development Code. Section 5.0, Design Standards, contains special standards for items not addressed by the Development Code.

4. "A program of implementation measures including regulations, programs, public works projects and financing measures necessary to carry out paragraphs 1, 2 and 3."

Consistency: Section 7.0, Implementation, addresses these topics. The Specific Plan will be implemented through the City's planned development procedures and standards and all infrastructure and site improvements will be privately funded.

Simi Valley Municipal Code
Chapter 17

This chapter of the City's Municipal Code addresses requirements for the content and adoption of Specific Plans within Simi Valley. This section incorporates the requirements of State Law, as discussed above, and further defines contents for requirement and implementation.

Consistency: The Douglas Ranch Specific Plan has been organized to contain all elements required by Chapter 17 of the Simi Valley Municipal Code and will be implemented in the manner required.

General Plan Standards for
Douglas Ranch Specific Plan

Appendix B of the Simi Valley General Plan identifies areas in the City for which Specific Plans should be prepared to address special planning issues. This appendix also contains general goals and standards for each of these areas. The consistency of the Douglas Ranch Specific Plan with these items is discussed below:

Goals: Two primary goals for the Douglas Ranch Specific Plan are defined in Appendix B:

1. To maintain and enhance the scenic nature of the area as viewed from the freeway.
2. To provide for the preservation of the natural topography.

Consistency: Approximately 78 percent of the Douglas Ranch Specific Plan area will contain open space uses. These uses include the Memorial-Park in Planning Units 1 and 2, the park land in Planning Unit 6, and the Natural Open Space in Planning Unit 7. These areas are the most visible and scenic portions of the plan area.

Elements of the
Simi Valley General Plan

The consistency of the Douglas Ranch Specific Plan with each Element of the City's General Plan as required by Government Code Section 65451(b) is discussed below:

Land Use Element

Goals

III-1 Preserve and promote the image of the community as a tree-covered valley surrounded by the natural hillsides.

Discussion

The Douglas Ranch Specific Plan incorporates design concepts and guidelines for the preservation of the natural setting as advanced by the Simi Valley General Plan. For example, the Specific Plan positions the Mt. Sinai Memorial-Park in the center of the project site within Planning Units 1 and 2. This will act to preserve the natural and scenic characteristics of the property, because the overall character of the Memorial-Park will be that of a landscaped park area as opposed to urbanized uses. The Specific Plan design guidelines also require that natural scenic features such as mature trees, rock outcroppings, watercourses, and views be integrated into the design of the residential neighborhoods and Memorial-Park to promote the preservation of natural geologic and scenic features.

Further, plant materials used for landscaping within the Specific Plan area must reflect Simi Valley's heritage trees, including Coast Live Oaks and Valley Oaks, as well as other native plant materials wherever possible. Vegetation within the Memorial-Park will consist of native trees and plant materials, in addition to lawn and more formal landscaping found at the Chapel and Administrative complex.

Finally, the design of the land plan contained within the Specific Plan incorporates features which provide a compatible relationship with adjacent uses and the natural setting. For example, locations where residential development is allowed are separated by open space, which creates the opportunity for different types and densities of uses while providing a natural buffer between such uses. The intent is to allow the various areas to have a distinct design identity while creating a framework that complements the scenic and natural qualities of the site.

Goal

III-3 Preserve and protect the hillsides as an important visual and aesthetic resource.

Discussion

The Specific Plan recognizes the significance of the natural topography found within the City of Simi Valley. As such, most of the hillside found within the bounds of the Specific Plan area is planned for preservation as open space (Planning Units 6&7) or low intensity land uses. The integrity of established views from surrounding property will be maintained. All residential and cemetery buildings will comply with the Hillside Performance Standards.

Residential uses in Planning Unit 4 have been designed in accordance with the slope analysis requirements contained in the City of Simi Valley Hillside Development Standards. As such, the density of development in the Specific Plan respects the natural topography of the area and acts to maintain the natural character of the hillsides.

Conservation/Open Space Element

Goals

IV-1 Conserve, enhance, and protect the natural resources of importance to the City of Simi Valley area of interest.

IV-2 Preserve the existing plant resources and wildlife habitat and encourage the provision of additional landscaping.

Discussion

The land plan proposed within the Specific Plan is designed to be consistent with the goals and policies outlined in the General Plan Conservation Element. As such, the Specific Plan designates approximately 296 of the 381 acres (78%) contained within the bounds of the Specific Plan area for open space, inclusive of the Memorial-Park. In addition, the Specific Plan design guidelines require that natural scenic features such as mature trees, rock outcroppings, watercourses, and views be integrated into the design of the residential neighborhoods and Memorial-Park to promote the preservation of natural geologic and scenic features. Further, the plan minimizes impacts to stream courses and wetland areas found on the site by using a wetlands delineation as the basis for avoiding, to the degree feasible, land uses adjacent to such surface waters. Finally, vegetation utilized as landscaping will emphasize native plants and heritage trees such as Coast Live Oaks and Valley Oaks.

Goal

IV-3 Preserve, to the greatest extent feasible, significant archaeological and historical features of the community.

Discussion

The Specific Plan is responsive to the goal of preserving important archaeological and historical features of the community. For example, Planning Unit 6 has been designated as an extension of the existing Chumash Themed Park. In addition, the Specific Plan incorporates mitigation measures designed to minimize potential impacts by identifying cultural resource sites and establishing methods of preservation through avoidance and/or data recovery when such resources are

uncovered. These measures are outlined in the Mitigation Monitoring Program prepared as part of the EIR for the project, and are incorporated within the Specific Plan under compliance category F in 6.0, Implementation.

Housing Element

Goals

The City of Simi Valley identifies four goals related to provisions for housing within the city. With respect to new construction, the intent is to provide a wide range of housing types and an adequate supply of affordable housing while maintaining the quality of life for all residents.

Discussion

The specific plan is consistent with the City's goal regarding new construction of housing as it provides for a wide variety of housing types and styles while preserving the natural and scenic characteristics of the property. For example, estate, moderate, and high density housing are allowed within the plan area. These housing types are distributed throughout the community and are buffered by natural open space, which allows for a variety of types and densities as encouraged in the General Plan.

Recreation Element

Goals

VI-1 Encourage the development of a variety of recreational opportunities accessible to the public.

Discussion

The Douglas Ranch Specific Plan is consistent with this goal as it includes park area, open space, and implements the Master Plan of Trails. In addition, the Rancho Simi Recreation and Park District was consulted to ensure that the spatial arrangement, types, and acreage of the recreational features are consistent with the goals and policies contained within the City's General Plan.

Circulation Element

Goals

VII-1 Provide for the safe and efficient movement of people, goods, and services throughout the city while minimizing the impact of the circulation system on residential areas and the suburban character of the community.

VII-2 The City should develop and encourage a transportation management system to assist in mitigating traffic impacts.

Discussion

The Douglas Ranch Specific Plan implements the buildout of streets and trails as contained in the City's Circulation Map. As such, the Specific Plan is consistent with the goals outlined in the General Plan. It should be noted that the plan also includes a recreational path/trail system and encourages a more expansive network within residential areas. This system is intended to encourage alternative modes of transit by allowing pedestrians and bicyclists unrestricted movement separated from motor vehicle traffic.

Safety Element

Goals

VIII-1 Minimize the hazards to public health, safety, and welfare and prevent loss of life, bodily injury, and property damage resulting from natural and man-made hazards.

VIII-2 In hillside areas, ensure the maximum feasible levels of safety to both existing and future hillside development which is subject to slope and ground stability hazards.

VIII-3 Adopt programs and promote actions that will minimize loss of life, injuries, and property damage resulting from flooding.

VIII-4 Continue the implementation and enforcement of fire prevention programs to minimize fire hazards to an acceptable level of risk.

VIII-6 The City should enforce laws and promote policies which ensure the maximum feasible seismic stability of structures and critical facilities.

VIII-8 The City should implement programs and actions that will promote public health and reduce the incidence of crime.

Discussion

The Specific Plan has been designed to implement all appropriate policies as outlined in the Safety Element of the City's General Plan. For example, the Specific Plan implements buildout of the circulation system as identified on the City's Circulation Map, which acts to facilitate access for emergency vehicles and for evacuation of residents.

In addition, the Specific Plan includes stormwater detention facilities based upon the Master Plan of Drainage which are designed to minimize downstream flooding. The plan also incorporates requirements for inclusion of a fuel modification zone and the preparation of a fuel modification plan. The Specific Plan also guides development of a water distribution system that will provide an adequate water supply for fire fighting purposes.

Further, the Specific Plan will comply with policies relating to geologic safety through the preparation of all required reports and implementation of all recommended design measures contained therein. Finally, the density of residential uses proposed on the hillside within Planning Unit 4 have been planned in accordance with the slope analysis requirements contained in the City of Simi Valley Hillside Development Standards.

Community Services

Goals

IX-1 Provide the public of Simi Valley with the maximum level of community services at a reasonable cost.

IX-2 Maintain municipal services, public utilities and facilities at adequate levels of service.

IX-4 Coordinate the phasing of development with the provision of adequate levels of community services.

IX-5 Maintain a water supply system capable of adequately meeting normal and emergency demands in the City.

IX-6 Maintain a sewage disposal system to ensure its adequacy to protect the health and safety of all residents and businesses.

IX-7 Maintain a storm drainage system adequate to protect lives and property.

Discussion

The purpose of a specific plan is to provide the framework for all aspects of the future planning and development of a particular area, including land planning, timing and phasing of infrastructure, design guidelines, and sources of financing, among others. To this end, the Douglas Ranch Specific Plan includes water, sewer, and storm drain master plans to ensure adequate provisions of these services to the area. With regard to education, developer fees will be paid to the affected school district to assist in the provision of adequate educational services to residents of the Specific Plan. Finally, adequate fire, police, and health services exist to service the development outlined within the Specific Plan. Please see the discussion of consistency with the Safety Element for additional information.

Noise Element

Goals

X-1 The City shall maintain its character as a quiet suburban community.

Discussion

The intent of this goal is to consider noise impacts when making land use decisions. To this end, Section 6.0 (Implementation) incorporates requirements for the preparation of noise studies as more detailed plans for development are proposed. This will ensure that individual tracts within the plan area include site specific measures to attenuate any noise levels considered unacceptable in the City's Noise Element.

Economic Development Element

Goals

The goals and policies outlined within this element address the health of commercial and industrial uses located within the City. There are no goals or policies contained in this element which address the open space, residential, and cemetery uses proposed as part of the Specific Plan.

Air Quality Element

Goals

XII-1 Achievement of the National and California Air Quality Standards.

Discussion

The Douglas Ranch Specific Plan has incorporated all feasible measures to reduce predicted air quality impacts as identified in the environmental review process. Specific measures include provisions for incorporation of transportation demand management programs within individual development proposals prior to the approval of said project. Sponsors of individual development proposals located within the plan must also comply with the requirements of the applicable air quality guidelines and are subject at the time of zoning clearance to air quality mitigation fees as calculated therein.

In addition, the land plan proposed within the Specific Plan encourages alternative modes of transit. For example, the plan contains a recreational path/trail system, and encourages a more expansive network within residential areas. This system is intended to encourage alternative modes of transit by allowing pedestrians and bicyclists unrestricted movement separated from motor vehicle traffic. Finally, all development

activity is subject to measures designed to minimize the volume of fugitive dust and equipment emissions associated with site preparation, grading, and construction of the land uses allowed within the Specific Plan area.

3.0 LAND USE PLAN

3.1 Land Use Categories

This section sets forth the distribution, location and extent of land uses allowed within the Douglas Ranch Specific Plan area. Appendix B of the Simi Valley General Plan includes land use standards for the Douglas Ranch/Crawford Property. The text in Appendix B states that the overall mix of land uses for the Douglas and Crawford Properties shall be approximately as follows in Table 1:

**Table 1
Land Use Mix**

<u>Designation</u>	<u>Acres</u>	<u>Maximum Units</u>
Cemetery	162.0	---
Moderate	45.5	457
High	11.5	115
Estate	20.0	20
Open Space	142.0	---
Neighborhood Park node	---	---
TOTAL	381.0	592

To facilitate orderly development of the Specific Plan area in accordance with the land use mix contained in the General Plan, the Specific Plan area has been divided into 7 Planning Units. Table 2 presents a summary of the size and uses allowed within each Planning Unit.

**Table 2
General Plan Land Uses**

<u>Planning Unit No.</u>	<u>Use</u>	<u>Size in Acres</u>
1	Memorial-Park	108.5
2	Memorial-Park	53.1
3	Moderate Density Residential	39.0
4	Residential Estate Lots	25.6
5	High Density Residential	11.0
6	Open Space (Neighborhood Park Node)	24.1 ¹
7	Open Space	110.7
	SUBTOTAL	372.0
	Public Streets	9.0
	TOTAL	381.0

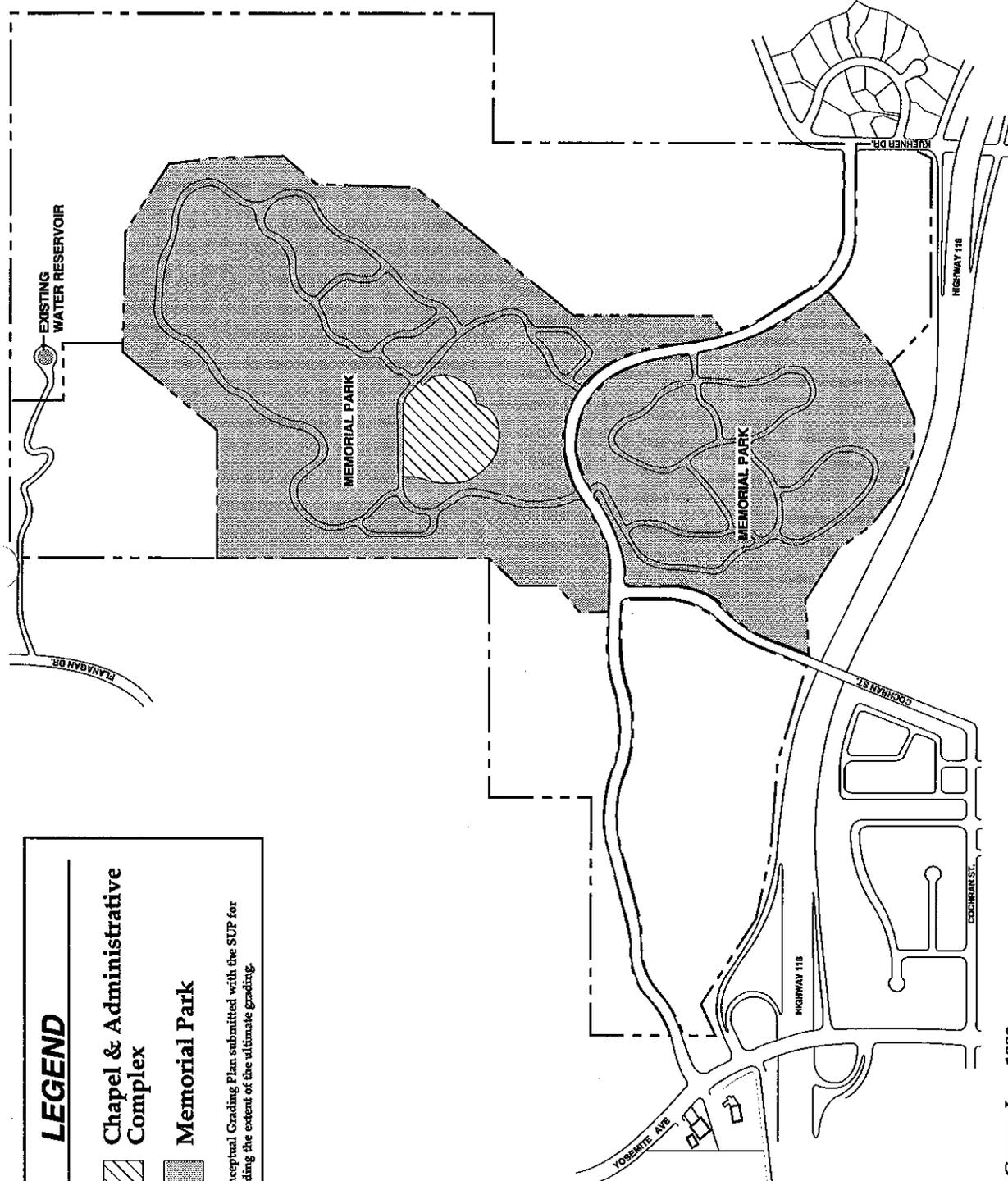
¹ A cash fee paid to the Park District, in lieu-of-land, may replace the Neighborhood Park

Development and design guidelines for the two main categories of uses, Memorial-Park and residential, are presented below.

3.2 Memorial-Park

The Mt. Sinai Memorial-Park is planned as a cemetery designed to meet the needs of the Jewish Community. The following discussion explains in greater detail the nature of the proposed Memorial-Park.

1. Chapel and Administrative Complex - As shown on Exhibit 4, this facility includes a chapel, mortuary, administration building, information and records center, and a maintenance and storage facility. The precise location and design of these structures shall be subject to the issuance of a Special Use Permit for the Memorial-Park. No structure shall be located on or within 150 feet horizontally and 50 feet vertically of a visually prominent ridgeline as identified in Exhibit 5. Structures shall not be silhouetted against the sky when viewed from the 118 Freeway.
2. Roadways - Roadways, designed in accordance with the City's private drive standard will be constructed within Planning Units 1 and 2 to provide access to interment sites. A preliminary alignment for roadways within these Planning Units is shown in Exhibit 3. The location of roadways within these planning units shall be subject to issuance of a Special Use Permit for the Memorial-Park.
3. Ground Interments - Below ground interments are allowed throughout Planning Units 1 and 2. Identification for ground interment sites will be limited to flush markers. Gardens and other landscape treatments are also allowed as part of the ground interments.
4. Above Ground Interments - Above ground interments shall be allowed within wall crypt structures. These structures may be no larger than 20 feet in height or width.
5. Crematory Facilities - Crematory facilities are prohibited on site.



LEGEND

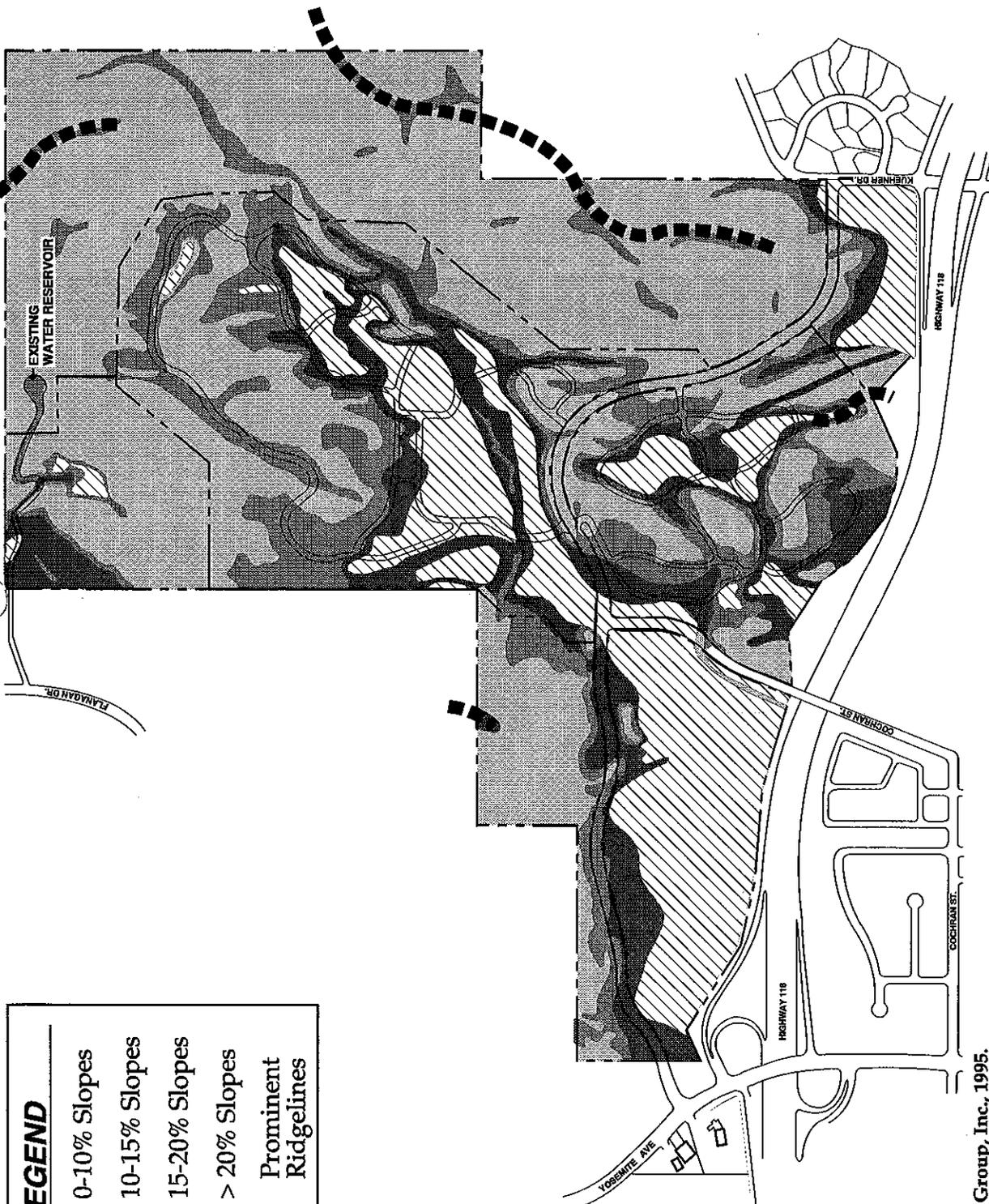
-  Chapel & Administrative Complex
-  Memorial Park

Note: See the Conceptual Grading Plan submitted with the SUP for information regarding the extent of the ultimate grading.

Source: Haaland Group, Inc., 1993.



MEMORIAL PARK PLANNING FEATURES

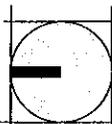


LEGEND

- 0-10% Slopes
- 10-15% Slopes
- 15-20% Slopes
- > 20% Slopes
- Prominent Ridgelines

Source: Haaland Group, Inc., 1995.

FIGURE



Not to Scale

SLOPE & PROMINENT RIDGELINES MAP

Design Guidelines

The design guidelines listed below shall be followed in the layout of the Memorial-Park:

1. Roadway slopes not to exceed 12% grade to allow for temporary parking for visitors.
2. Utilize a looped roadway design, where appropriate, to provide for continuous traffic flow.
3. Minimize heavy cuts or fills along roadways to facilitate access to gravesites.
4. Utilize existing drainage patterns as an amenity.

3.3 Residential

Potential Uses

Based on the slope analysis (Exhibit 5) requirements of the City of Simi Valley Hillside Performance Standards, residential uses are allowed within Planning Units 3 and 4 at the estimated densities contained in Table 3. The density for Planning Unit 5 is a maximum of 115 units (see footnote 1).

Planning Unit No.	Slope Category	Size in Acres	Density D.U./AC	Estimated D.U.
3	0-10%	24.7	7	207.90
	10-15%	7.4	2.0	14.8
	15-20%	0.6	0.25	0.15
	over 20%	1.2	0.025	0.003
	TOTAL	39.0		222
4	0-10%	.9	1.0	0.9
	10-15%	3.4	1.0	3.4
	15-20%	2.2	0.25	0.55
	over 20%	19.1	0.025	0.48
	SUBTOTAL	25.6		5.0
	Open Space Density Transfer per HPS	111.5	0.025	2.78
5	TOTAL	11		8
	TOTAL			115 ¹

¹ A cap of 115 units was approved for the portion of the site designated as high density residential with approval of the General Plan Amendment for the project. The precise density of Planning Unit 5 shall be determined during any subsequent Planned Development (PD)/Tentative Tract (TT) application review for Planning Unit 5.

Design Guidelines

The following design guidelines shall apply to the residential development allowed by the Specific Plan:

1. The project sponsor or subsequent developers shall prepare design guidelines for residential developments in order to minimize visual and aesthetic impacts. Project design guidelines shall address all items as specified in Sections 9-1.801 (a) and 9-1.802 (a), (b) and optional items in section (c) of the SVMC.
2. Natural scenic features such as mature trees, rock outcroppings, watercourses and views shall be integrated into the design of the residential neighborhoods to promote preservation of natural geologic and scenic features as required pursuant to General Plan Policy IV-1.1.
3. Residential development shall be oriented so that a solid line of houses is not created in Planning Unit 3 as required by General Plan Policies III-1.6.2 and III-1.7. Clustering of units shall be achieved by grouping of units and providing open space separations. Buildings shall be oriented so that units have varying setbacks to provide for vertical and horizontal variety.
4. Fuel modification zones shall double as green belts pursuant to General Plan Safety Element Policy VIII-4.4 and VIII-4.7. A landscape plan, that includes these zones shall be submitted and approved prior to issuance of grading permits for residential development. Such landscaping plans shall be submitted pursuant to the City's Landscape Submittal Requirements.

5. To reduce vehicle trips, developers of residential areas shall consider the development of a pedestrian-oriented community which would include such features as pedestrian/bicycle paths and linkages with other paths as suggested by the Ventura County Air Quality Management Plan.
6. Residential development will comply with the Freeway Combining Overlay Zone.
7. Any future developer of Planning Unit 3 shall evaluate the feasibility of providing internal access from Planning Unit 3 to Lot 600. Such evaluation shall include reasonable agreements, if any, between owner and/or developer of Planning Unit 3 and owner and/or developer of Lot 600. However, if owner and/or developer of Planning Unit 3 determines, to the satisfaction of the City, that such internal access to Lot 600 is not feasible and/or is detrimental to the development of Planning Unit 3, and/or is not mandatory for the designated use of Lot 600, any internal access considerations shall not have any bearing on future Planning Development or Tentative Tract Map approvals for Planning Unit 3.

3.4 Open Space and Recreation

The open space and recreation system of the Douglas Ranch Specific Plan will include the following elements:

1. Planning Unit 7 will remain as permanent natural open space. This 110.7 acre area will be dedicated to the Rancho Simi Recreation and Park District at the time of recordation of a final tract map for the property. The park land in Planning Unit 6 will also be dedicated to the Park District at this time.
2. Neighborhood park requirements will be met by dedication of land or cash-in-lieu to the Rancho Simi Recreation and Park District. Due to the small number of residential units

to be developed and the location of the development, the District may not feel it is desirable to develop a small park within the project. The fees may be used by the District to develop active recreation areas at Chumash Themed Community Park.

3. The public trail system, as defined in the General Plan, extending from the Indian Hills area to and along Mt. Sinai Drive (formerly Douglas Drive), shall be completed with the construction of Mt. Sinai Drive. The trail system will be dedicated to the Rancho Simi Recreation and Park District. Prior to completion of Mt. Sinai Drive, an interim trail system will be provided as shown in Exhibit 6. In addition, a trail system will be dedicated to the Rancho Simi Recreation and Park District extending from Planning Unit 4 easterly and south of Mt. Sinai Drive with a second trail heading easterly to Hummingbird Ranch.

Phasing of the permanent trails will be completed and dedicated with construction of each planning unit. An interim use agreement with the Rancho Simi Recreation and Park District will be in place for undedicated trails. Exhibits 14 - 17 show phasing of the improvements by Planning Unit.

4. Private recreation facilities may be provided within Planning Units 3, 4 and 5. These facilities would be maintained by the residents of these Planning Units.

Design Guidelines

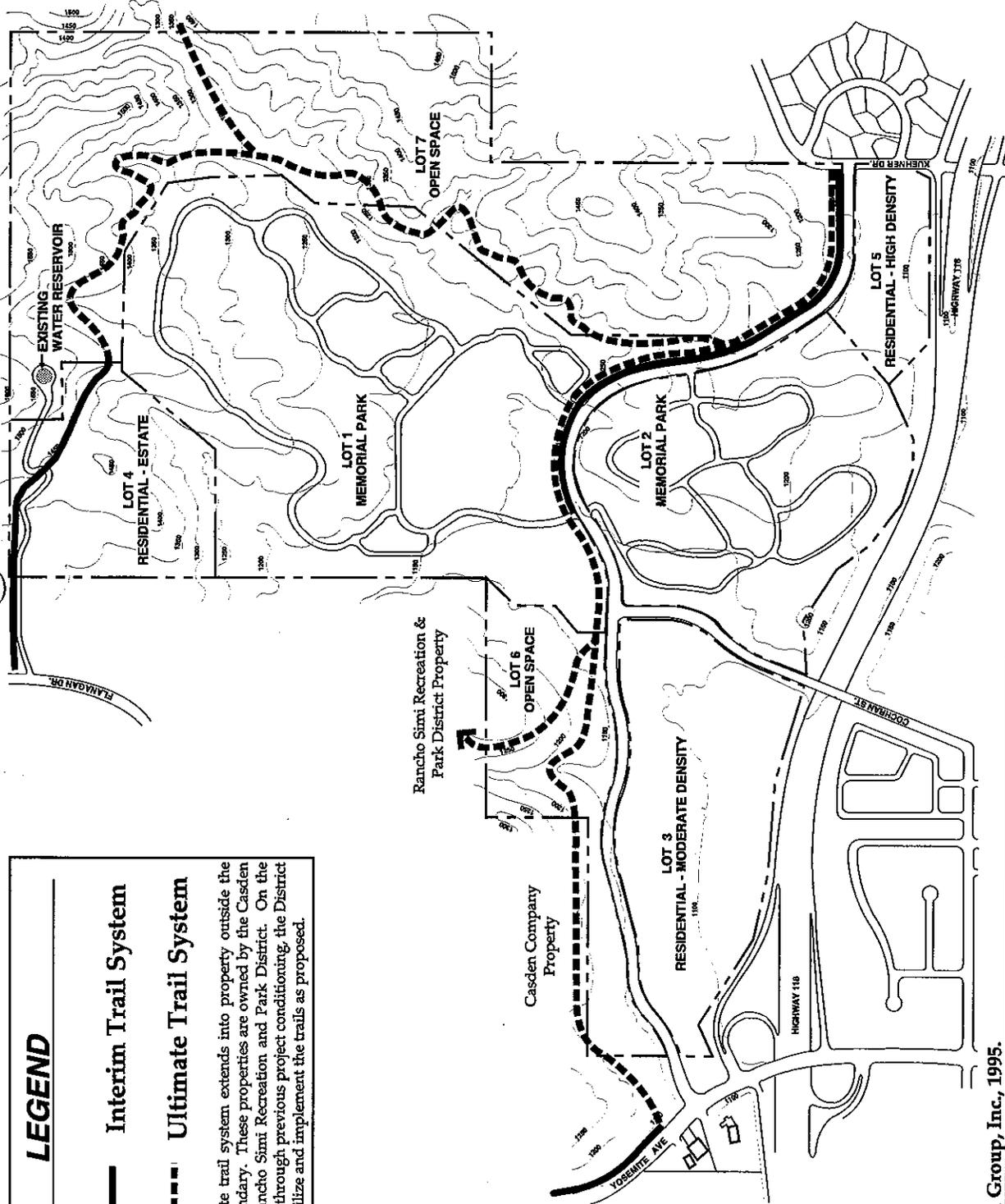
1. The amount of neighborhood park land required for the allowed residential uses shall be based on the City's Parkland Dedication Ordinance (No. 772). The district may request payment of fees in lieu of park dedication as provided for in Ordinance No. 772.

LEGEND

— Interim Trail System

- - - Ultimate Trail System

Note: The ultimate trail system extends into property outside the Specific Plan boundary. These properties are owned by the Casden Company and Rancho Simi Recreation and Park District. On the Casden property, through previous project conditioning, the District has the right to utilize and implement the trails as proposed.



Source: Haaland Group, Inc., 1995.

TRAIL SYSTEM

2. Public facilities shall be in or adjacent to a residential Planning Unit of the project site.
3. Public facilities must be accessible for pedestrians/autos from major streets and local neighborhoods.
4. Public facilities shall be adjacent to public open space and be connected to public trails systems.

4.0 SITE DEVELOPMENT AND INFRASTRUCTURE PLAN

4.1 Circulation Master Plan

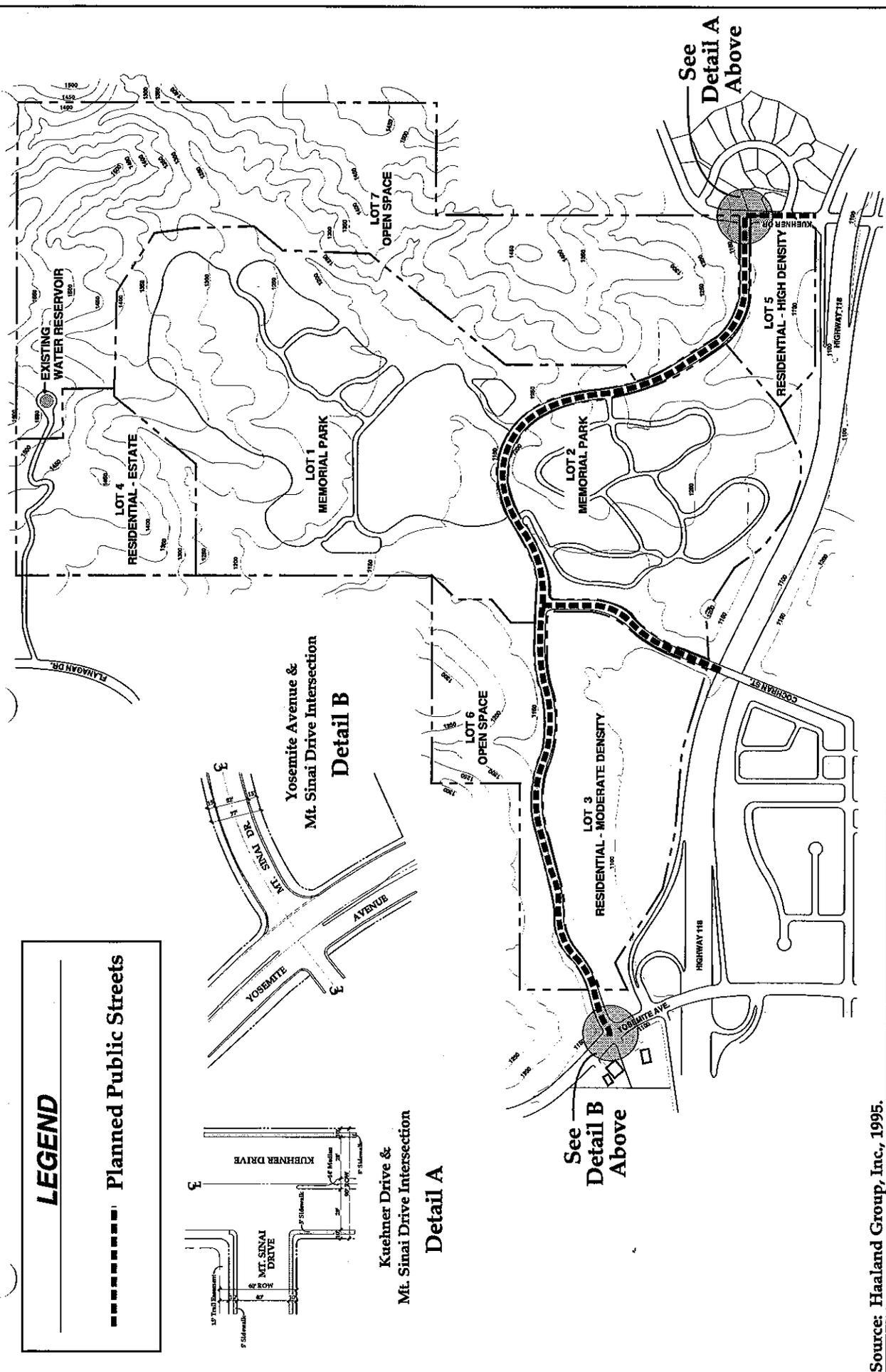
Roadways

The master plan of circulation for the Douglas Ranch Specific Plan area is shown in Exhibit 7. This exhibit shows the planned alignment and location of roadways and trails. The key circulation spine, Mt. Sinai Drive (formerly Douglas Drive), services the Mt. Sinai Memorial-Park and all residential parcels with the exception of the Residential Estate site in the northwest corner of the project. The completion of Cochran Street to Mt. Sinai Drive will provide an alternate access point.

Exhibit 8 shows the cross sections for these roadways and trails. All slope easement areas required to support development of the planned roads will be maintained by the adjacent property owner. A description of each of these roadways is presented below:

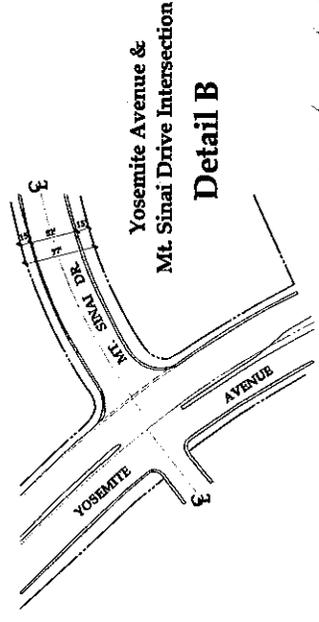
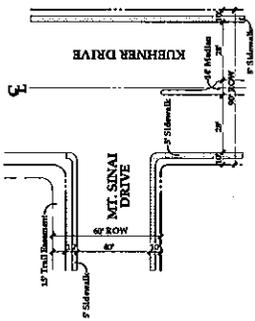
Mt. Sinai Drive (formerly Douglas Drive) is an identified east-west route in the Circulation Element of the General Plan. As part of the evaluation for the placement, consideration was given to wetlands, topography and oak trees. For the easterly portion of Mt. Sinai Drive located in Planning Unit 5, there are multiple oak trees limiting the placement of the roadway. Because of the oak trees, Mt. Sinai Drive was placed north of the trees. In addition to the oak tree considerations, the distance from the 118 Freeway to Mt. Sinai Drive is increased as a result of the proposed placement increasing stacking capabilities on Kuehner Drive.

Mt. Sinai Drive is aligned at the northerly boundary of Planning Unit 3 because this alignment: (1) eliminates any access from the north on to Mt. Sinai Drive since there would be no development to the north in Planning Unit 6; (2) creates the



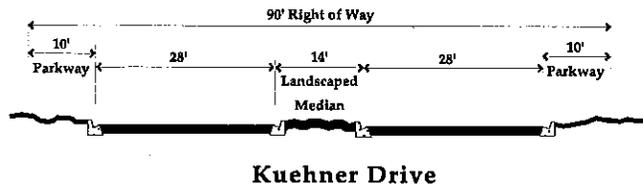
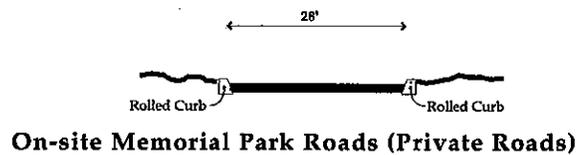
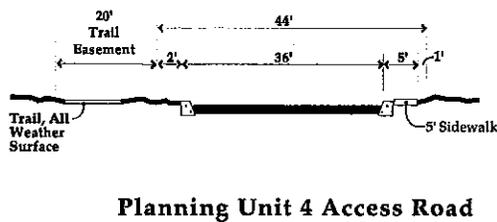
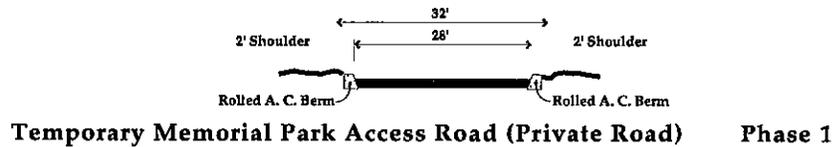
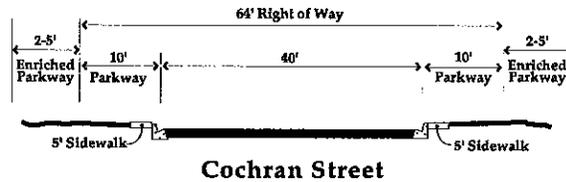
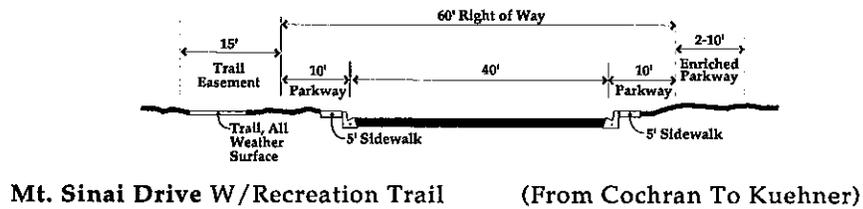
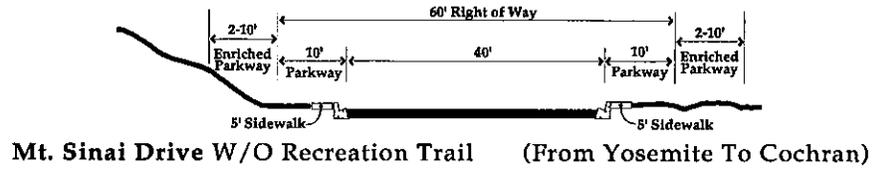
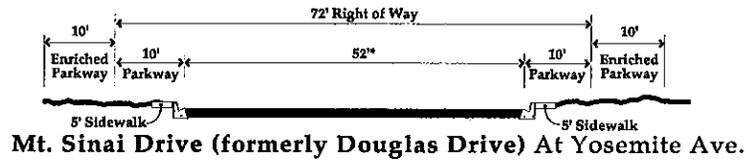
LEGEND

Planned Public Streets



CIRCULATION MASTER PLAN

Source: Haaland Group, Inc., 1995.



Source: Haaland Group, July 1995.

Note: Sections looking East
* Widened Pavement at Intersection for Turning Movements

STREET CROSS-SECTIONS

Not to Scale

EXHIBIT

8

least impact to the riparian area located at the intersection of Cochran Street and Mt. Sinai Drive; (3) places the road near Detention Basin A which allows the creation of natural environment at the intersection at the entrance to the Memorial-Park; and (4) separates the open space in Planning Unit 6 from any adjacent development.

Mt. Sinai Drive will have 40 feet of pavement with a 12-20 foot parkway on both sides of the street including five foot wide sidewalks adjacent to the curb. Additional rights of way and sidewalk will be required at intersections to accommodate placement of wheelchair ramps. At Yosemite Avenue this section will be widened to include 52 feet of pavement to accommodate turn lanes. From Cochran Street to Kuehner Drive, a 15 foot easement for a multi-purpose recreation trail will be located outside of but adjacent to the road right of way.

Prior to development of Planning Unit 3, a private drive may be constructed to serve the Mt. Sinai Memorial-Park. This private drive will generally follow the planned alignment of Mt. Sinai Drive. As shown, this private drive will consist of 28 feet of pavement with rolled asphalt berm curbs.

Cochran Street will have 40 feet of pavement with a 12-15 foot parkway on both sides of the street including five foot wide sidewalks adjacent to the curb. Prior to development of Planning Unit 3, Cochran Street may be developed as a fire access road.

Kuehner Drive will have two-28 foot widths of pavement with a 14 foot landscaped median and a 10 foot parkway on both sides of the street.

Memorial-Park Roads within the Memorial-Park will be private roads with 28 feet of pavement with rolled curbs.

Planning Unit 4 Access Road will be a private road developed within an easement granted by the Rancho Simi Recreation and Park District. This road will be located at the north boundary of the park site. It will be built to public road standards and will have 44 feet of right of way with 36 feet of pavement, a five foot wide sidewalk on the south side and a 20 foot easement for a multi-purpose recreation trail on the north side.

Trails

The recreation trails as designated on the General Plan will be developed within the Specific Plan boundary. One trail will be contained within the park land within Planning Unit 6 and will cross the lower portion of Planning Unit 1 to the intersection of Mt. Sinai Drive (formerly Douglas Drive) and Cochran Street. From this intersection, the trail will be provided along the north side of Mt. Sinai Drive easterly to Kuehner Drive. This trail will be constructed with the road.

In addition, a trail system will be dedicated to the Rancho Simi Recreation and Park District extending from Planning Unit 4 easterly and south to Mt. Sinai Drive with a second trail headed easterly to Hummingbird Ranch.

Phasing of the permanent trails will be completed and dedicated with construction of each planning unit. An interim use agreement with the Rancho Simi Recreation and Park District will be in place for undedicated trails.

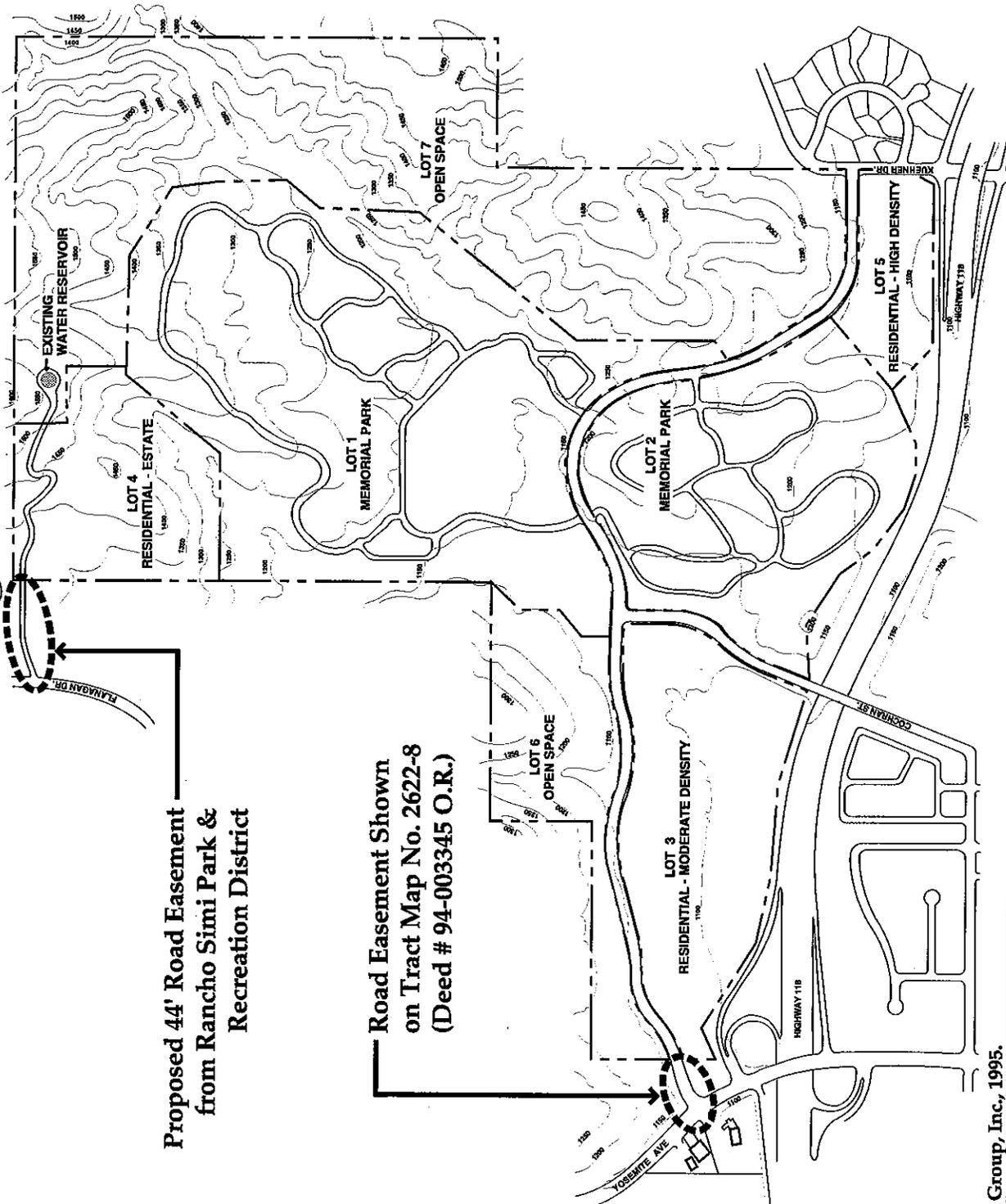
All trails will be maintained by the Rancho Simi Recreation and Park District.

Easements

Access to the site will require use of areas subject to two separate easement agreements. The location of these access easements are shown in Exhibit 9.

Gates

Entry points to the Mt. Sinai Memorial-Park will be controlled by gates shown in Exhibit 10.



**Proposed 44' Road Easement
from Rancho Simi Park &
Recreation District**

**Road Easement Shown
on Tract Map No. 2622-8
(Deed # 94-003345 O.R.)**

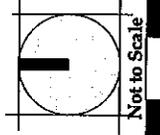
Source: Haaland Group, Inc., 1995.

E X H I B I T

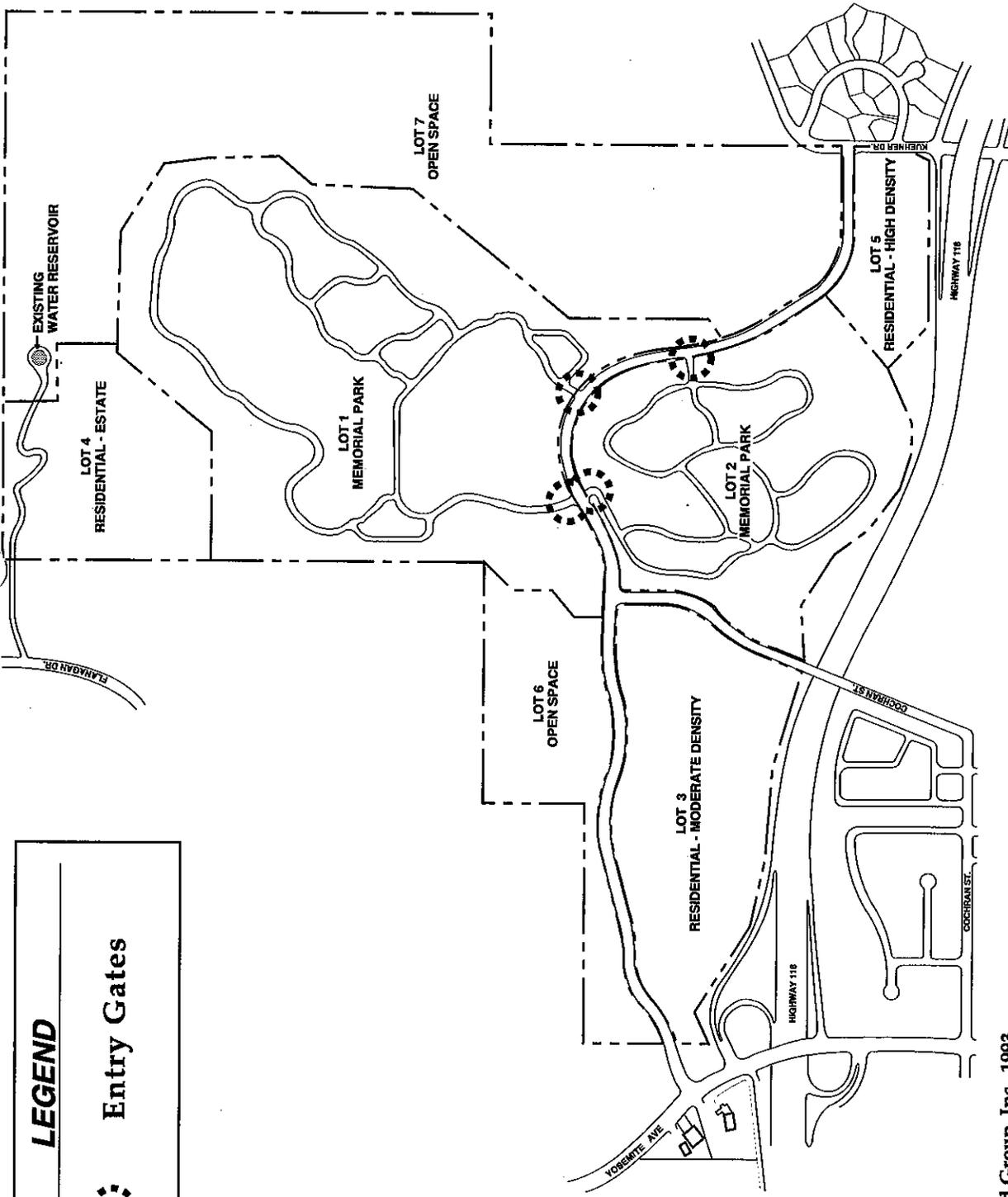
Not to Scale

LOCATION OF ROAD EASEMENTS





LOCATION OF ENTRY GATES



LEGEND

Entry Gates

Source: Haaland Group, Inc., 1993.

Design Guidelines

1. No direct access from any residence will be allowed on to Mt. Sinai Drive (formerly Douglas Drive), Cochran Street or Kuehner Drive.
2. A limited number of access points will be allowed from the residential areas to Cochran Street and Mt. Sinai Drive (formerly Douglas Drive). These residential access points will be located to ensure adequate sight distance and shall be separated by at least 300 feet.
3. Parking will be prohibited on Mt. Sinai Drive (formerly Douglas Drive), Kuehner Drive, and Cochran Street. Per the Rancho Simi Recreation and Park District, there will be no requirement for on-street parking on Mt. Sinai Drive for the use of trails.
4. Internal circulation within the residential neighborhoods will be provided by either local public streets or private streets and drives developed to City standards.
5. Access gates shall be designed to allow vehicles to turn around on site without having to back up onto Mt. Sinai Drive (formerly Douglas Drive) or otherwise interfere with the traffic flow on Mt. Sinai Drive.
6. The alteration of natural topography shall be minimized and overall shape, height and grade of any cut and fill shall be designed according to the City's Hillside Performance Standards. Road alignments shall avoid areas in excess of 20% slope as much as possible.
7. Soil erosion and sedimentation control plans shall be prepared in conjunction with grading plans for each planning area.

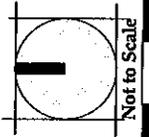
4.2 Drainage Master Plan

Exhibit 11 shows the drainage master plan for the Specific Plan Area. The Simi Valley Master Plan of Drainage identifies this site as a potential site for regional detention facilities planned to substantially reduce downstream flow from 3 drainage areas, White Oak Park, Hummingbird Ranch Canyon, and the Yosemite Avenue Drainage Area. Existing drainage facilities which convey runoff under the 118 Freeway have insufficient capacity.

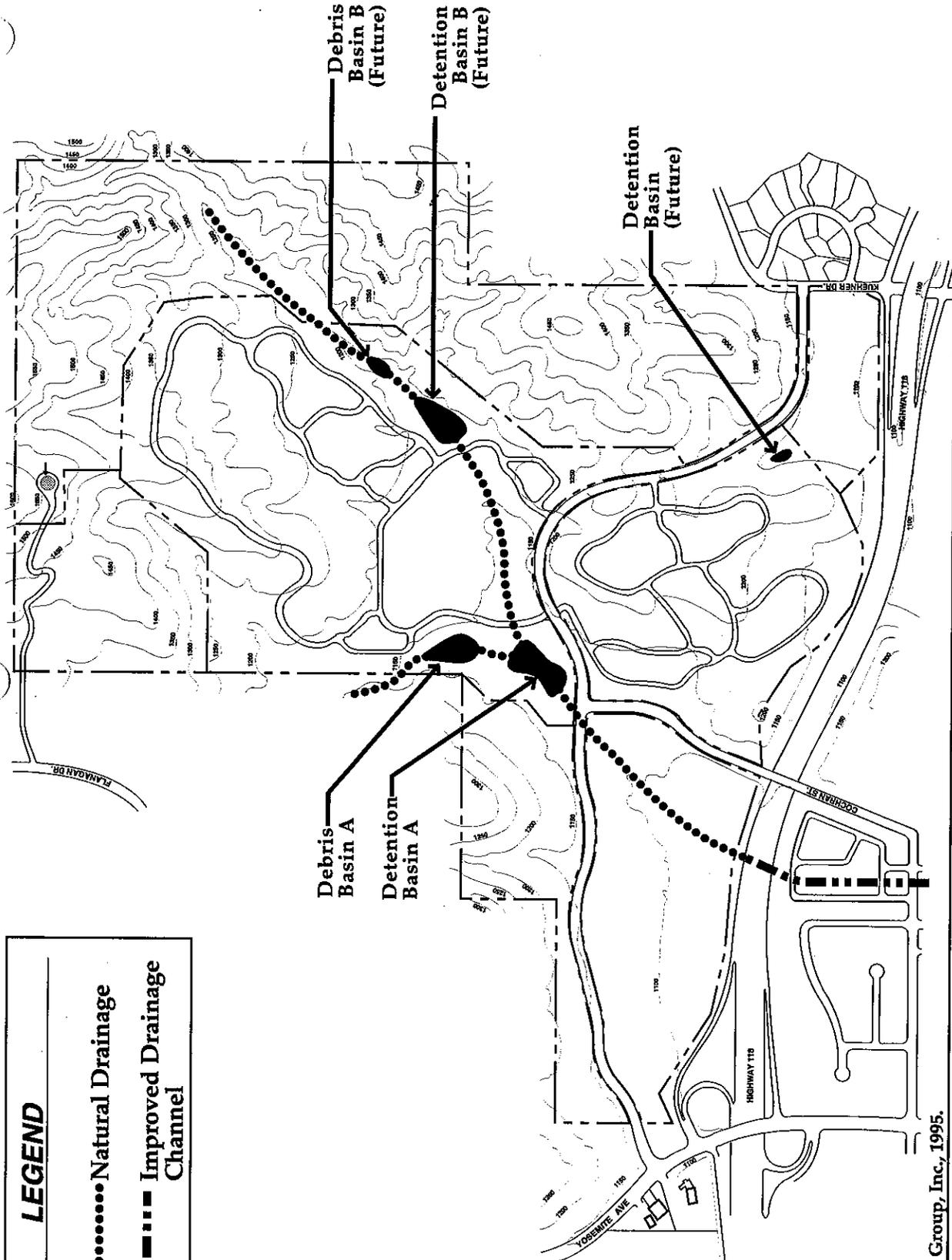
The drainage master plan addresses these existing conditions by including 2 detention basins. Debris basins are located immediately upstream of the detention basins. These basins have been located within the alignment of existing onsite drainage channels and sited to minimize impacts to the riparian vegetation in these streambeds. The detention basins will detain all runoff flows above the amount from a 10 year frequency storm. A third smaller detention basin will be located at the bottom of the Memorial-Park near Planning Unit 5.

A low flow pipe will extend from detention basin A under Mt. Sinai Drive (formerly Douglas Drive) to convey water released from this basin. During periods of high flow in major storm events, drainage overflows will be conducted through a spillway structure under Mt. Sinai Drive. Drainage flows from the park area in Planning Unit 6 will be collected in a pipe and conveyed directly to White Oak Creek in Planning Unit 3.

The regional detention plan shall conform to the City's Master Plan of Drainage and the City's Flood Damage Prevention Ordinance. The regional detention volumes and release rates shall conform to the approved hydrology study on file with the City of Simi Valley Public Works Department. The property owners shall maintain the regional detention facilities and the debris basins. The Ventura County Flood Control District will have secondary maintenance responsibilities for these facilities and will maintain them if necessary.



DRAINAGE MASTER PLAN



LEGEND

- Natural Drainage
- - - - - Improved Drainage Channel

Source: Haaland Group, Inc., 1995.

4.3 Water Master Plan

Existing and planned water lines designed to serve the Specific Plan Area are shown in Exhibit 12. Existing water lines include a 10-inch water line in Kuehner Drive which extends to the site; a 12-inch water line in Yosemite Avenue; and an 8-inch line in Flanagan Drive.

A 10-inch water line will be built in Mt. Sinai Drive (formerly Douglas Drive) connecting the existing lines in Yosemite Avenue and Kuehner Drive. A water line will be extended from Mt. Sinai Drive to the chapel and administration complex with the Mt. Sinai Memorial-Park after the ultimate buildout of Mt. Sinai Drive.

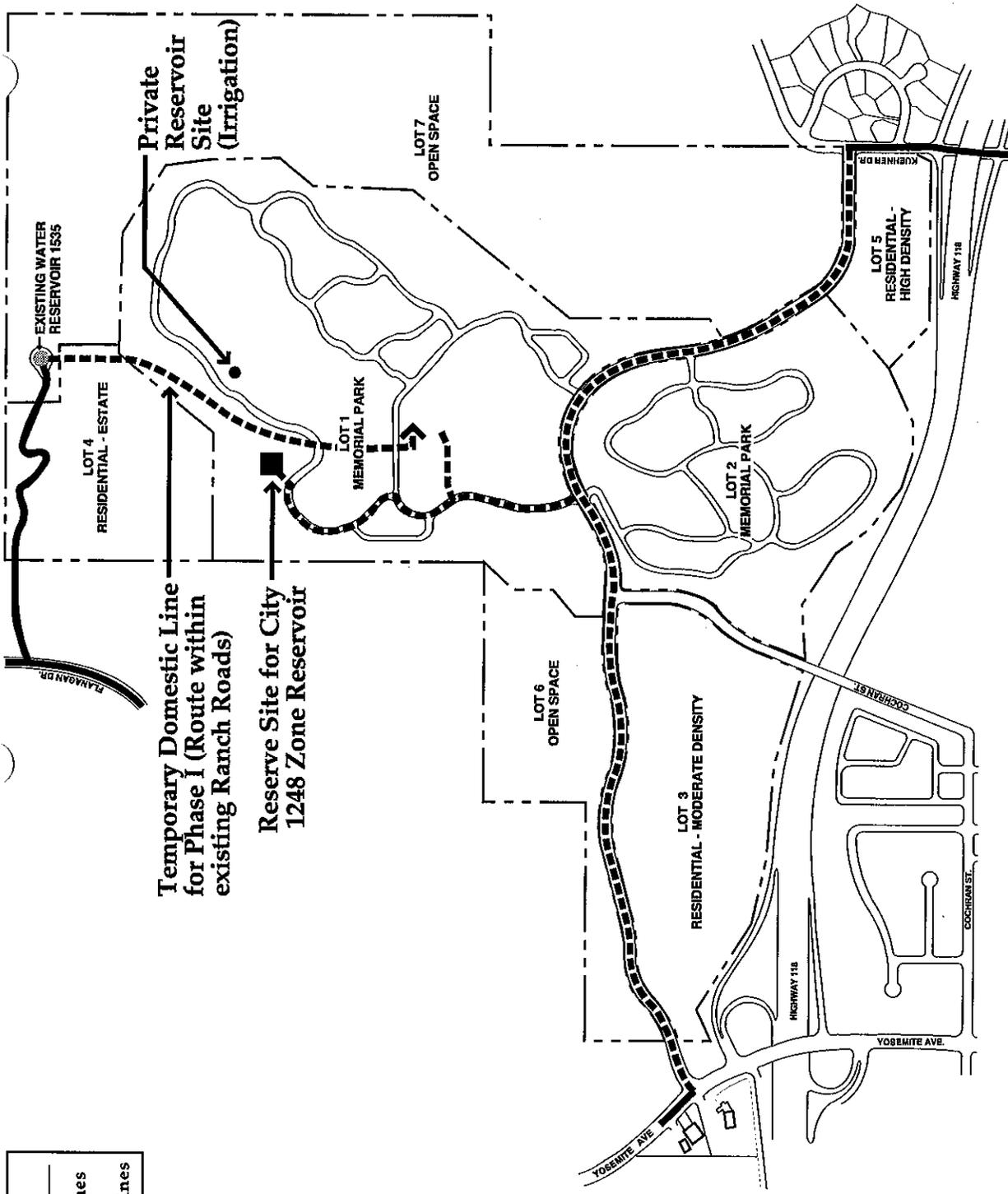
The estate lots in Planning Unit 4 will be served by a water line extended from the existing line in Flanagan Drive.

For the Memorial-Park, domestic water will be used. Reclaimed water will be used for landscape irrigation when it is made available by the City of Simi Valley or other public agencies.

The City has initiated a program to require the use of reclaimed water by developments wherever possible in the future. Presently the Simi treatment facility is generating reclaimed water for one user to date, the Simi landfill. This reclaimed water project is a "pilot" effort in demonstrating the use of reclaimed water for irrigation, and is expected to generate more users in the near future. The city, through the Simi Valley County Sanitation District prepared a report on implementing a reclaimed water system for the city. The report, *Facilities Plan Update for the Wastewater Reclamation In Simi Valley*, was completed in 1992, and outlines various alternatives for reclaimed water routing in the city.

LEGEND

- Existing Water Lines
- - - Proposed Water Lines



Source: Haaland Group, Inc., 1995.

WATER MASTER PLAN

EXHIBIT

Not to Scale

The primary user near the project site would be the Simi Hills golf course, located approximately 1 1/2 miles west of the Specific Plan area, down Alamo Street and identified in the Reclaimed Water Report as a user. The golf course is also in the same reclaimed service zone as the project site; the 1355 pressure zone. Extension of reclaimed lines to the golf course would facilitate and make practical use of reclaimed water for the Memorial-park area as well, with line extensions needed from the golf course to the project site.

The project irrigation system will be designed to accommodate future reclaimed water, and thus eliminate the need to use any domestic and groundwater resource water for irrigation. The timeframe, as reported by the city, for the implementation of a reclaimed system, is a range of 10-15 years from the present, well within the initial Phase I of the Mt. Sinai facilities.

4.4 Sewer Master Plan

The Simi Valley County Sanitation District will provide sewer service to the project. Existing and planned sewer facilities designed to serve the Specific Plan area are shown in Exhibit 13. As shown, existing facilities include 8 inch sewer lines in Kuehner and Flanagan Drives, and an 8-inch line in Cochran Street, south of the freeway.

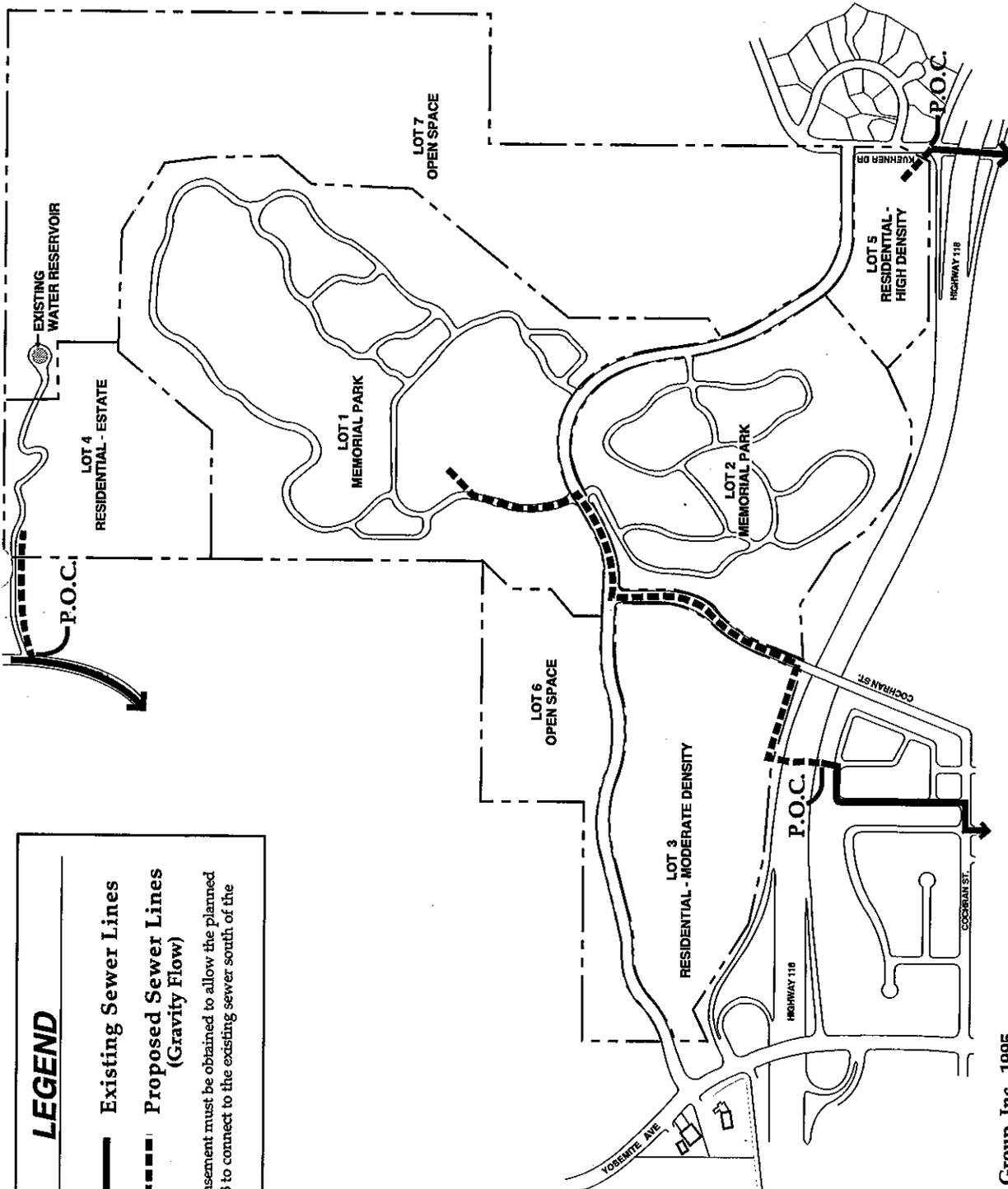
An 8-inch sewer line in Mt. Sinai Drive (formerly Douglas Drive) and Cochran Street will serve the chapel and administration complex in the Mt. Sinai Memorial-Park and the residential units in Planning Unit 3. This sewer will gravity flow under the 118 Freeway to the existing sewer located south of the 118 freeway as shown in Exhibit 13. A sewer easement is needed to connect to the existing sewer south of the freeway.

Planning Unit 5 will connect to the existing line in Kuehner Drive. The existing line in Flanagan Drive will be extended to serve the estate lots in Planning Unit 4.

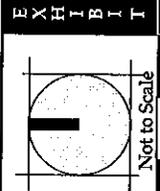
LEGEND

- Existing Sewer Lines
- - - Proposed Sewer Lines (Gravity Flow)

Note: A sewer easement must be obtained to allow the planned sewer from Lot 3 to connect to the existing sewer south of the 118 Freeway.



Source: Haaland Group, Inc., 1995.



SEWER MASTER PLAN



4.5 Other Utilities

Other utilities will be provided by the following agencies:

Electricity: Southern California Edison Company

Natural Gas: Southern California Gas Company

Telephone: Pacific Bell

Cable Television: Comcast Cable of Simi Valley

All of these utility services will be extended to the appropriate Planning Unit as development occurs with design plans approved by the appropriate agency.

5.0 DESIGN STANDARDS

The following design standards have been specifically created for the Douglas Ranch Specific Plan. As presented below, standards have been created for overall design of the entire Specific Plan area and for the individual uses planned. These standards are intended to supplement those standards contained in the Simi Valley Development Code with the following exceptions:

- Ordinance 639 Section 9-1.1604 add (n) to the list of exceptions. "Cemeteries located within a Specific Plan area in which detailed standards for cemeteries have been adopted. The adopted standards must preclude any above grade improvements, including, but not limited to, headstones, on visually prominent ridgelines and areas in excess of twenty (20) percent slope, except for below ground interments with memorial placards flush with the ground and private drives on slopes of up to thirty (30) percent. Total area of interments and private drives in slopes of between twenty (20) and thirty (30) percent cannot exceed ten (10) percent of the total cemetery area.
- The standard parking requirements of the City, found in the Section 9-1.0903 of the zoning ordinance, do not allow for tandem parking. In memorial parks, tandem parking for the chapel and administration building is required in order to allow for proper access. After a service, all vehicles travel to the interment site at the same time, rather than disbursing. Tandem parking allows for an orderly flow of traffic as the vehicles parked in one lane can immediately follow the vehicles in the other lane to the interment site after the service. A parking attendant is provided to assist in parking control. In this manner, tandem parking allows a continuous traffic flow and eliminates the potential for conflicts which would occur when many vehicles were

backing out of parking spaces at the same time. For this reason, this Specific Plan allows tandem parking for the parking lot adjacent to the chapel to provide for more orderly circulation during services at the chapel.

- Article 6 of the Simi Valley Municipal Code limits main building structures to 30 feet tall. The proposed chapel is 35 feet at its highest point. A special standard allowing for a height of 35 feet is allowed through this Specific Plan for the Chapel and Administration building only.

5.1 Specific Plan Area

The following design standards apply to the overall Specific Plan area.

Entries

The two major entries to the Specific Plan Area contain entry features consisting of landscaping and temporary project signage and shall conform to approved signage plans on file with the City's Planning Department. The plant materials used shall predominately consist of native plant materials which define and reinforce the natural characteristics of the site. The two areas where these entry treatments are required are on Mt. Sinai Drive (formerly Douglas Drive) within the Specific Plan Area, and at the east end at Kuehner Drive, in Planning Unit 5. To ensure consistency with Section 9-1.1003 (d) of the Simi Valley Municipal Code, upon sale of Planning Units 3 and 5, the temporary signage for the Mt. Sinai Memorial-Park shall be removed if Planning Units 3 and 5 are sold to ownership other than Mt. Sinai Memorial-Park. Off-site signs are prohibited.

The specific design of these entry features shall be reviewed and approved with the first Planned Development Permit Application for either Planning Unit 3 or 5. These entry treatments shall be constructed independently as part of the site improvements for Planning Units 3 and 5. Prior to development of these entry treatments, an entry sign will be placed within the Specific Plan Area on Mt. Sinai Drive (formerly Douglas Drive) identifying the Mt. Sinai Memorial-

Park. Placement of any signs or landscaping shall not obstruct the safety of pedestrians nor reduce or obstruct the driver sight distances for vehicles and shall be designed and installed in conformance with the requirements of Simi Valley Municipal Code Section 9-1.1002 (d) (7) regarding signs. Any off-site signage shall be prohibited.

Walls and Fences

The following standards for walls and fences within the Specific Plan Area shall apply:

1. Decorative fencing along the cemetery fronting Mt. Sinai Drive shall be an open design between 3' to 6' in height from finish grade.
2. Perimeter walls along the freeway shall not exceed 6' on vertical height as measured from the highest adjacent grade, unless otherwise required and approved for noise mitigation.
3. Temporary fencing shall be allowed in Memorial-Park expansion areas. In addition to this temporary fencing and the decorative fencing along Mt. Sinai Drive, decorative walls or fencing with stone pilasters similar to that designed for Mt. Sinai Drive shall be installed at the southern boundary of Planning Unit 2. This wall or fence shall be built when the first interment is placed within 200 feet of the southern boundary of Planning Unit 2.
4. Walls shall be sited and designed to not obstruct views of the hills along the freeway. In conformance with the City's Freeway Combining Zone, walls over 6 feet in height shall be prohibited along the freeway, unless otherwise required and approved for noise mitigation measures.

Landscaping

The following design standards for landscaping shall apply:

1. Pursuant to General Plan Policy IV-1.1 requiring preservation of natural geologic and scenic features, mature trees, rock outcroppings, watercourses and views shall be integrated into the design of the residential neighborhoods.
2. The project sponsor or subsequent developers shall prepare site plans, grading and landscape plans that adhere to General Plan Policies IV-2.1, IV-2.1.3 and General Plan Implementation Measure IV-U with respect to preservation of native oak trees and the City's Mature Tree Preservation Ordinance. Such plans shall be prepared pursuant to Section 9-1.801 (a) (8) of the SVMC.
3. The basic intent of the landscape concept is to enhance the unique visual qualities of the Douglas Ranch Specific Plan area. Efforts shall be made to blend architectural character with the natural character of the site. The use of drought-tolerant plant materials will help conserve water. Plant materials used should reflect the use of Simi Valley's heritage trees, including Coast Live Oaks and Valley Oaks, and other native plant materials where possible. Landscaping within the Mt. Sinai Memorial-Park shall include, but not be limited to, native plant species.
4. Development shall conform with the requirements of the City's Mature Tree Preservation Ordinance. Following completion of the required tree report for the Specific Plan area, the requirements of this ordinance will be reviewed in relationship to specific development plans filed with the required Special Use or Planned Development Permits.

Fire Standards

The following standards shall apply:

1. During construction, initial phases of development may adjoin a natural area scheduled for development in a later phase. In this case a 100 foot minimum greenbelt and/or fuel modification zone shall be provided pursuant to General Plan Safety Element Policies VIII-4.4 and VIII-4.7 and in accordance with the County of Ventura Ordinance No. 20. Such areas shall be provided around all project phases in areas as defined in the Specific Plan where future development is scheduled by the project sponsor. If initial phases of development will not be bordered by future project development, then the permanent fuel modification zone requirements shall prevail, including the use of the cemetery lawn areas.
2. A fuel modification plan shall be provided showing design of urban/wildlife interface fire mitigation systems prior to issuance of grading permits in planning areas proposed for residential uses.
3. Fire hydrants shall be installed and in service prior to combustible construction being placed on site and shall conform to the minimum standard of the Simi Valley Water Works Manual. The minimum required fire flow for the new hydrants shall be determined by the type of building construction, proximity to other structures, fire walls and fire protection devices as specified by the 1991 Uniform Fire Code Appendix III-A and adopted amendments, or more current requirements if any are in effect at the time of approval. When required by the Fire District buildings will be equipped with automatic fire sprinklers.

4. The project sponsor and/or developers of individual development projects shall be responsible for initial implementation of fuel modification zones and greenbelts within each planning area on a phase by phase basis. Implementation shall include installation of greenbelt irrigation and erosion control planting.
5. The project sponsor and/or developers of individual development projects shall be responsible for maintaining each phase of greenbelt and/or fuel modification zone areas until responsibility is transferred to a master of local homeowners association or property management firm.
6. Fuel modification zones required by General Plan Safety Element Policies VIII-4-4 and VIII-4.7 and the Uniform Fire Code shall be established prior to construction in each planning area. Fencing within the fuel modification zones shall be made of non-combustible materials.
7. Roofing materials of all structures shall be concrete, clay tile or other materials approved by the Fire Marshall for use in high fire hazard areas, pursuant to General Plan Safety Element Policies VIII-4.2 and VIII-4.3 and the most recently adopted edition of the Uniform Building Code, for residential development and structures in the Memorial-Park and shall be shown on construction drawings.
8. The Ventura County Fire Protection District will review and approve circulation and building design to conform with the District's Fire ordinance.

5.2 Memorial-Park

Development shall comply with the following design standards:

General

1. Buildings associated with the Memorial-Park and associated grounds shall be landscaped to minimize visual impacts to motorists on the Simi Valley 118 Freeway and adjacent properties as specified in Section 9-1.801 (a) (1) of the SVMC.
2. Natural scenic features such as riparian habitat, stands of mature trees, oak trees, rock outcroppings and hilly terrain shall be preserved and integrated into the project design. Areas to be preserved shall include those areas identified in the wetland and streambed alteration permits issued under Section 404 of the Clean Water Act and Section 1600 of the California Fish and Game Code, and areas as described in Policy IV-1.1 and Policy IV-1.1.1 of the Open Space/Conservation Element of the Simi Valley General Plan.
3. Memorial-Park landscaping shall include native trees and plant materials along with lawn in the grave site area. More formalized landscaping may be used at the Chapel and Administration Complex including non-native annuals, and other flowering plants in addition to native trees.
4. Although impacts are considered negligible, the project sponsor shall use proper lighting techniques, as required by the City's Minimum Building Security Code Ordinance No. 486 to direct on site light away from existing and future surrounding land uses.
5. The Mt. Sinai Memorial-Park will include a prohibition of crematory facilities.

Relationship to Hillside
Performance Standards

The character of the hillsides on the site are considered an amenity for the Memorial-Park. The Memorial-Park is an open space use that is visually compatible with the existing hillsides and surrounding on and off-site land uses. Exhibit 14

shows the slope characteristics of Planning Units 1 and 2 and Exhibit 15 shows the impacts of the Memorial-Park on the slopes on the site. As shown in Exhibit 15, there will be limited intrusions into the steeper areas of the site. In area with slopes of twenty (20) percent or greater, no above ground improvements, other than landscaping, will occur. Given these unique characteristics of the Memorial-Park, Ordinance 639, Section 9-1.1604 (n) which lists exceptions to the City's Hillside Performance Standards, includes a limited exception for cemetery uses. The Mt. Sinai Memorial-Park has been designed in conformance with the provision of this section.

5.3 Residential

General

1. All residences (either single or multi-family) shall be plumbed for solar hot water heating as suggested by the Ventura County Air Pollution Control District.
2. The High Density dwelling units allowed in Planning Unit 5 shall be clustered to preserve mature trees as much as possible.

Architectural Standards

The 3 Planning Units in the Specific Plan area where residential development is allowed are separated by the open space areas within the project and will contain different types and densities of development. The intent of these guidelines is to allow each of these areas to have a distinct design identify within an overall framework created to ensure that all residential development complements the scenic and natural qualities of the site. All residential development shall be designed to be consistent with the following general design standards:

1. Roofing materials shall be terra cotta in color. Asphalt roofing materials shall be prohibited.

2. Fencing shall not obstruct views and may be of varied materials and/or colors.
3. The finish color of any site walls shall be natural earth tones. Limited accent colors of compatible tones may be permitted.
4. Building forms for the High Density residential development in Planning Unit 5 shall have varied setbacks to create an interesting street scene. The use of architectural detailing, i.e., projections, massing, materials, etc. shall also be incorporated to break up the exterior elevations.
5. Parking stalls within the High Density residential area in Planning Unit 5 shall be grouped to preserve common areas and limit vehicular circulation.
6. Roof lines shall slope to complement the slope of the surrounding natural topography.
7. Trees shall be used where buildings exceed two stories in height to reduce the visual massing of the structures.
8. A pedestrian circulation system shall be developed within Planning Units 3 and 5 to provide for internal circulation and connections to the trail system.
9. The density bonus provisions of the General Plan and the State requirements for density bonus, Government Code Section 65915 shall be applicable to the development of the Douglas Ranch Specific Plan and may be proposed at the Planned Development stage.
10. Individual residential units shall not have singular direct access to Mt. Sinai Drive (formerly Douglas Drive), Kuehner Road or the extension of Cochran Street.

6.0 IMPLEMENTATION

Pursuant to Article 17 of the Simi Valley Municipal Code which establishes procedures for the adoption and implementation of Specific Plans, the Douglas Ranch Specific Plan shall be implemented pursuant to the standards procedures of the Simi Valley Municipal Code, unless otherwise established in this Specific Plan. This section sets forth the implementation procedures for each Planning Unit in the Douglas Ranch Specific Plan area where development is allowed. Section 6.2 defines the infrastructure phasing. It should be noted that this phasing plan and schedule are only preliminary, and that final phasing will be subject to approval by the City Engineer prior to approval of each phase.

6.1 Project Review and Permit Procedures

Development within the Douglas Ranch Specific Plan area shall be subject to the following procedures:

Planning Units 1 and 2 Memorial-Park

A Special Use Permit (SUP) for the cemetery uses allowed in Planning Units 1 and 2 is required prior to any development or use of the property in these Planning Units.

This SUP shall define the specific design of the Chapel and Administration Complex and the layout of the private Memorial-Park roads.

In order to streamline and reduce city review time, a master grading plan will be prepared for the entire park area, and base all future work on this plan for the duration of the project. Expansion of the interment area is slow, and ranges approximately 1/2 - 1 acre per year, depending on expansion needs and necessary private road access improvements needed to serve the area.

Planning Units 3, 4 and 5
Residential Use.

A Planned Development permit, CD permit, or SUP must be issued by the City of Simi Valley prior to the development of any residential area within the Specific Plan area. The conditions of approval for these permits will set precise requirements and standards for each of those developments. The review process and the conditions of approval will ensure that the developments are consistent with the approved Specific Plan.

Planning Units 6 and 7
Open Space

These Planning Units will be dedicated to the Rancho Simi Recreation and Park District for public and permanent open space use. The City's standards for the open space zoning designation shall apply to these Planning Units.

6.2 Infrastructure Requirements

The infrastructure for the Douglas Ranch Specific Plan area has been designed to allow for independent development of the Planning Units. The infrastructure required to be installed to support development of each planning unit is detailed on the following pages. For each Planning Unit, the required improvements are shown on a separate page followed by an exhibit showing the location of these improvements.

**INFRASTRUCTURE REQUIREMENTS FOR
PLANNING UNIT 1**

Circulation

Construct Mt. Sinai Drive from Yosemite Avenue to the western boundary of Planning Unit 3.

Construct a temporary roadway in the general alignment of Mt. Sinai Drive from the western boundary of Planning Unit 3 to the western entrance of the Mt. Sinai Memorial-Park.

Bond for the installation of Mt. Sinai Drive improvements adjacent to Planning Units 1 and 2.

Construct a temporary emergency vehicle access road in the alignment of the planned extension of Cochran Street.

Construct within Planning Unit 1 the westerly drive entry into the administrative area and site improvements to serve the facility.

Water

Construct a temporary water line from the Flanagan Drive water tank to service the Memorial-Park.

Dedicate the reservoir site for the water district 1248 zone reservoir.

Sewer

Install a holding tank to service the Memorial-Park administrative buildings.

Extend sewers to the Memorial-Park at the time of construction of the extension of Mt. Sinai Drive to the western entrance of the Memorial-Park.

Drainage

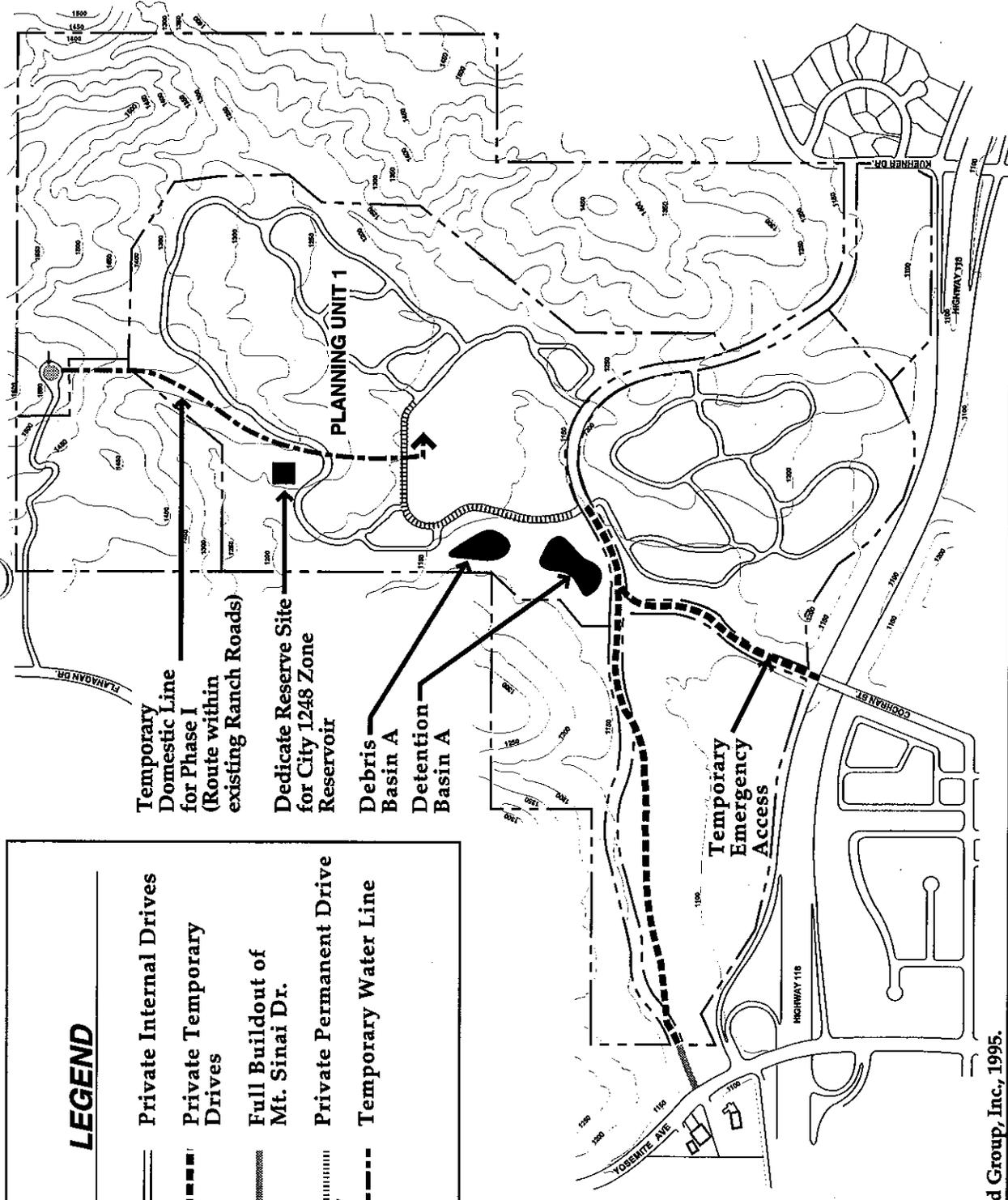
Construct Debris Basin A and Detention Basin A along with the storm drain outlet facilities under Mt. Sinai Drive.

Trails & Open Space

Construct a trail from Flanagan Drive to the eastern boundary of Planning Unit 4.

Dedicate Planning Units 6 and 7 to the Rancho Simi Recreation and Park District.

Dedicate all trail easements within Planning Unit 1 to the Rancho Simi Recreation and Park District.



Source: Haaland Group, Inc., 1995.

INFRASTRUCTURE IMPROVEMENTS REQUIRED FOR DEVELOPMENT OF PLANNING UNIT 1

**INFRASTRUCTURE REQUIREMENTS FOR
PLANNING UNIT 3**

Circulation

Construct Mt. Sinai Drive from the western boundary line of Planning Unit 3 to Cochran Street.

Construct Cochran Street from Mt. Sinai Drive to the 118 Freeway.

Water

Install the water tank for the reservoir site 1248 zone reservoir.

Sewer

Construct the sewer in Cochran Street from Mt. Sinai Drive to the 118 Freeway and extend the sewer under the freeway to connect to the existing sewer south of the freeway as shown in Exhibit 18. A sewer easement is needed to connect to the existing sewer south of the freeway.

Drainage

As required to support tract development.

Trails

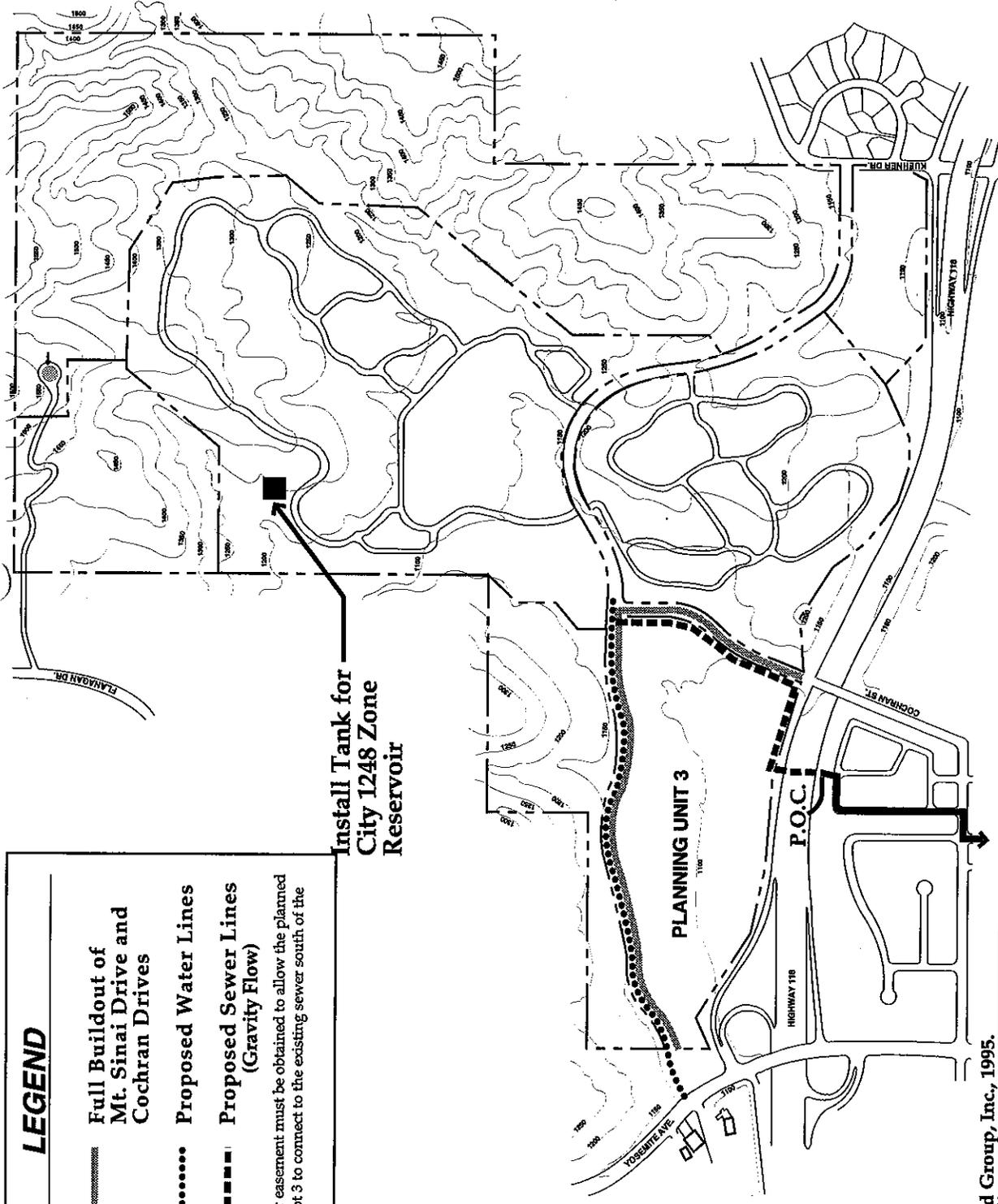
None

LEGEND

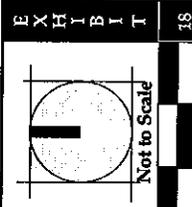
- Full Buildout of Mt. Sinai Drive and Cochran Drives
- Proposed Water Lines
- Proposed Sewer Lines (Gravity Flow)

Note: A sewer easement must be obtained to allow the planned sewer from Lot 3 to connect to the existing sewer south of the 118 Freeway.

Install Tank for City 1248 Zone Reservoir



Source: Haaland Group, Inc., 1995.



INFRASTRUCTURE IMPROVEMENTS REQUIRED FOR DEVELOPMENT OF PLANNING UNIT 3

**INFRASTRUCTURE REQUIREMENTS FOR
PLANNING UNIT 4**

Circulation

Construct private street from Flanagan Drive easterly to the property line.

It has been determined that Planning Unit Four requires both primary and secondary access to Yosemite Avenue. Therefore, as a prerequisite to any subdivision of Planning Unit Four, a second access from Planning Unit Four's Flanagan Drive easement to Yosemite Avenue shall be established. Subdivision of Planning Unit Four shall not occur without both primary and secondary accesses.

Water

Construct water line in Flanagan Drive easterly to the property line.

Sewer

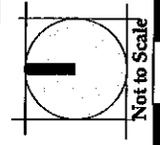
Construct sewer line in Flanagan Drive easterly to the property line.

Drainage

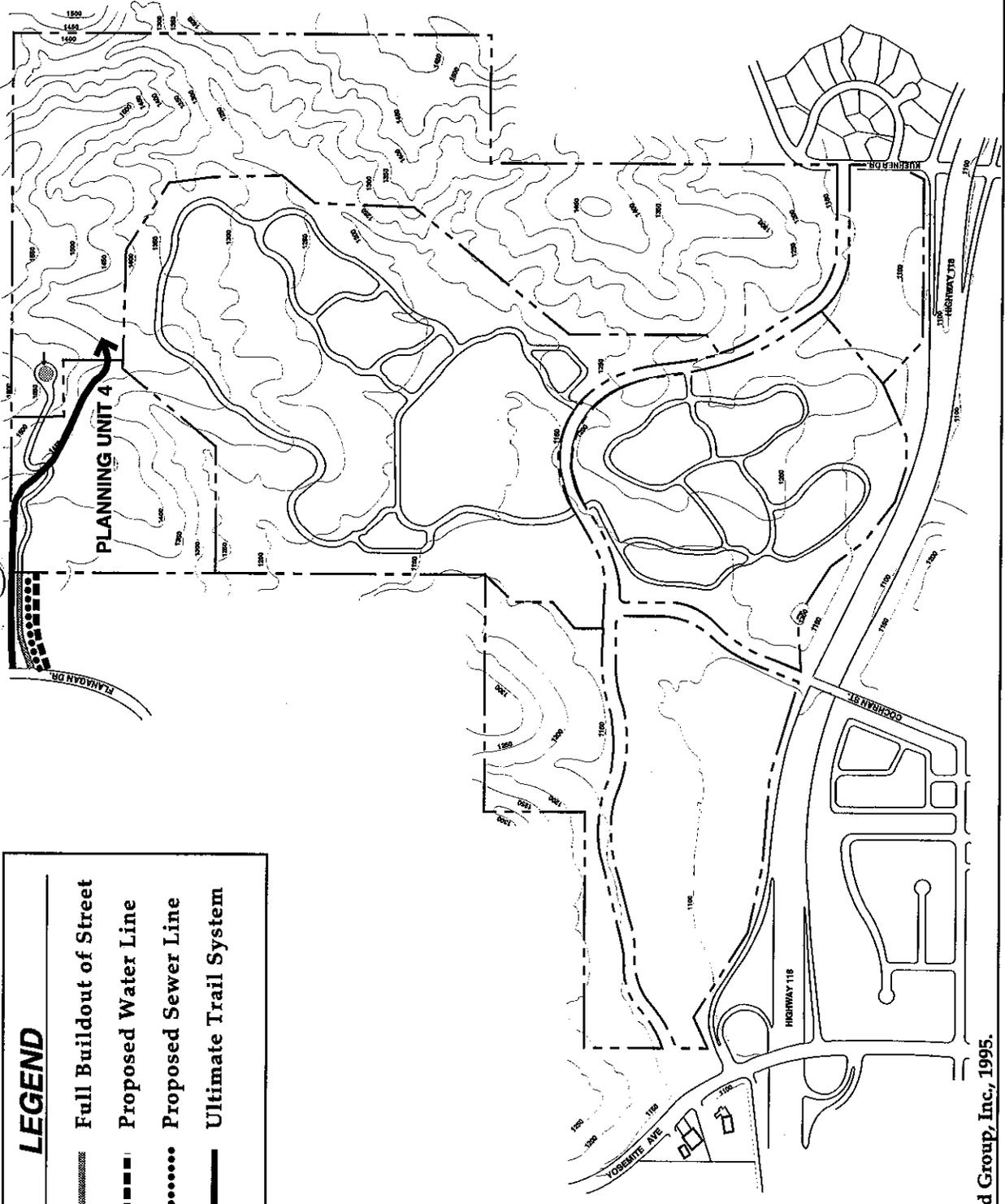
As required to support tract development.

Trails

Construct permanent trail from Flanagan Drive to the western boundary of Planning Unit 6.



INFRASTRUCTURE IMPROVEMENTS REQUIRED FOR DEVELOPMENT OF PLANNING UNIT 4



LEGEND

- Full Buildout of Street
- - - Proposed Water Line
- Proposed Sewer Line
- Ultimate Trail System

Source: Haaland Group, Inc., 1995.

**INFRASTRUCTURE REQUIREMENTS FOR
PLANNING UNIT 5**

Circulation

Construct Mt. Sinai Drive from Kuehner Drive to the western boundary of Planning Unit 5.

Construct full street improvements for the western half of Kuehner Drive and repave the eastern half from Mt. Sinai Drive to the 118 freeway.

Water

Construct water line in Mt. Sinai Drive from Kuehner Drive to the western boundary of Planning Unit 5.

Construct water line in Kuehner Drive from the 118 Freeway to Mt. Sinai Drive.

Sewer

Construct sewer line in Kuehner Drive from Mt. Sinai Drive to the 118 freeway.

Drainage

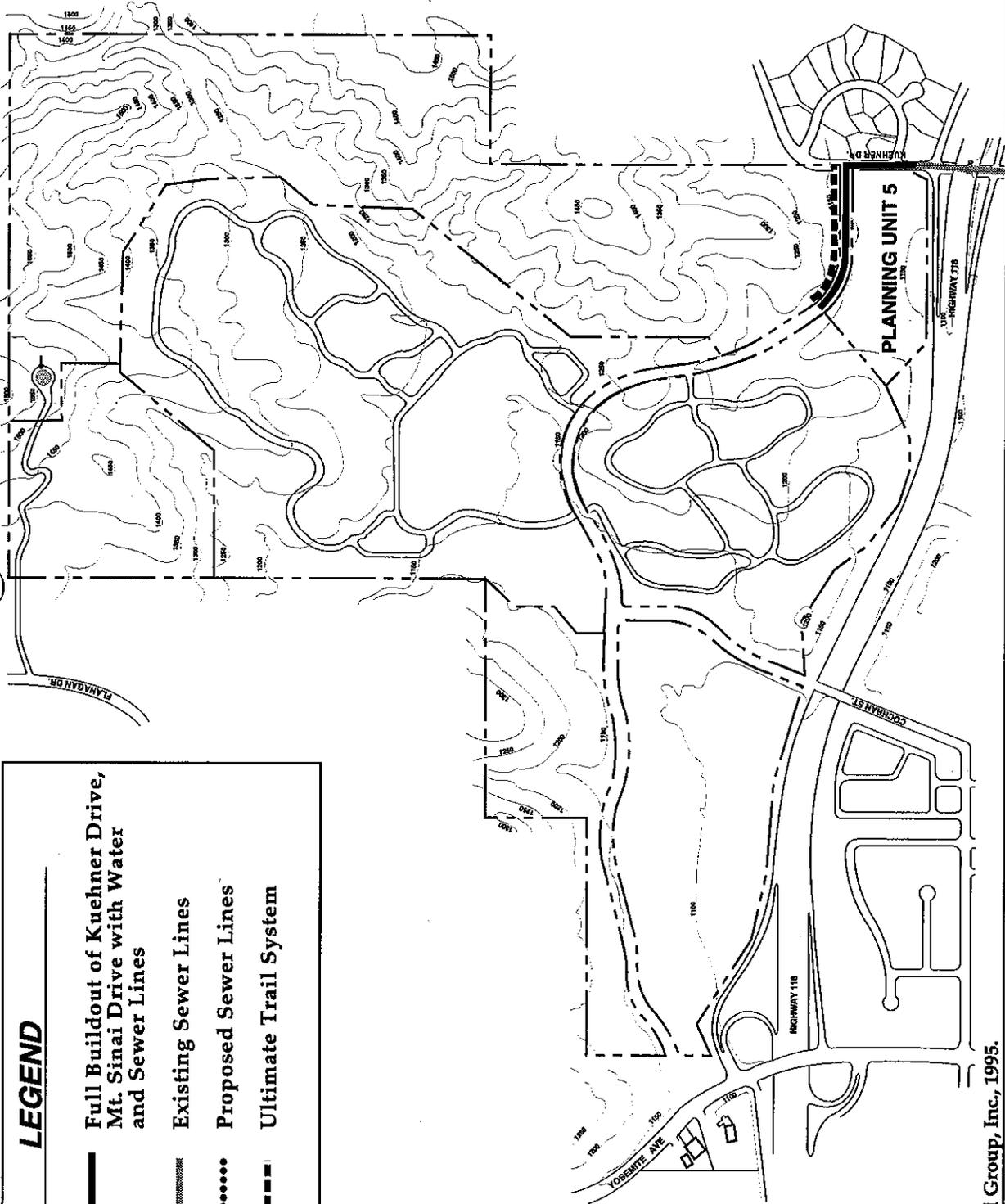
As required to support tract development.

Trails

Construct permanent trail along Mt. Sinai Drive from Kuehner Drive to the western boundary of Planning Unit 5.

LEGEND

- Full Buildout of Kuehner Drive, Mt. Sinai Drive with Water and Sewer Lines
- Existing Sewer Lines
- Proposed Sewer Lines
- - - - Ultimate Trail System



Source: Haaland Group, Inc., 1995.

INFRASTRUCTURE IMPROVEMENTS REQUIRED FOR DEVELOPMENT OF PLANNING UNIT 5



6.3 Specific Plan Amendment
Procedures

Application for any amendment to this Specific Plan shall be filed with the Department of Environmental Services on the appropriate forms provided. The review and amendment of the Specific Plan shall be conducted in pursuant to Section 65450 et seq. of the California Government Code.

An Amendment to the Douglas Ranch Specific Plan shall be approved by the City of Simi Valley in order to accomplish any of the following:

1. A change in land use for any area within the boundaries of the Specific Plan;
2. Approval of any Planned Development permit which is not consistent with the standards established by the Specific Plan.

6.4 Financing

The intent of the applicant is to utilize private financing for the development of the Mt. Sinai Memorial-Park and all associated onsite and offsite improvements.

It is also anticipated that private financing will be used for development of the three residential planning units. This Specific Plan does not preclude use of public financing mechanisms, such as formation of a Community Facilities District or Assessment District, subject the review and approval of the City of Simi Valley.

6.5 Mitigation Monitoring
Program

Through the environmental review process conducted for the General Plan Amendment and Zone Change related to the Mt. Sinai Memorial-Park proposal, measures were formulated to mitigate the identified environmental impacts. These mitigation measures are contained in a Mitigation Monitoring Program adopted at the time of approval of the General Plan Amendment and Zone Change. The timing and agency

responsible for implementing these mitigation measures is defined in the Mitigation Monitoring Program, which is presented below. If additional mitigation measure are required after further environmental review, a monitoring program will be developed as appropriate.

The Master Environmental Impact Report (MEIR) prepared for GPA 18/Z-S-432 identifies potential environmental impacts related to project development. The MEIR also defines mitigation measures to reduce or eliminate the significance of those impacts. To ensure that those mitigation measures are implemented, a mitigation monitoring program is hereby established. The mitigation monitoring program establishes time limits for the completion of the required mitigation measures. There are five (5) significant checkpoints in the development process (following development permit approval) which permit monitoring of mitigation measures. While all of these checkpoints relate to subsequent approvals and the actions following them, it is appropriate to adopt this mitigation monitoring program in conjunction with the action on the GPA/Zone Change to chart a course for the specific measures that will be reviewed with these subsequent actions.

At the time a Planned Development Permit (PD), Cluster Development Permit (CD), or Special Use Permit (SUP) is considered, the City reserves the right to require the payment of service fees necessary to cover the cost of providing mitigation monitoring services, consistent with the appropriate schedule of service charges in effect at the time the fees are due. Each mitigation measure shall be assigned a "Compliance With Mitigation Measure Category" as follows:

COMPLIANCE CATEGORY

A (CC-A), GRADING PERMITS:

Where a "CC-A" (Prior to Issuance of the Grading Permit) is assigned to a condition, the Director of Environmental Services or his/her designee will provide review time for, and then consult with, the Department of Public Works. Grading Permits

shall only be issued after the City's determination that there has been compliance with the stated condition. Reporting to the file before issuance of a grading permit and again after grading has been completed shall be the responsibility of the project case planner.

COMPLIANCE CATEGORY

B (CC-B), ZONING CLEARANCES: Where a "CC-B" (Prior to Issuance of a Zoning Clearance) is assigned to a condition, the case Planner, the environmental Planner, and the Director of Environmental Services or her/his designee shall review these conditions and the proposed project to ensure compliance. This review can require proof of compliance by way of documentation and/or a site inspection. A Zoning Clearance shall only be issued after the City's determination that there has been compliance with the stated condition. (A check-box is included on the Zoning Clearance form to ensure that the Monitoring Plan has been reviewed prior to issuance.) Reporting to the file prior to the issuance of a Zoning Clearance and before issuance of an Electrical Clearance or Certificate of Occupancy shall be the responsibility of the project case planner.

COMPLIANCE CATEGORY

C (CC-C), BUILDING PERMITS: Where a "CC-C" (Prior to Issuance of Building Permits) is assigned to a condition, the Director of Environmental Services or his/her designee shall provide review time for, and then consult with, the Department of Public Works/Building and Safety Division. Building permits shall only be issued after the City's determination that there has been compliance with the stated condition. Reporting to the file shall be the responsibility of the project case planner.

COMPLIANCE CATEGORY

D (CC-D), ELECTRICAL CLEARANCES

OR CERTIFICATES

OF OCCUPANCY:

Where a "CC-D" (Prior to Issuance of Electrical Clearances) is assigned to a mitigation measure, the Director of Environmental Services or her/his designee shall coordinate with the Building Official to ensure compliance with the mitigation measure. If there has not been compliance, the Building Official shall not issue an Electrical Clearance or Certificate of Occupancy. Reporting to the file shall be the responsibility of the project case planner.

COMPLIANCE CATEGORY

E (CC-E), PLANNED DEVELOPMENT

PERMIT, CLUSTER DEVELOPMENT

PERMIT, OR SPECIAL USE PERMIT:

Where a "CC-E" is assigned to a condition (mitigation measure), the Director of Environmental Services or her/his designee shall ensure that the Planning Commission staff report incorporates the mitigation measure into the "conditions of approval" for the Planning Commission to consider for adoption, with the explanation that the measure was approved as part of the General Plan Amendment and Zone Change for the site. The Mitigation Monitoring Plan for these permits shall identify the Compliance Category for implementation of the measure. Reporting to the file shall be the responsibility of the project case planner.

COMPLIANCE CATEGORY

O (CC-O), OTHER:

Where a "CC-O" (Other) is assigned to a mitigation measure, specific assignment of responsibility for monitoring compliance with that measure will be appended thereto. Reporting to the file shall be the responsibility of the project case planner.

Mitigation Measures:

The mitigation measures listed below are identified using the same letter designations that were applied to the issue areas in the discussion of environmental impacts in Chapter 4 of the MEIR. The number designations refer to specific impacts discussed within those issue area sections. These designations are maintained for convenience in cross-referencing.

A. Land Use and Planning

A-1.1.

Deleted per City Council.

A-1.2.

CC-E. The project sponsor, or subsequent applicants for residential projects, shall adhere to the seven (7) single family detached dwelling units per acre (the top of the development range) maximum density in planning areas A, B, and C. Planning Area E may be developed at High Density standards, but not to exceed 115 units. This would limit the residential development to seven (7) dwelling units per acre or a maximum of 139 dwelling units in planning area A, 43 dwelling units in planning area B, and 138 dwelling units in planning area C.

A-1.3

CC-E. The project sponsor, or subsequent applicants for residential projects, shall adhere to the community wide General Plan Goals and Policies for residential developments as follows:

- Provide a wide choice of housing featuring a range of styles, types, densities and amenities. (Housing Element, pg. 5.67)
- Provide densities in an overall mix of 80% single-family and 20% multi-family, except for senior housing which is exempt from meeting the 80/20 housing mix policy pursuant to the Housing Element of the General Plan. (Housing Element, pg. 5.67)

A-3.1.

CC-B. Prior to issuance of a Zoning Clearance that would allow development to proceed in any of the residential planning areas, the project sponsor or subsequent applicants for residential development projects, shall dedicate public park facilities in an amount consistent with the Rancho Simi Recreation and Park District standard (5 acres per 1000 persons) or pay fees in lieu of land dedication to the Park District based on the number and type of dwelling units proposed in subsequent development applications as stipulated in the City's Parkland Dedication Ordinance (No. 772). Construction of the park facilities (if applicable) shall be according to the following criteria:

- Facilities shall be in or adjacent to residential planning areas of the project site;
- Facilities must be accessible by pedestrians/autos from major streets and local neighborhoods; and
- Facilities shall be adjacent to public open space and be connected to public trails systems.

A-3.2.

CC-B. Prior to issuance of a Zoning Clearance in any planning area, including planning area D - the Memorial-Park, the project sponsor, and/or subsequent applicants for residential projects, shall dedicate the easements and provide for construction of multipurpose public recreation trails on the project site pursuant to the Trail Standards provided in Appendix E of the Simi Valley General Plan.

A-3.3.

CC-E. Prior to tract map or site plan approval for any development activity in planning area F, the project sponsor, or subsequent applicants for development of this planning area shall obtain an access easement or roadway dedication from the

adjoining property owner to provide secondary access as specified by General Plan Safety Element Policy VIII-4.10.2, VIII-4-10.45 and Circulation Element Implementation Measure VII-H.

A-4.1. CC-E. Buildings associated with the Memorial-Park and associated grounds shall be landscaped to minimize visual impacts to motorists on the Simi Valley 118 Freeway and adjacent properties as specified in Section 9-1.801 (a)(1) of the SVMC.

A-4.2. CC-E. Natural scenic features such as riparian habitat, stands of mature trees, solitary oak trees, rock outcroppings and hilly terrain shall be preserved and integrated into the project design. Areas to be preserved shall be determined by the grading limitations contained in Section 9-1.1611 of the SVMC (Hillside Performance Standards), Section 404 of the Clean Water Act, and Policy IV-1.1 and Policy IV-1.1.1 of the Open Space/Conservation Element of the Simi Valley General Plan.

A-4.3. CC-B. Although impacts are considered negligible, the project sponsor shall use proper lighting techniques, as required by the City's Minimum Building Security Code Ordinance No. 486 to direct on site light away from existing and future surrounding land uses.

A-5.1. CC-E. The project sponsor or subsequent developers shall prepare design guidelines for residential developments in order to minimize visual and aesthetic impacts. Project design guidelines shall address all items as specified in Sections 9-1.801 (a) and 9-1.802 (a), (b) and (c) of the SVMC.

A-5.2. CC-E. Natural scenic features such as mature trees, rock outcroppings, watercourses and views shall be integrated into the design of the residential neighborhoods to promote preservation of natural geologic and scenic features as required pursuant to General Plan Policy IV-1.1.

A-5.3. CC-A. Fuel modification zones shall double as green belts pursuant to General Plan Safety Element Policy VIII-4.4 and VIII-4.7. A landscape plan, that includes these zones shall be submitted and approved prior to issuance of grading permits for residential development. Such landscaping plans shall be submitted pursuant to the City's Landscape Submittal Requirements.

A-5.4. CC-B. A lighting plan for street lighting and lighting of entrances to planning areas shall be submitted and approved prior to issuance of a Zoning Clearance in each residential planning area. Such plans shall be designed in accordance with the City's Minimum Building Security Code (Ordinance 486) and the City's Street Lighting Master Plan.

A-5.5. CC-E. Residential development shall be oriented so that a solid line of houses is not created in planning areas A through C as required by General Plan Policies III-1.6.3 and III-1.7. Clustering of units shall be achieved by grouping of units and providing open space separations. Buildings shall be oriented so that units have varying setbacks to provide for vertical and horizontal articulation (variety).

B. Biological Resources

B-1.1. CC-E. The project sponsor or subsequent developers shall prepare site plans, grading and landscape plans that show the developers' intent to adhere to General Plan Policies IV-2.1, IV-2.1.3 and General Plan Implementation Measure IV-U with respect to preservation of native oak trees and the City's Mature Tree Preservation Ordinance. Such plans shall be prepared pursuant to Section 9-1.1501 and 9-1.801 (a)(8) of the SVMC.

B-2.1.

CC-E. The detention basins must be located and designed to avoid or minimize loss of riparian habitat as specified in General Plan Policies IV-2.6 and IV-2.6.3 and General Plan Implementation Measure IV-B. Where it is found not to be feasible to avoid impacts, the project shall incorporate measures for the restoration and replacement of damaged or destroyed riparian areas pursuant to Section 9-1.801.(a)(23) of the SVMC. Such compensation measures shall be incorporated into project designs submitted with applications for land use entitlements undertaken pursuant to the project GPA, and are subject to the review and approval of the U.S. Army Corps of Engineers, California Department of Fish and Game, and the Deputy Director/Advanced Planning, Department of Environmental Services, as specified in mitigation measures B-2.2 and B-2.3, below.

B-2.2.

CC-E. The applicant shall consult with the U.S. Army Corps of Engineers concerning appropriate measures for mitigation of the loss of wetlands and riparian habitat resulting from construction on the project site; shall include those specific mitigation measures as integral components of project design in any Special Use Permit (SUP), Planned Development or Cluster Development (PD or CD) Permit, Land Division (LD) or Tentative or Vesting Tentative Tract Map (TT or VTT) application which is filed pursuant to the GPA; and shall obtain a permit pursuant to Section 404 of the Clean Water Act from that agency prior to doing any grading within the project area as required by General Plan Policies IV-2.6 and IV-2.6.3 and General Plan Implementation Measure IV-B. In concert with the U.S. Army Corps of Engineers, the applicant will mitigate those impacts on wetland and riparian wildlife habitats, especially willow riparian habitats, which are disturbed by any project action which is undertaken pursuant to the GPA as specified by SVMC Section 9-1.802(a)(23). All restoration work shall be completed and approved by the U.S.

Army Corps of Engineers and the Deputy Director/Advanced Planning, Department of Environmental Services, within two (2) years after the approval of any permit which involves construction disturbances of habitat on the project site.

B-2.3.

CC-E. The applicant shall consult with the California Department of Fish and Game concerning appropriate measures for mitigation of the loss of wetland, riparian and upland wildlife habitat resulting from construction on the project site; shall include those specific mitigation measures as integral components of project design in any special use permit (SUP), planned development or cluster development (PD or CD) permit, land division (LD) or tentative tract map (TT or VTT) application which is filed pursuant to any grading within the project area. In concert with the California Department of Fish and Game, the applicant will mitigate impacts on wetland, riparian and upland wildlife habitats, especially willow riparian habitats, which are disturbed by the project actin which is undertaken pursuant to the GPA. All restoration work shall be completed to the satisfaction of, and approved by the Department of Fish and Game and the Deputy Director/Advanced Planning, Department of Environmental Services, within two (2) years after the approval of any permit which involves construction disturbances of habitat on the project site.

B-5.1.

CC-E. Spring floral surveys shall be conducted for sensitive plant species prior to the issuance of grading permits for any development project on-site. The results of these surveys shall establish presence/absence of sensitive species. Sensitive plants are those listed in the California Department of Fish and Game Special Plants List (August 1993). Recommendations for their preservation shall be incorporated into any development plan submitted to the City.

- B-6.1. CC-E. A spring survey shall be conducted by the project sponsor to determine the presence or absence of sensitive wildlife species prior to the issuance of grading permits for any development plan submitted on the project site. Recommendations for their preservation shall be incorporated into any development plan submitted to the City.

C. Geology/Soils/Seismicity

- C-1.1. CC-A. Prior to issuance of grading permits for specific development projects on the project site, a site-specific geotechnical investigation shall be conducted in each planning area in accordance with the City's guidelines for Geotechnical and Geological Reports. The investigation shall include studies to determine potential ground acceleration at the building site, the appropriate method of site development to prevent differential settlement, the potential for displacement caused by seismically induced vibration, liquefaction, soil densification, or other earth movements as specified by General Plan Safety Element Policy VIII-6.10 and General Plan Implementation Measures VIII-F, G, H and I. The project sponsor, or subsequent applicants for residential projects, shall follow the recommendations for building foundations set by the geotechnical consultant in the report prepared specifically for the proposed project.

- C-1.2. CC-A. The alteration of the natural topography shall be minimized and the overall shape, height and grade of any cut and fill shall be designed according to the City's Hillside Performance Standards.

- C-1.3. CC-A. Soil and sediment control plans shall be prepared in conjunction with grading plans for each planning area, in accordance with requirements of the City's Grading Ordinance and Chapter 70 of the UBC subject to approval by the City Engineer. Plans may include provisions for revegetation of graded areas particularly cut and fill slopes, to control erosion.

C-2.1. CC-A. Prior to issuance of grading permits for any development project within planning areas subject to settlement, the applicant shall conduct subsurface soil and foundation studies in accordance with the City's adopted Guidelines for Geotechnical and Geological Reports. These reports shall include recommendations for building foundation design. Recommendations set forth in these studies shall be followed in each planning area.

C-2.2. CC-C. All construction on the project site shall comply with the current provisions of Title 24 of the California Administrative Code and would comply with the most recently adopted edition of the Uniform Building Code. Conformance shall be shown on construction drawings.

C-2.3. CC-C. All developments within each planning area shall conform to the Safety Element of the Simi Valley General Plan, the Municipal Code, and seismic safety requirements of the Building and Safety Division. Conformance shall be shown on construction drawings.

C-4.2. CC-C. All structures shall be constructed to resist seismic shaking in accordance with the City's Codes including the UBC.

C-5.1. CC-A. Any geotechnical report prepared for the project shall address the issue of liquefaction of subsoils. Recommendations set forth in these studies shall be followed in each planning area.

Mitigation measures for the preparation of geotechnical, soils and foundation studies shall apply to the issue of liquefaction as well. These measures will reduce this impact to less than significant.

C-6.1.

CC-A. In order to protect buildings, streets and utility systems from damage due to landslides, debris flows and rock slides, a registered engineering geologist shall be employed by the project sponsor to identify specific remediation techniques in areas where slope stability is a concern prior to issuance of grading permits. These recommendations shall be prepared in conformance with the City's Grading Ordinance, Chapter 70 of the UBC and may include use of stabilization grading, buttress fills, subdrains, and the removal of unsuitable soils. Recommendations may also include the redesign of planning areas or a reduction in the number of units proposed to move or eliminate structures, and other areas of human occupation, away from geologic hazards.

D. Wild Fire Hazard

D-1.1.

CC-B. During construction, initial phases of development may adjoin a natural area scheduled for development in a later phase. In this case, a 100 foot minimum greenbelt and/or fuel modification zone shall be provided pursuant to General Plan Safety Element Policies VIII-4.4 and VIII-4.7 and in accordance with the County of Ventura Ordinance No. 20 (Section 11.701 of the Uniform Fire Code - Weed Abatement). Such areas shall be provided around all project phases in areas as defined in the Specific Plan where future development is scheduled by the project sponsor. If initial phases of development will not be bordered by future project development, then the permanent fuel modification zone requirements shall prevail.

D-2.1.

CC-B. A Fuel Modification Plan shall be provided by the project sponsor showing design of urban/wildland interface fire mitigation systems prior to the issuance of grading permits in planning areas proposed for residential uses as required by General Plan Policy VIII-4.6. This plan shall modify and eliminate vegetation as necessary to provide protection

pursuant to the Uniform Fire Code and General Plan Safety Element Policy VIII-4.4. The Plan shall be approved by the County Fire District prior to recordation of final maps pursuant to the requirements of the Uniform Fire Code.

D-2.2.

CC-B. Under the Fuel Modification Plan required pursuant to General Plan Safety Element Policies VIII-4.4 and VIII-4.7, non-native grasses shall be modified, mowed, removed, replaced or thinned within the identified areas to accomplish fuel management as required by Section 11.701 of the Uniform Fire Code. The method for achieving the required percentage of fuel reduction within the fuel modification zones may include both manual removal and/or use of selective herbicides. Pellet forms of herbicides shall be handled with extreme care to prevent leaching into soil or subsequent transmission into drainage courses and water bodies. The Regional Water Quality Control Board shall be contacted for review and approval prior to their use.

D-2.3.

CC-B. Hydroseeding with native grasses may also be used to reduce visual impacts of fuel reduction. Aesthetic and erosion control considerations as specified by General Plan Safety Element Policies VIII-4.4 and VIII-4.7 and the City's Grading Ordinance, shall be incorporated into the specific design and fuel modification areas shown on a preliminary landscape plan that shall be submitted with the Final Development Plan, Tentative Parcel Map or Tentative Tract Map for each construction phase.

D-2.4.

CC-B. The project sponsor and/or developers of respective developments shall be responsible for the initial implementation of fuel modification zones and greenbelts within each planning area on a phase by phase basis. Implementation shall include installation of greenbelt irrigation and erosion control planting.

- D-2.5. CC-B. The project sponsor and/or developers of individual development projects shall be responsible for maintaining each phase of greenbelt and/or fuel modification zone areas until responsibility is transferred to a master or local homeowners association or property management firm.
- D-2.6. CC-B. Fuel modification zones required by General Plan Safety Element Policies VIII-4.4 and VIII-4.7 and the Uniform Fire Code, shall be established prior to construction in each planning area. Fencing within the fuel modification zones shall be made of non combustible materials.
- D-2.7. CC-A. The project sponsor shall submit a fire control plan pursuant to the Uniform Fire Code and General Plan Safety Element Policies VIII-4.2, VIII-4.6, VIII-4.10.1 and Implementation Measure VIII-VV. Such plan shall be approved by the Ventura County Fire Protection District prior to approval of any Planned Development or Special Use Permit.
- D-2.8. CC-B. Water improvement plans shall meet the required fire flow specified by General Plan Safety Element Policy VIII-4.5 and the Uniform Fire Code. Such plans shall be approved by the County Fire Prevention Officer prior to issuance of building permits.
- D-2.9. CC-B. Roofing materials of all structures shall be concrete, clay tile or other materials approved by the Fire Marshall for use in high fire hazard areas, pursuant to General Plan Safety Element Policies VIII-4.2 and VIII-4.3 and the most recently adopted edition of the Uniform Building Code, for residential development and structures in the Memorial-Park and shall be shown on construction drawings.

D-2.10. CC-B. The project sponsor or subsequent developers shall construct all roads to city standards to ensure that response time for the first arriving fire engine is kept to under five minutes to control the potential spread of wildland fires.

D-2.11. CC-B. The Ventura County Fire Protection District, pursuant to Ventura County Ordinance No. 20, enforces the maintenance of fuel modification zones and the maintenance and irrigation of greenbelt areas. The maintenance program for fuel modification zones and greenbelts, including the frequency of fuel modification, shall be as specified in General Plan Safety Element Policy VIII-4.4 and the Uniform Fire Code and approved by the Ventura County Fire Protection District.

E. Hydrology and Drainage

E-1.1. CC-A. Project design for the conveyance of site runoff must be approved by the City and the County Flood Control District prior to issuance of grading permits for the project site to ensure that all construction is in compliance with the City's Flood Damage Prevention Ordinance.

E-1.2. CC-A. Prior to approval of any grading permits for development, land area shall be dedicated or an easement provided for sufficient storm water detention to eliminate downstream breakout of storm runoff on White Oak Channel to its confluence with the Arroyo Simi during the 100-year flood event as specified in the City's Flood Damage Prevention Ordinance, the Master Plan of Drainage and General Plan Safety Element Policy VIII-3.1.

E-2.1. CC-A. Prior to issuance of grading permits, the project sponsor shall file a Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) with the City of Simi Valley Public Works Department and the Los Angeles Regional Water Quality Control Board (RWQCB) which complies with the National Pollution Discharge Elimination System (NPDES)

permit for storm water discharge, including the full description of the discharge and the demonstration of compliance with EPA specified effluent limits. A copy of the NOI, SWPPP, and Monitoring Plan shall be submitted to the Source Control Division of the City's Public Works Department a minimum of thirty days prior to commencing grading operations.

E-2.2.

CC-A. The following mitigation measures shall be monitored during grading and construction (where applicable):

- All disturbed areas shall be stabilized by soil stabilization methods such as hydroseeding, or mulching with straw, wood chips, etc., as specified by Chapter 70 of the UBC and the NPDES.
- All work performed between November 1 and April 1 shall be conducted in such a manner that the project can be stabilized, covered or by some means protected from the elements during heavy weather (i.e., significant rains) pursuant to Chapter 70 of the Uniform Building Code (UBC). The project sponsor shall submit an erosion control plan for review and acceptance by the City Engineer as required by the terms of Chapter 70 of the UBC and the NPDES.
- During construction, temporary berms, such as sandbags or gravel dikes, shall be used to prevent the discharge of materials from the site during periods of precipitation and runoff."

E-2.3.

CC-A. Areas graded and revegetated shall be monitored and maintained for a period of two years. If adequate and stable growth is not achieved, the revegetation and monitoring of the graded areas shall be continued until the revegetation is stabilized. A compliance report shall be submitted to the City for review on an annual basis by the project sponsor or subsequent developer in each planning area.

- E-3.1. CC-A. Prior to issuance of grading permits, the applicant shall prepare storm drain plans, including proposed structural and non structural controls, consistent with the City's Master Plan of Drainage and with the Ventura County Land Development Manual adopted by City Council Resolution 69-8, and submit them to the City Engineer for review and approval.
- E-3.2. CC-A. Prior to issuance of grading permits in any planning area, the project sponsor or subsequent applicants in the residential planning areas shall comply with guidelines set forth by the Countywide "208" Water Quality Management Plan.
- E-3.3. CC-B. The project sponsor shall prepare landscape plans for the Memorial-Park and any greenbelts proposed in Fuel Modification Plans that will include provisions for controlling the use of fertilizers/pesticides/herbicides as required by the NPDES standards. These plans shall be submitted prior to issuance of a zoning clearance for the Memorial-Park and for each planning area.
- E-4.1. CC-A. The project sponsor shall submit the project's drainage plan (including the design of the proposed detention basins) to the City of Simi Valley Public Works Department and the Ventura County Flood Control District for review and approval prior to issuance of grading permits for this portion of the project. Such plans shall be prepared pursuant to the City's Flood Damage Prevention Ordinance, the Master Plan of Drainage and the Ventura County Land Development Manual adopted by City Council Resolution No. 69-8." This impact is also addressed by MM B-2.1, MM B-2.2, and MM B-2.3.

F. Archaeological Resources

F-1.1.

CC-A. Prior to development, additional surface surveys shall be conducted for both sites within the development area, i.e., CA-VEN-615 and CA-VEN-716. Any artifactual material found shall be plotted, recovered, and analyzed. All work shall be completed by a professional archeologist, certified by the Society of Professional Archaeologists and approved by the Deputy Director/Advanced Planning, and monitored by a member of the Chumash people, approved by the Deputy Director/Advanced Planning pursuant to criteria in the City's Guidelines, Section XIX.D.5.d.

F-1.2.

CC-A. An archaeologist and Chumash monitor shall be present during any rough grading or other earth moving operations at or in the vicinity of the identified archaeological sites. If significant surface or subsurface deposits are present, impacts shall be mitigated by implementing one of the following measures:

- Avoidance of the archaeological site through modification of building footprints that would allow for preservation of the resource in its present location.
- In circumstances where archaeological deposits cannot be preserved through avoidance, data recovery through excavation is the recommended mitigation. This measure shall consist of the excavation of those portions of the site(s) that would be adversely affected. The work shall be accomplished within the context of a detailed research program and in accordance with current professional standards. The program shall be subjected to test excavation to determine their significance. This work shall include: (a) a surface collection; (b) excavation of units to determine the lateral and vertical extent of each site, and the degree of preservation of the deposit; (c) laboratory analysis of collected material; and (d)

preparation of a report including recommendations for future management of deposits which addresses important Chumash research considerations. The excavations shall be accomplished by Society of Professional Archaeologists registered archaeologists approved by the Deputy Director/Advanced Planning and monitored by an approved member of the Chumash people, pursuant to the City's CEQA Guidelines, Section XIX, D.d.d.

F-1.3.

CC-B. Any artifactual materials recovered during grading shall be curated at the Strathern Historical Park Museum or at another repository approved in advance by the Deputy Director/Advanced Planning for preservation.

G. Paleontological Resources

G-1.1.

CC-A. Prior to any grading on the project site, the project sponsor or representative shall retain the services of a qualified paleontologic resource management consultant team which has demonstrated experience and expertise in microfossil identification and recovery in the Chatsworth Formation, the Simi Conglomerate members, and the Upper Members of the Santa Susana Formation, verified by the Deputy Director/Advanced Planning to manage and conduct a paleontologic resource impact mitigation program as follows:

- The program manager and/or paleontologic field supervisor will conduct a paleontologic resource field survey in areas of the parcel, particularly those areas to be graded, underlain by rock units of high and moderate paleontologic importance as identified in Table 8: Paleontologic Resource Inventory Assessment by Rock Unit as contained in the MBIR, to locate any as yet unrecorded fossil site not found during the survey conducted for this assessment. If a fossil site is located, the fossil remains or, if necessary to preserve the fossil record, a fossiliferous rock sample, will be

removed and transported to a laboratory facility. The location of every fossil site shall be recorded on the site grading plans, tract maps and parcel maps prepared for development of the project on the site.

H. Transportation, Circulation
and Parking

There are no mitigation measures for Transportation, Circulation and Parking in that the impact has been determined to be insignificant.

I. Air Quality and Meteorology

I-1.1.

CC-A. During clearing, grading, earth moving, or excavation operations, excessive fugitive dust emissions should be controlled by regular watering, paving construction roads, or other dust preventive measures using the following procedures:

- During grading in each planning area, all material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering should occur at least twice daily with complete coverage, during the morning and after work is done for the day.
- During grading in each planning area, all clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e., greater than 20 mph averaged over one hour) so as to prevent excessive amounts of fugitive dust. During such periods of high wind, the Ventura County Air Pollution Control District (APCD) meteorologist shall be contacted by the project sponsor daily for current information about average wind speeds.
- During grading and construction in each planning area, all material transported on or off site shall be either sufficiently watered or securely covered by tarpaulins to prevent excessive amounts of fugitive dust.

- These measures shall reduce the amount of fugitive dust generated by project construction activities by at least 0.45 tons per acre of soils disturbed, with the maximum requirement for a reduction in fugitive dust not to exceed 0.6 tons per acre of soils disturbed. These measures shall be implemented by the applicant during grading and are required by the City's Grading Ordinance.
- Face masks shall be used by all employees involved in grading or excavation operations during dry periods to reduce inhalation of dust which may contain the spores which causes San Joaquin Valley Fever.

I-1.2.

CC-A. After clearing, grading, earth moving, or excavation operations, and during construction activities, fugitive dust emissions should be controlled using the following procedures (these measures should be included as notes on grading plans prepared for each planning area):

- All inactive portions of the construction site, which are graded but not proposed for construction within one year, shall be hydroseeded to provide cover with grass or other plant material, and watered until such time as construction begins.
- All active portions of the construction site should be sufficiently watered at least twice daily to prevent excessive amounts of dust.

I-1.3.

CC-A. At all times, fugitive dust emissions should be controlled using the following procedures (these measures should be included as notes on grading plans prepared for each planning area):

- On-site vehicle speed should be limited to a maximum of 15 mph.

- Use of petroleum-based dust palliatives shall meet the road oil requirements of Ventura County APCD Rule 74.4, Cutback Asphalt.
- Streets adjacent to the project site should be swept daily during construction to remove silt which may have accumulated from construction activities so as to prevent excessive amounts of dust.
- All trucks and equipment shall be cleaned (washed off to remove visible dust) each evening during grading operations to reduce particulate and dust emissions."

I-2.1.

CC-A. At all times, ozone precursor emissions should be controlled using the following procedures (these measures should be monitored through construction contracts and appear as notes in the grading plans for each planning area):

- Equipment engines should be maintained in good condition and in proper tune as per manufacturer's specifications.
- Construction activities using heavy duty mobile construction equipment as defined on page 5.9 of the Guidelines for Preparation of Air Quality Analysis (October, 1989), shall be discontinued during first- and second-stage smog alert.

I-3.1.

CC-B. The project sponsor of the Memorial-Park and subsequent developers of the residential units shall comply with appropriate Ventura County APCD Rules and Regulations to reduce emissions of ROC and NO_x. These rules include Rules 74.11 and 74.22 which control NO_x emissions from natural gas-fired water heaters and fan type central furnaces respectively.

I-3.2. CC-B. Transportation Demand Management Program(s) shall be required prior to development of the Memorial-Park or residential development projects within the project site pursuant to Section 9-1.2203 of the SVMC. Such program(s) shall include all measures required by Section 9-1. 2203 of the SVMC.

I-3.3. CC-B. The project sponsor of the Memorial-Park and subsequent developers of the residential units shall comply with the requirements of the applicable air quality guidelines and shall be subject at the time of Zoning Clearance to the air quality mitigation fees as calculated therein.

I-3.4. To reduce vehicle trips, developers of residential areas shall consider the development of a pedestrian-oriented community which would include such features as pedestrian/bicycle paths and linkages with other paths as suggested by the Ventura County Air Quality Management Plan.

I-3.5. Developers of the residential component of the project shall have all residences (either single or multi-family) plumbed for solar hot water heating as suggested by the Ventura County Air Pollution Control District.

I-3.6. Developers of the residential component of the project shall include electrical outlets in all residential garages for electric vehicle recharge as suggested by the Ventura County Air Pollution Control District.

I. Noise

J-1.1. CC-B. Project applicants (residential developers) shall comply with applicable provisions of the City of Simi Valley Municipal Code, Section 5-16.02, which stipulates that construction is restricted to the hours of 7 a.m. to 7 p.m., seven days a week.

J-3.1. CC-B. The proposed residential land uses are subject to meeting the 45 dBA Ldn interior noise level as specified in the City of Simi Valley Noise Element. Prior to the issuance of any building permits, site plans and architectural plans shall be reviewed in order to determine if the interior noise levels will comply with the Simi Valley conditions of approval relating to interior noise.

J-3.2. CC-C. Prior to issuance of building permits, to insure compliance with City standards, detailed acoustical reports shall be prepared for the residential development, showing how interior noise levels would be attenuated.

J-3.3. CC-E. Prior to approval of any residential development in planning areas A, B, C or E, the project sponsor or subsequent developers shall provide to the City acoustical analyses of the planning areas to determine proper setbacks and building designs consistent with the General Plan Noise Element, Section 10.1. If noise levels in outdoor living areas exceed or are projected to exceed 63 dBA Ldn, measures must be designed to attenuate the noise to acceptable levels. If residential buildings are to be located within these 63 Ldn contours then mitigation measures, including increasing the building setback, construction of a noise barrier, or orientation of the buildings themselves to act as a barrier shall be required.

J-4.1. CC-B. Site/landscaping maintenance activities, such as lawn mowing and leaf blowing, and excavation of plots shall be limited to the hours 7 a.m. to 7 p.m. on any given day to eliminate nighttime impacts of these activities.

K. Public Services and Utilities

K-1.1. CC-B. The Developer of any residential or commercial development shall be required to pay developer fees to the School District, which will partially offset any impacts generated by this project. Currently, the District collects \$1.58

the groundwater, the strategy for extracting and disseminating the water as well as the location of potential new well sites. This study shall be submitted to the City's Public Works Department and the Los Angeles Regional Water Control Board for review and approval.

L. Human Health

L-1.1

CC-A. During clearing, grading, earth moving, or excavation operations, fugitive dust emissions shall be controlled by regular watering, paving construction roads, or other dust preventive measures set forth in Chapter 4, Section I, Air Quality as required by General Plan Air Quality Element Implementation Measures XII-S, T, U, V, and W, the requirements of the City's Grading Ordinance and the Ventura County Air Quality Management Plan.

M. Risk Of Upset

Impacts are considered less than significant, therefore, there are no mitigation measures for Risk of Upset.

N. Energy

Impacts are considered less than significant, therefore, there are no mitigation measures for Energy.

O. Population, Employment
and Housing

Impacts are considered less than significant, therefore, there are no mitigation measures for impacts on Population, Employment and Housing.