

FIRST/ROYAL SPECIFIC PLAN

CITY OF SIMI VALLEY, CALIFORNIA

Prepared For:

CITY OF SIMI VALLEY

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Adopted On:

November 16, 1998

By:

Ordinance No. 937 (SP-S-22)

**FIRST/ROYAL SPECIFIC PLAN
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I. INTRODUCTION

I. INTRODUCTION

A. Project Description and Location

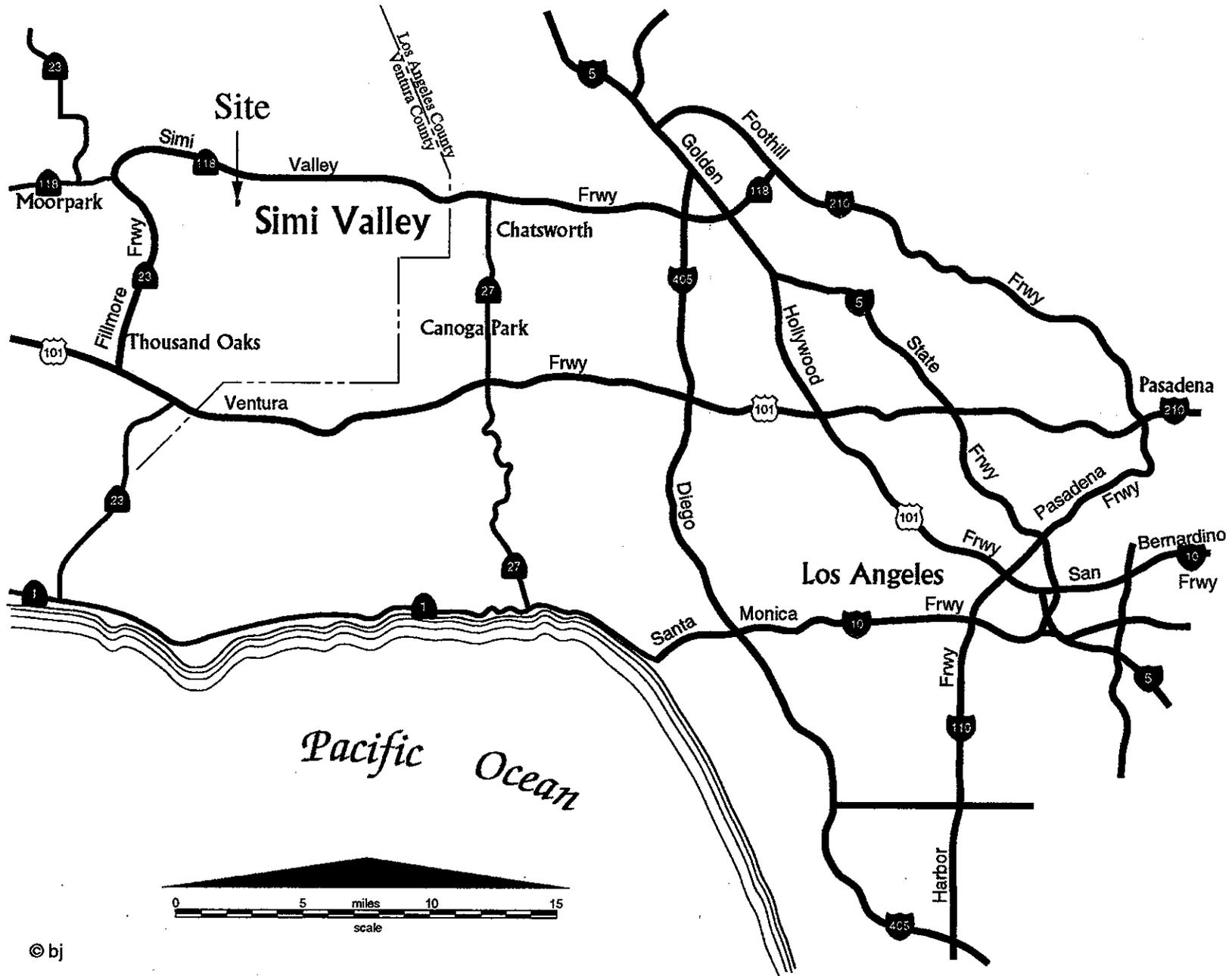
The First/Royal Specific Plan area is located at the northeast corner of First Street and Royal Avenue which can be found on the Regional Map (Figure 1, Page 2), the Vicinity Map (Figure 2, Page 3) and the Location Map (Figure 3, Page 4). Refer to Figures 1 through 3, Regional Map, Vicinity Map and Site Location, which follow this page, for the project location. The General Plan land use designation is Residential Moderate allowing a maximum of eight dwelling units per acre. The project site is zoned Residential Moderate Density (RMod). The majority of the project site is vacant and this vacant portion of the Specific Plan area is the proposed site of The Meadows Planned Residential Development.

The First/Royal Specific Plan area is comprised of the proposed 121 unit single-family detached Meadows Planned Residential Development, four (4) existing single-family residential units and a Jehovah's Witness Kingdom Hall. This Specific Plan provides a total of 125 existing and proposed residential lots and an existing place of worship on 22.95 acres. The density of the First/Royal Specific Plan area shall be 6 dwelling units per acre.

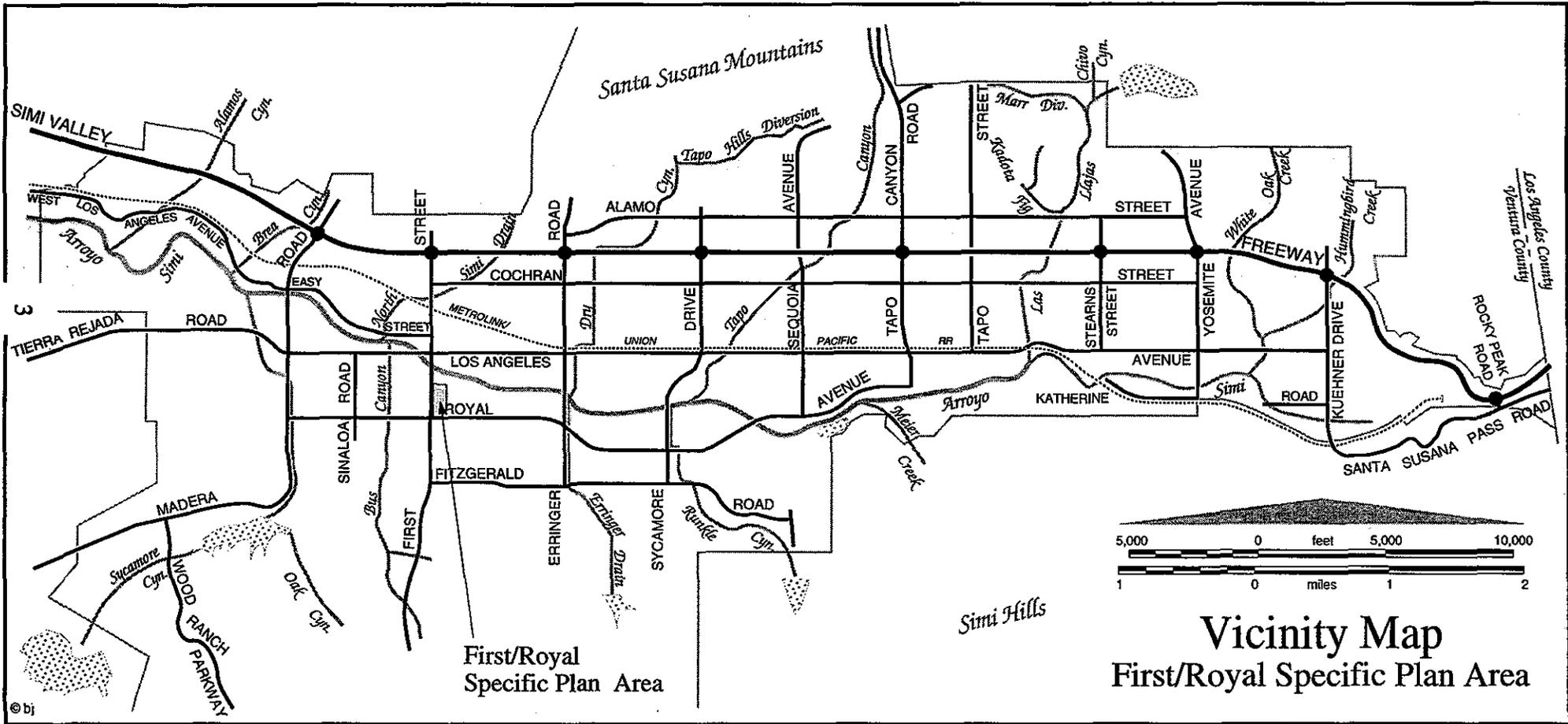
The site of the Specific Plan area is characterized by flat terrain with total relief of about eight (8)± feet. However, the southern portion of the site includes a northwesterly trending swale which transects and drains the site.

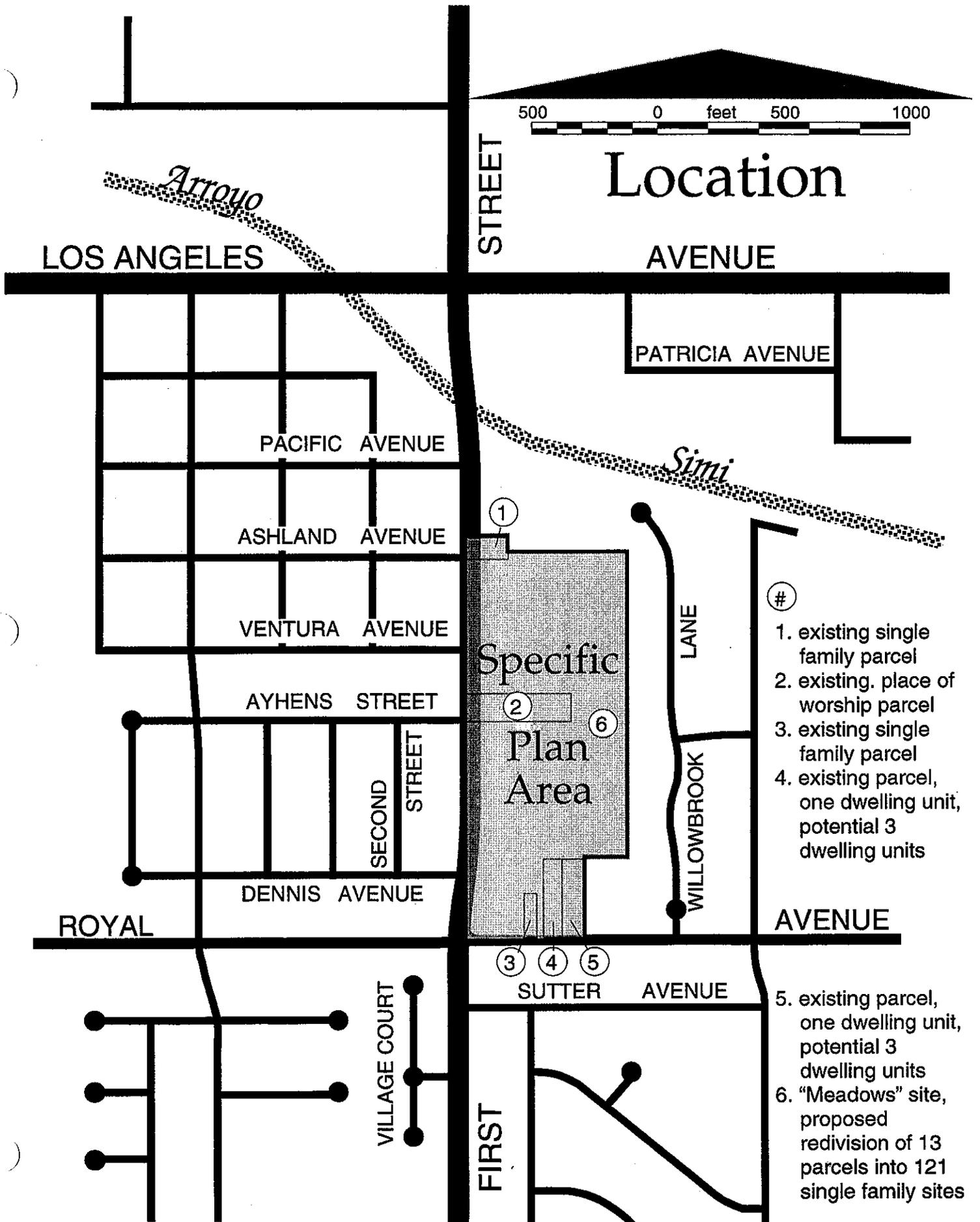
The overall concept for the First/Royal Specific Plan is to provide a new residential neighborhood in a suburban setting, featuring recreational facilities. Sidewalks provide pedestrian links between the Meadows Planned Residential Development and the other residential lots and the place of worship. The type and density of residential uses within the Meadows Planned Residential Development are compatible with the adjacent residential neighborhoods and the existing residential units. All residential units within the First/Royal Specific Plan shall be single-family detached; all lots abutting Willowbrook Lane shall be at least 75 percent of the width of each adjacent lot, no more than two lots shall abut any Willowbrook Lane parcel and setbacks on the east property line shall be a minimum of 30 feet. Although uniform throughout, densities within the First/Royal Specific Plan are similar to properties to the east (Willowbrook Lane) and substantially less than the attached multi-family product to the north.

The Meadows Planned Residential Development product type shall include 91 two-story houses on 50 feet x 70 feet minimum lots and 30 single-story houses on 60 feet x 70 feet minimum lots.



© bj





Land Use Summary

<u>Units</u>	<u>Land Use</u>	<u>Status</u>
121	Single-family detached units within Meadows Planned Residential Development	Proposed
4	Single-family detached units Place of Worship	Existing Existing

According to the General Plan land use designation and the zoning designation for the Specific Plan area, the number of dwelling units potentially available on the existing Jehovah's Witness Kingdom Hall site (if the use was converted), and the four (4) existing home sites could be fourteen (14) additional dwelling units. A Specific Plan Amendment shall be required, however, to amend the text and graphics of this document to reflect any proposed modifications to the development standards contained herein (see Section II-H, page 17).

B. Authority and Scope

The California Government Code authorizes cities to adopt Specific Plans by resolution as policy or by ordinance as regulation. Hearings are required by both the Planning Commission and City Council after which the Specific Plan must be adopted by the Council to be in effect.

The adoption of the First/Royal Specific Plan by the City of Simi Valley is authorized by the California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457.

The First/Royal Specific Plan is a regulatory plan which shall serve as the development regulations for this property and shall be adopted by Ordinance. Proposed development plans or development agreements, tentative tract or parcel maps and any other development approval must be consistent with this Specific Plan. Projects which are found consistent with the Specific Plan shall be deemed consistent with the General Plan.

C. Purpose

The First/Royal Specific Plan shall serve as the device for implementing the General Plan of the City of Simi Valley, as well as, the Simi Valley Municipal Code (SVMC). The First/Royal Specific Plan shall be adopted by Ordinance to allow for unique development standards within the Specific Plan area which otherwise are not permitted by the SVMC. Therefore, these development standards form the regulatory portion of the Specific Plan and are criminally enforceable. The balance of the Specific Plan document serves the planning, or policy, functions of the document.

Section V (Page 28) demonstrates the project's compatibility with applicable provisions of the Simi Valley General Plan. The project site is identified as the First/Royal Specific Plan Area within the Simi Valley General Plan. This Specific Plan implements the requirements set forth in the General Plan and the Simi Valley Municipal Code relative to the First/Royal Specific Plan Area.

D. California Environmental Quality Act Compliance

The Simi Valley City Council Adopted a mitigated Negative Declaration on the First/Royal Specific Plan on November 9, 1998.

II. DEVELOPMENT PLAN

II. DEVELOPMENT PLAN

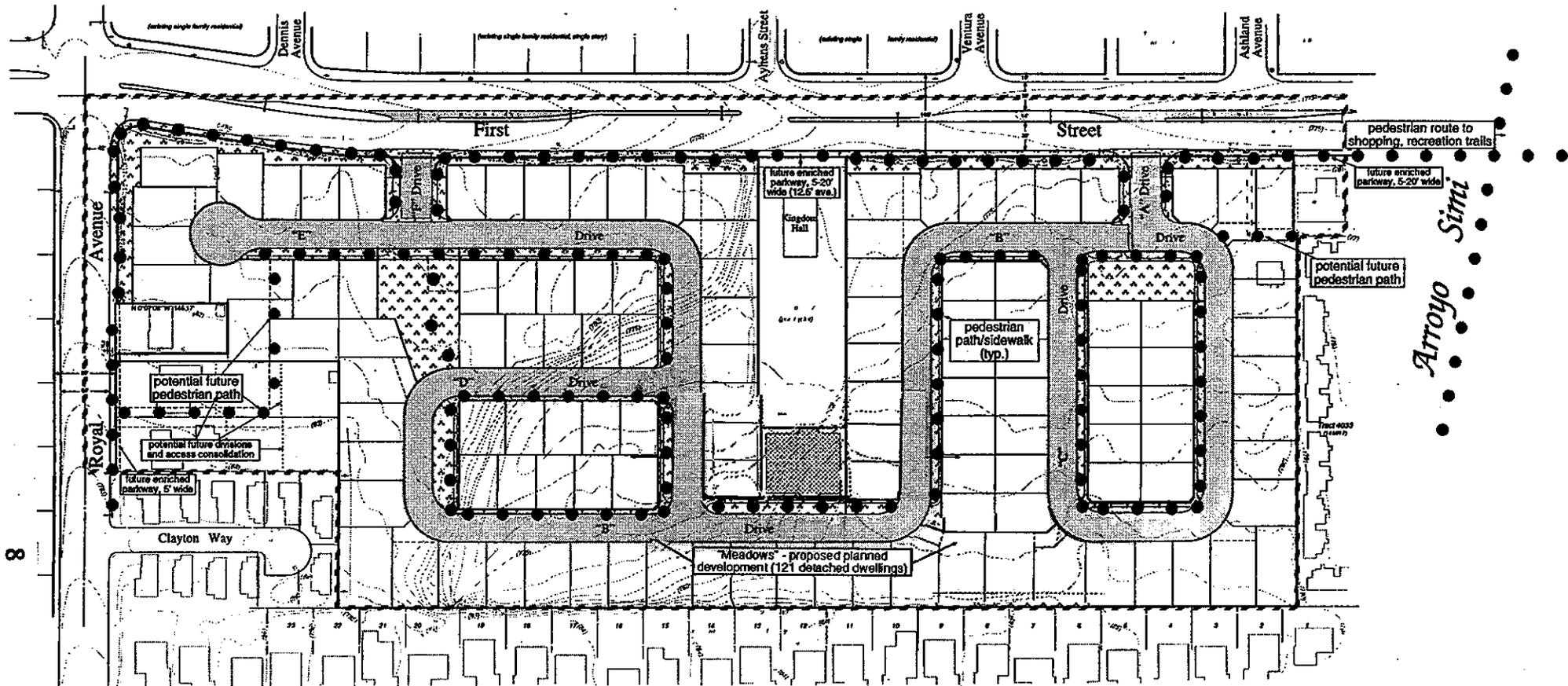
A. Introduction

The First/Royal Specific Plan is a planned residential community with supporting recreational and institutional facilities. This section describes the Land Use Plan for the First/Royal Specific Plan along with the various plan components. Please refer to Figure 4, page 8, SP-S-22.

B. Project Goals

The key goals of the First/Royal Specific Plan are as follows:

1. Provide substantial compliance with the spirit and intent of the General Plan including the goals established for the First/Royal Specific Plan Area as follows:
 - a. Coordinate project design within an area of multiple parcels and different ownerships and to provide a compatible land use pattern with the various surrounding residential uses.
 - b. Coordinate street design and layout in order to minimize access from individual parcels onto adjacent limited - access arterials.
 - c. Establish moderate density residential with a maximum of 8 units per acre including all bonuses.
 - d. Provide for a variety of residential densities to encourage compatibility with existing multi-family housing to the north and existing single-family residences to the east.
 - e. Provide for internal greenbelts and enriched parkways on First Street and Royal Avenue.
 - f. Provide for one-story and two-story single-family detached homes along the eastern boundary of the site. These homes shall be on lots not less than 75% of the width of the lots of the existing subdivision immediately to the east and shall be aligned in such a way that there will be no more than two lots abutting lots on Willowbrook Lane.
 - g. New dwellings constructed on the site adjacent to the homes on Willowbrook Lane shall be set back not less than 25 feet from property line.



SP-S-22

First/Royal Specific Plan

500 0 feet 500 1000

SP-S-22

Land Use Designation

LOS ANGELES

STREET

AVENUE

PATRICIA AVENUE

PACIFIC AVENUE

ASHLAND AVENUE

VENTURA AVENUE

AYHENS STREET

SECOND STREET

DENNIS AVENUE

ROYAL

Moderate
Density
Residential
22.95 ac.

LANE

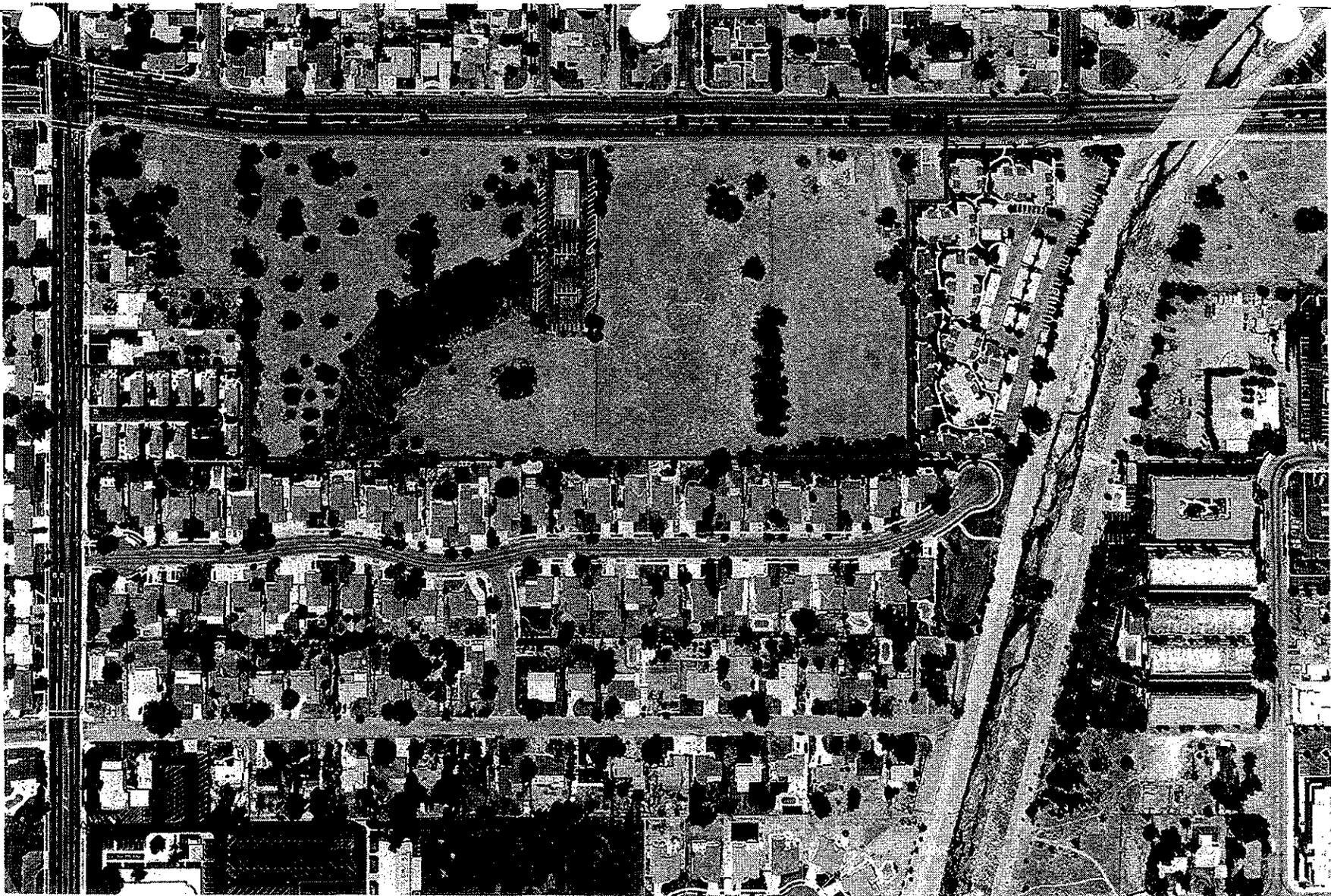
WILLOWBROOK

AVENUE

SUTTER AVENUE

VILLAGE COURT

FIRST



AERIAL LOCATION MAP
MEADOWS
 SIMI VALLEY, CA



NORTH

CUCAMONGA DEVELOPMENT COMPANY

17985 SKY PARK CIRCLE #C
 IRVINE, CALIFORNIA 92614
 (714) 622-6124

FIGURE 6



First/Royal Specific Plan
 November 16, 1998

- h. Provision for the on-site parking of automobiles and recreation vehicles and prohibit such parking next to the eastern boundary of the site.
- 2. Integration of planned residential uses within an established suburban neighborhood.
- 3. Provision for recreational facilities which help meet the residents' needs.
- 4. Provision for a neighborhood sidewalk network which connects the Meadows Planned Development to existing uses within the First/Royal Specific Plan area and the adjacent Arroyo Simi (see Figure 9, page 18).

C. Land Use Plan

The First/Royal Land Use Plan, Aerial Location Map and Illustrative Site Plan (Preliminary Landscape Plan) are depicted on Figures 5, 6 and 7. The Specific Plan includes 125 residential lots (4 existing), two recreational lots, recreational vehicle parking area, linear open space lots containing sidewalks and a place of worship.

The following table notes the existing land uses and dwelling units within the First/Royal Specific Plan area. Also noted is the potential total units pursuant to the Residential Moderate Density zone (RMod - 7.0 (SP)).

EXISTING AND PROPOSED DEVELOPMENT BY PARCEL

Assessor Parcel Number 632-0-100-	Address	Parcel Size		Existing Land Use	Existing Du. Units	Potential Total Units	Comments
		Square Feet	Acres				
	First St.						
400	1720	12,780	0.29	one. res.	1	1	(built out)
330	1560	48,990	1.13	place of worship	0	6	(built out)
	Royal Ave.						
310	1151	12,025	0.28	one res.	1	1	(built out)
260	1155	24,750	0.57	one res.	1	3	
530	1157	23,100	<u>0.53</u>	one res.	<u>1</u>	<u>3</u>	
	Subtotal		<u>2.80</u>		Subtotal <u>4</u>	Subtotal <u>14</u>	
Meadows Proposed Planned Development Area							
290		13,875	0.32	Vacant	0		
320		103,470	2.38	Vacant	0		
340		65,340	1.50	Vacant	0		
350		51,150	1.17	Vacant	0		
360		202,050	4.60	Vacant	0		
370		112,200	2.60	Vacant	0		
380		42,660	0.98	Vacant	0		
390		108,900	2.50	Vacant	0		

EXISTING AND PROPOSED DEVELOPMENT BY PARCEL (Continued)

Assessor Parcel Number 632-0-100-	Address	Parcel Size		Existing Land Use	Existing Du. Units	Potential Total Units	Comments
		Square Feet	Acres				
410		18,480	0.42	Vacant	0		
420		54,450	1.25	Vacant	0		
430		54,450	1.25	Vacant	0		
450		15,750	0.36	Vacant	0		
470		35,150	<u>0.82</u>	Vacant	0		
	Subtotal		<u>20.15</u>			Subtotal	<u>121</u>
	Total		<u>22.95</u>			Total	<u>135</u>

The Specific Plan area is zoned Residential Moderate Density (RMod - 7.0 (SP)). All uses on-site shall be residential in character (single-family detached structures) including ancillary residential uses such as recreational uses (tot lot, pool and spa), recreational vehicle parking facilities or institutional uses compatible with proposed and established uses (place of worship).

1. Residential

The prevalent land use within the Specific Plan area shall be residential. Single-family detached residential structures shall occupy the majority of the project site. The intent is to provide a moderate intensity maximum 7.0 dwelling unit per acre residential land use in order to complement the established suburban land use pattern in Simi Valley. Linear open space areas containing pedestrian sidewalks are provided adjacent to portions of the local subdivision streets in the Meadows Planned Residential Development.

2. Ancillary Uses

Ancillary on-site uses which shall be included within the Specific Plan area are recreational lots (tot lot, pool/spa and related uses) and a recreational vehicle parking area.

3. Institutional

Institutional uses permitted within the Specific Plan Area are places of worship. This use is restricted to the parcel containing the existing Jehovah's Witness Kingdom Hall on First Street, Assessors Parcel Number 632-0-100-330.

D. Circulation Plan

1. Background

The Circulation Plan establishes the general layout of internal circulation, including design standards for local streets in support of the Meadows Planned Residential Development compatible with existing uses. The Circulation Plan provides for both vehicles and pedestrians.

Important aspects of the Circulation Plan for the project include the use of a cul-de-sac and loop roads to enhance privacy in residential areas. Pedestrian sidewalks shall connect existing and proposed uses. All Meadows Planned Residential Development internal project entrance and drives shall be private and shall be maintained by The Meadows Planned Development Homeowners' Association. Other First/Royal Specific Plan circulation areas (First Street and Royal Avenue) are public roadways and are maintained by the City.

2. Meadows Planned Residential Development Streets and Drives

The Meadows Planned Residential Development Plan (Figure 7, page 11) depicts the location of all new streets and drives within the First/Royal Specific Plan area. Figure 8, page 15, provides an illustration of typical Meadows Planned Residential Development street sections.

The Meadows Planned Residential Development Plan shall be served by the following drives:

Facility	Classi- fication	Curb to Curb	Travel Lanes	Parking
Local Private Drive	Local Private	36'	2	Both sides
Local Private Entrance Drive	Local Private	40'	3	No parking

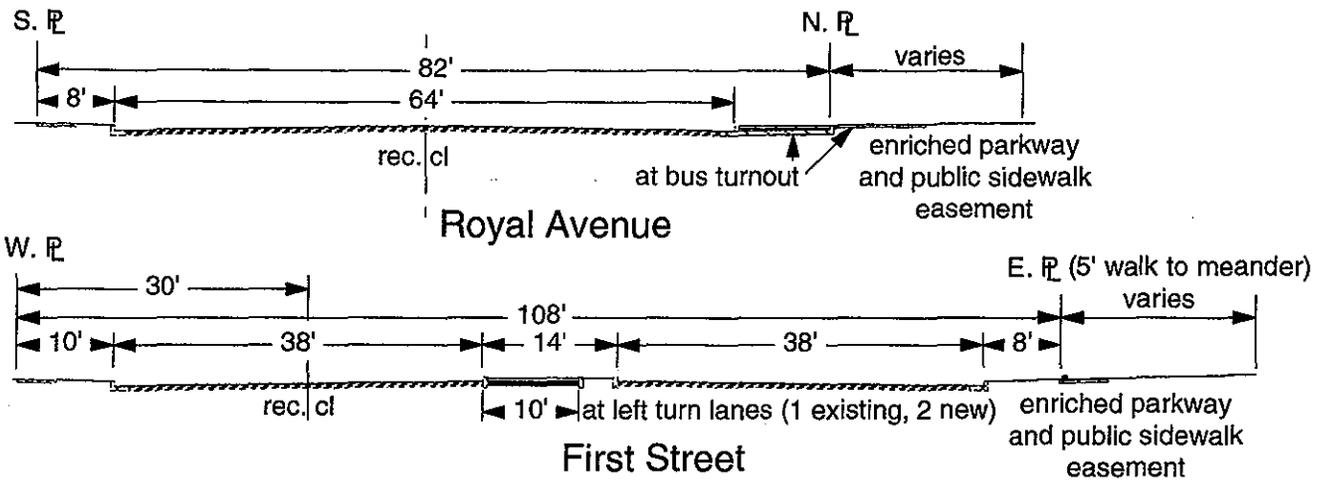
E. Public Facilities Plan

1. Water

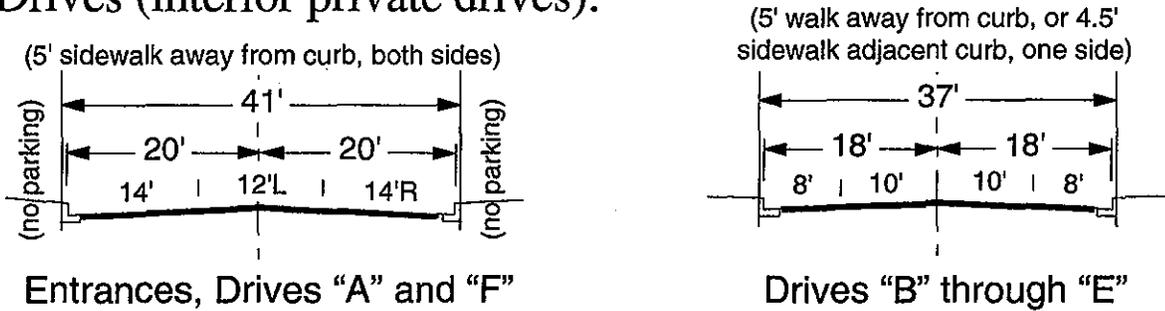
Each year, approximately 25,000 acre-feet of water are provided to residents of Simi Valley by the Southern California Water Company and Ventura County

Adjacent Streets (public):

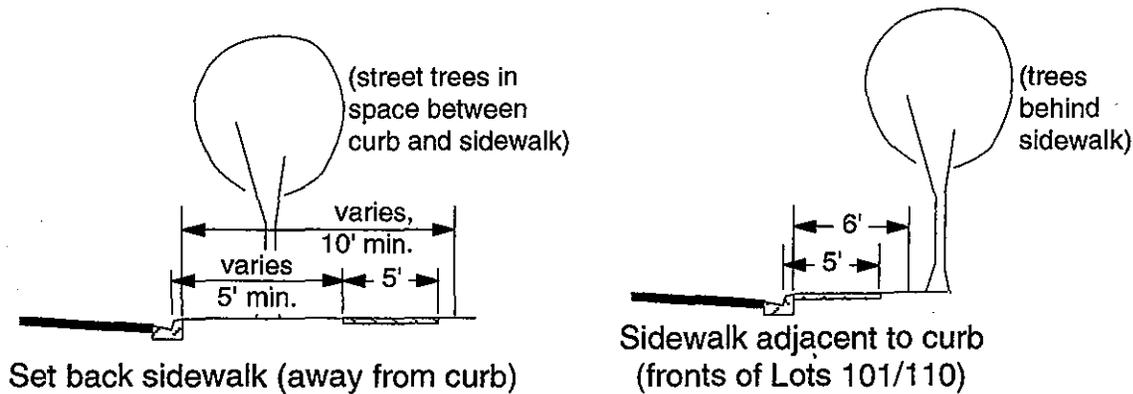
TYPICAL STREET SECTIONS



Drives (interior private drives):



Interior sidewalks are on one side of each interior drive (except entrances):



Deviations from public street standards:

Improvements to public streets are to fully conform to published standards. Details and sections for interior drives conform to public street standards for pavement (curb to curb) width but deviate from published public street standards, in that:

Knuckles do not have outside flare - to discourage excess vehicle speed in turns.

Interior drives, except for entrances, are provided with a sidewalk on one side only, generally a setback sidewalk providing a flat walking surface uninterrupted by drive approach ramps, better separated from traffic than a typical adjacent sidewalk, and providing space for street trees and other plants as part of the separation.

Set back sidewalks deviate from Ventura County Road Standard in that published standard sidewalk width is 4 feet, with 10 feet from face of curb to property line.

Waterworks District No. 8. These two agencies receive their water, in turn, from the California Aqueduct System through the Calleguas Municipal Water District. Facilities also exist to deliver Colorado River Water in the event the California Aqueduct System service is disrupted. Approximately 33 million gallons of water is also kept in storage tanks within the Simi Valley area for operational purposes, fire protection, or other emergency services. Bard Reservoir, which serves the eastern portion of Ventura County including Simi Valley, has a total storage capacity of 10,000 acre-feet and is also intended to be an emergency water supply for this area. This project will increase demand by 83,368 gallons per day during maximum demand. This increase in demand can be accommodated with existing facilities.

The potential new water demands for this project are estimated as follows:

- 136 potential dwelling units.
- 100 gallons per capita per day average day demand.
- 3.5 persons per dwelling unit occupancy.
- Maximum day demand is 1.75 times average day demand.
- Peak hour demand is 3.5 times average day demand.
- Maximum day/DU = $100 \times 3.5 \text{ gpd} \times 1.75 = 613 \text{ gpd}$.
- Maximum day demand = $613 \text{ gpd} \times 136 \text{ DU} = 83,368 \text{ gpd}$.

2. Wastewater

Sewage treatment is provided to the residents of Simi Valley by the Simi Valley County Sanitation District. The treatment plant is located in the Public Services Center at the west end of the City adjacent to the Arroyo Simi. The treatment plant has an on-going expansion program, which is planned to keep pace with area growth.

There are three existing sanitary sewers adjacent to the site, two 8 inch lines in the east parkway of First Street and a 24 inch line at 0.72%, ten feet (10') east of the centerline of First Street south of Ventura Avenue. Two connections to the southerly 8 inch line (which connects to the 24 inch line at Ventura) shall be provided, via an easement north and south of the Jehovah's Witness Kingdom Hall at the midpoint of the First Street frontage. Internal sewer mains shall be eight inch (8") at 0.40 to 0.60%.

The site was assessed for its share in treatment and trunk capacity under Simi Valley County Sanitation District Assessment District 3B and for frontage on the 8 inch lines under SVCSD Assessment District 6.

Estimated sewage demand for this project is:

- Average Day Demand
350 Gallons Per Day X 136 Dwelling Units = 47,600 Gallons Per Day

3. **Drainage and Flood Control**

Design flows will be established in accordance with the City of Simi Valley criteria and guidelines. Parcel R2 (Recreation Area) within the Meadows Planned Residential Development includes the placement of a storm water detention facility. Drainage and street improvement plans will include necessary drainage, collection and conveyance systems.

F. Grading Concept

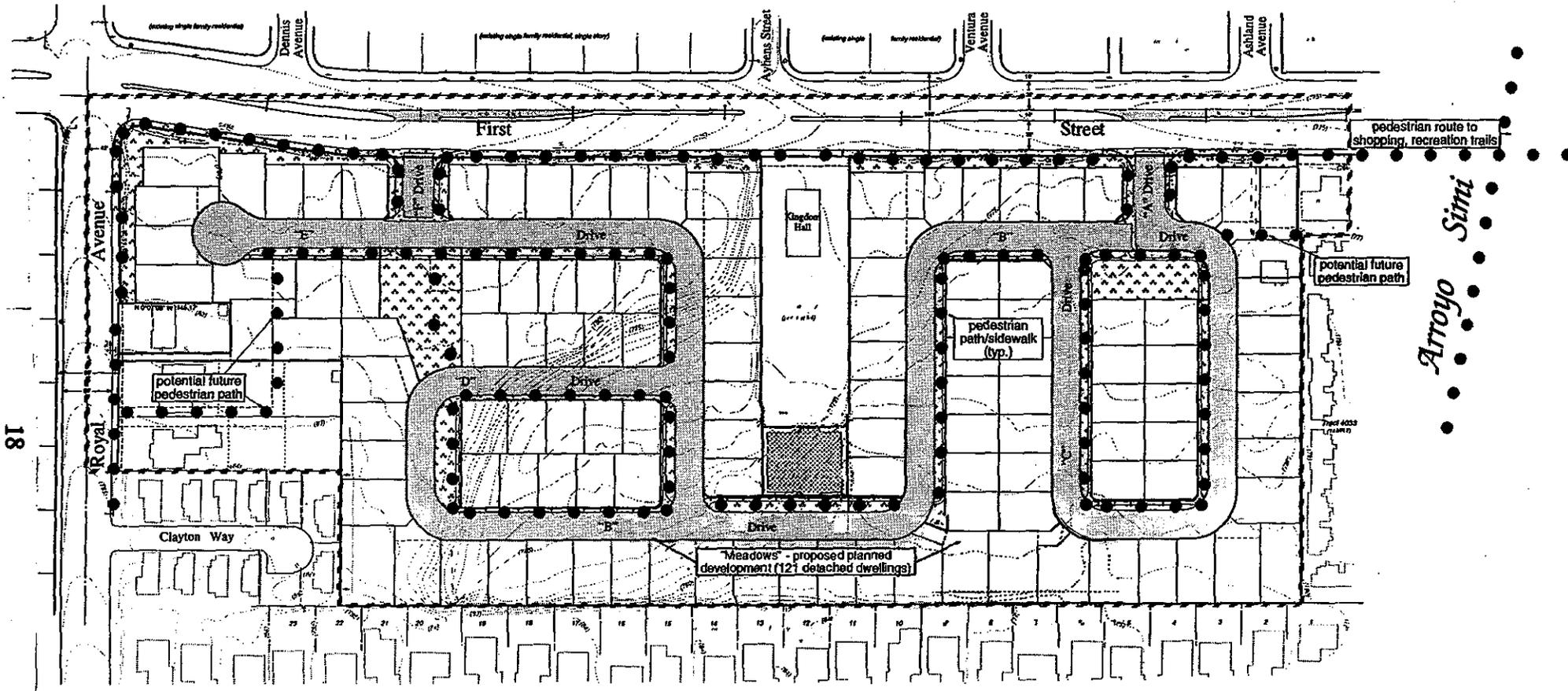
The grading concept for the Meadows Planned Residential Development estimates cut and fill quantities at: cut 44,000 cubic yards and fill 37,000 cubic yards.

G. Sidewalk System

A sidewalk system, noted on Figure 9, page 18, is designed within Meadows Planned Residential Development to provide pedestrian sidewalks along local subdivision streets. These sidewalks shall be located within a linear open space easement and integrated as part of the street rights-of-way. The easement shall be a part of the common area and shall be maintained by The Meadows Homeowners Association. These sidewalks shall connect residential units to the on-site recreational facilities and proposed uses with existing First/Royal Specific Plan land uses. The First/Royal Specific Plan sidewalk system connects with the citywide sidewalk/trail system including the Arroyo Simi trails. In addition, there shall be a series of enriched pathways connecting individual parcels. These pathways shall include sidewalks with linear landscape. The pathways shall be maintained by the appropriate homeowners' associations when located on private property. These pathways are also shown on Figure 9, page 18.

H. Off- (Meadows) Site Parcels

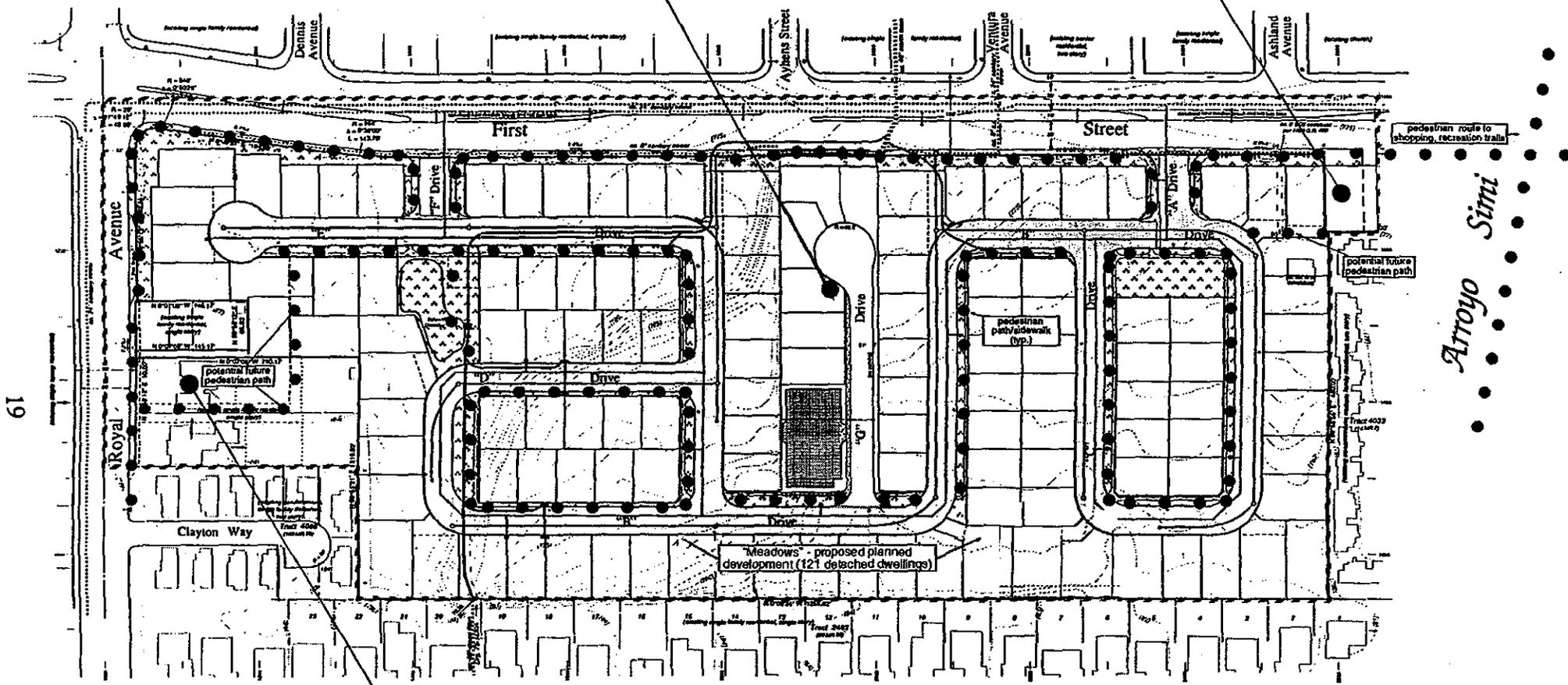
As discussed in the introduction, the existing residential lots and place of worship are incorporated into the Specific Plan. These plans are conceptually shown in Figures 10, 11 and 12 on pages 19, 20 and 21.



First/Royal Specific Plan Sidewalk Plan

Church redevelopment
Shown in Figure 11

Single lot redevelopment



19

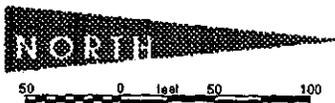
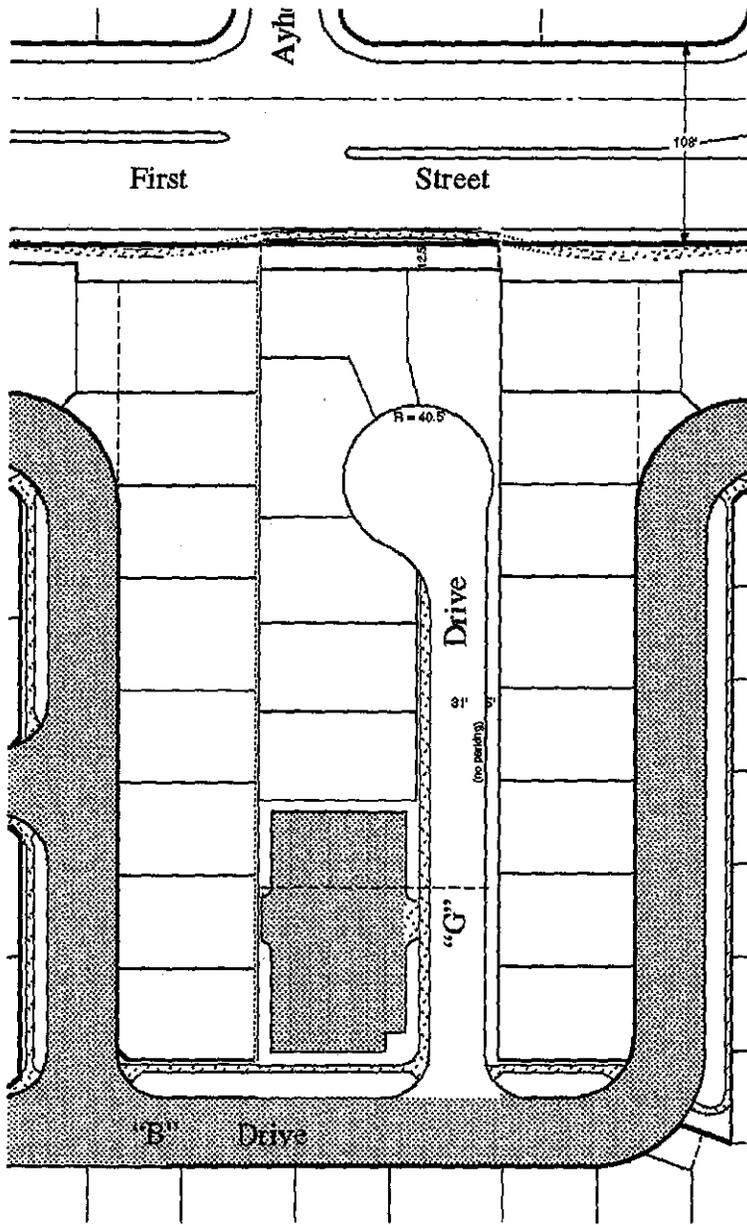
Multiple lot redevelopment shown in Figure 12

Meadows

SCALE: 1" = 200'

ADDITIONAL PARCEL 1 AND 2 DEVELOPMENT

Legend	
	proposed boundary wall
	proposed on-site garden or retaining wall
	pad elevation w/CLoMP
	proposed w.l. fence



Aerial topography 1996.
 Add 700 to elevations shown as less than 100.
 bl 11/07/98

Meadows
 Potential Future Residential
 Redevelopment of Widened Kingdom Hall Site
 including reconfiguration of RV storage area to
 accommodate new drive, subject to acceptance by
 homeowners' association.

III. DEVELOPMENT REGULATIONS

III. DEVELOPMENT REGULATIONS

A. Introduction

The purpose of this Chapter III is to specify regulations governing the use of land within the Specific Plan area including specific modifications to the Residential Moderate (RMod) Zoning designation to accommodate the unique design of the Meadows Planned Residential Development.

Development projects within the Specific Plan area shall comply with these regulations. Any provisions not specified herein shall be in accordance with the City of Simi Valley Municipal Code.

B. General Provisions

The following provisions are of a general nature and apply to the entire Specific Plan area.

1. Conflict in Regulations

Whenever the regulations contained in this text conflict with the regulations of the Simi Valley Municipal Code, the regulations of the First/Royal Specific Plan shall take precedence.

2. Design

Each area of The Meadows Planned Community shall be developed in accordance with the standards established within this Specific Plan text.

C. Regulations

1. Residential Moderate (RMod) Development Standards (Modified)

a. Intent and Purpose

The Residential Development Standards are intended to provide for the development of moderate density residential uses.

b. Applicability

The following regulations and general rules set forth in this Specific Plan shall apply in the First/Royal Specific Plan area. Any proposed project, division of land, site plan or any grading, wholly or partially within the First/Royal Specific Plan area, shall be subject to the provisions of this Specific Plan.

f. On-Site Development Standards

1) Setbacks (all setbacks are measured from parcel property line):

The following minimum setbacks shall be provided.

(a) Front Setback:

Minimum of ten feet (10') from the property line for residential uses, twenty feet (20') for institutional uses (church). Garages shall be setback a minimum of eighteen feet (18') from the street right-of-way in order to provide for parking on the driveway (see Figure 10). Unless setbacks are eighteen feet (18') or more from the street right-of-way, garages shall be fitted with roll-up doors.

(b) Interior and Corner Lot Side Setbacks:

A five foot (5') side yard setback is required for all single-family detached dwellings. A ten foot (10') side yard setback is applicable to all permitted institutional uses.

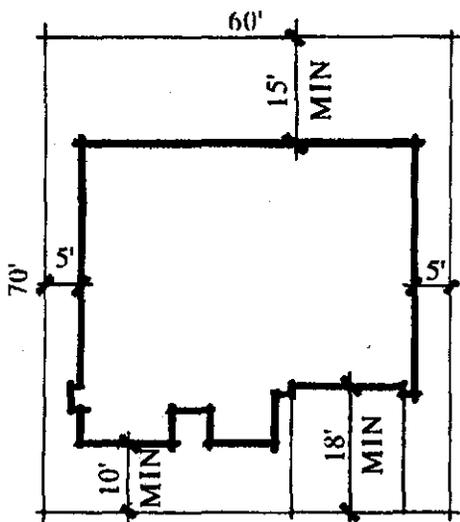
(c) Reverse Corner Side Lot Setbacks:

A minimum five foot (5') side yard setback is required.

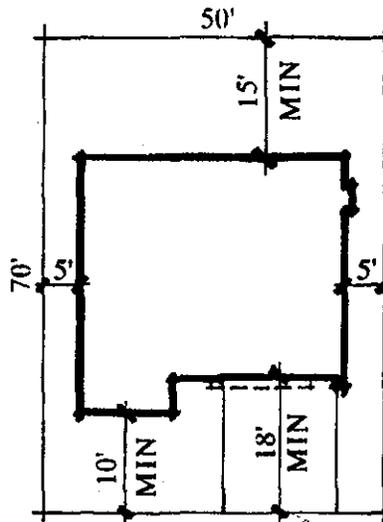
(d) Rear Setback:

A minimum of fifteen feet (15') for residential uses except for lots adjacent to the eastern boundary in which the minimum setback shall be thirty feet (30'). A minimum of twenty feet (20') for permitted institutional uses. A minimum of five feet (5') for patio covers. For every foot that a new two-story house is raised from ten feet below an existing single-story house, the setback, or separation between houses, should be increased beyond the standard 20 foot (20') backyard by three feet (3').

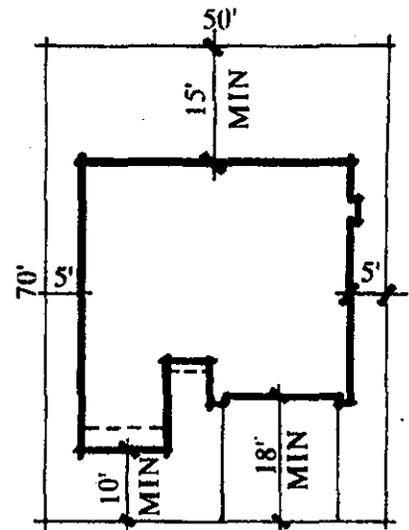
Refer to Figure 12, Page 24, Typical Lot Plans, which follows this page illustrating a typical lot and pad configuration with proposed yard setbacks.



Plan 1
(1-story)



Plan 2
(2-story)



Plan 3
(2-story)

(dashed lines are second story)

Typical Lot Plans

Setback Standards

Front Setback: vary - 10' minimum, 18' to roll-up garage door
(measured from back of walk, or back of curb if no walk)

Side yard: 5' minimum

Rear yard: vary - 15' minimum

MEADOWS
SIMI VALLEY, CA

CUCAMONGA DEVELOPMENT COMPANY

17985 SKY PARK CIRCLE #C
IRVINE, CALIFORNIA 92614
(714) 622-6424



2) Maximum Height:

The maximum height of any residential structure shall be thirty feet (30') and fifteen feet (15') for accessory structures. The maximum height for any permitted institutional structure (church) shall be forty-five feet (45') and fifteen feet (15') for accessory structures.

3) Permitted Coverage:

The maximum lot coverage of all permanent structures shall not exceed seventy percent (70%) of the total lot area for residential structures and fifty percent (50%) of total lot area for permitted institutional structures. Maximum lot coverage of all accessory structures shall not be more than ten percent (10%) of the total lot area. The ten percent coverage for accessory structures is in addition to the percentage cover allowed for permanent structures.

4) Walls, Fences and Structures in the Setback Area:

The provisions of Section 9-1.802(b)(1)(ii) or as later amended (STANDARDS FOR RESIDENTIAL ZONES) of the Simi Valley Municipal Code shall apply.

5) Off-Street Parking:

The following parking standard shall apply to residential uses. 1.3 spaces per unit on common drives; 2 spaces in garage; 2 spaces on private drive in front of garage.

Off-street parking for all permitted institutional uses shall be consistent with the Simi Valley Municipal Code Section 9-1.905(a)(34).

6) Drives:

The entrance drives shall have curb to curb widths of 40 feet, with no parking. All other internal drives serving more than four dwellings shall have curb to curb widths of 36 feet, with parking permitted.

IV. IMPLEMENTATION

IV. IMPLEMENTATION

A. Introduction

The section which follows describes the implementing measures for the First/Royal Specific Plan area, including phasing, amendments to the Specific Plan, and Tract Map processing.

B. Phasing

Phasing within the First/Royal Specific Plan area shall be described in the tentative tract notes for each individual project. The phasing for The Meadows development within the Specific Plan shall generally be completed in three phases within the Meadows Planned Residential Development project area, including all infrastructure, grading and pad construction. Phase 1 shall include the area north of the existing Jehovah's Witness Kingdom Hall. Phase 2 shall include the area south of the Jehovah's Witness Kingdom Hall site. Phase 3 shall include the additional area south of the westerly prolongation of the rear line of the existing condominiums on Clayton Way. All storm drain and detention facilities will be built with Phase 1. If future conditions dictate an alternative phased approach, additional Tentative Map phasing information and plans will be submitted to the City of Simi Valley, for review and approval.

C. Tract Map Processing and Development Plan Review

A tentative map may be processed concurrently with this Specific Plan. Future tentative maps and site plans, as necessary, will implement the policies and regulations of this Specific Plan and will be processed in accordance with the applicable provisions of the Simi Valley Municipal Code.

D. Amendments to the Specific Plan

Amendments to the First/Royal Specific Plan shall be processed in accordance with the terms herein described. Minor amendments defined as changes to the text, including product type mix, which do not involve changing the land uses permitted within the Specific Plan area or an increase in the number of dwelling units beyond 8 du/ac may be approved by the Director of the Department of Environmental Services. In addition to the Meadows Planned Residential Development area, five additional parcels are included in the First/Royal Specific Plan area (see Figures 4, 10, 11 and 12).

E. Financing

All financing shall be provided by project proponents.

V. GENERAL PLAN CONSISTENCY

V. GENERAL PLAN CONSISTENCY

The project site is identified in the General Plan Appendix B as the First/Royal Specific Plan Area (Page B-12). The following standards are identified in the General Plan to ensure compatibility of property uses along with the Meadows Planned Residential Development project design responses noted in italics.

The area is known as Site K (First Royal).

Location: East of First Street and North of Royal Avenue.

Purpose: 1. To coordinate project design within an area of multiple parcels and different ownerships and to provide a compatible land use pattern with the various surrounding residential uses.

The proposed project consists of one- and two-story single-family residential units which are compatible with adjacent residential land use patterns. Of a total 18 parcels, 13 are assembled as a project. The remaining 5 parcels are individual ownerships, one the site of a place of worship the other four having occupied residences.

2. To coordinate street design and layout in order to minimize access from individual parcels onto adjacent limited - access arterials.

Circulation design limits arterial access to two driveways along First Street. Two new entrance streets from First Street are proposed, in lieu of potential access from 12 individual parcels to First Street and from 1 parcel to Royal Avenue.

Standards: 1. Land use should be moderate density residential with a maximum of 8 units per acre including all bonuses.

Project density equals 6 dwelling units per gross acre.

2. Bonus dwelling units in excess of 8 units per acre shall not be permitted.

Project density is 6 DU's per gross acre. No bonus units are proposed.

3. The Specific Plan shall provide for a variety of residential densities to encourage compatibility with existing multi-family housing to the north and existing single-family residences to the east.

Project design includes one- and two-story residential units. Proposed intensity of development approximates that adjacent to the southeast, comparable to that to the east (20 units proposed opposite 21 existing, with physical separation), and substantially below the existing 22 per acre net density to the north. The moderate project density proposed is a compromise between the variety of land uses surrounding the area.

4. The Specific Plan shall provide for internal greenbelts and enriched parkways on First Street and Royal Avenue.

Internal greenbelts are provided through a linear open-space network which connect with enriched parkways on First Street and Royal Avenue. Enriched parkways exceed minimums set forth in the General Plan. The internal greenbelt system is within a system of continuous sidewalks.

5. The Specific Plan shall provide for one-story single-family detached homes along the eastern boundary of the site. These homes shall be on lots not less than 75% of the width of the lots of the existing subdivision immediately to the east and shall be aligned in such a way that there will be no more than two lots abutting lots on Willowbrook Lane.

The residential units within the proposed Specific Plan area include both single-story residences and two-story residences along the eastern boundary. However, the design is in substantial compliance with the one-story to two-story residential adjacency policy adopted by the Simi Valley City Council on November 9, 1998. All lots abutting Willowbrook Lane are at least 75 percent of the width of the adjacent tract and no more than two lots abut any Willowbrook Lane parcel.

6. New dwellings constructed on the site adjacent to the homes on Willowbrook Lane shall be set back not less than 25 feet from property line.

The minimum setback is 30 feet. Proposed setbacks adjacent to the east property line vary from 30 to 32 feet, averaging

approximately 30.6 feet, compared to existing adjacent rear yards of 26 to 79 feet.

7. The Specific Plan shall make adequate provision for the on-site parking of automobiles and recreation vehicles and shall prohibit such parking next to the eastern boundary of the site.

RV parking is provided on-site and is not adjacent to the eastern boundary. A total of twenty RV spaces, available to all owners in the project, are provided in a secure common area. Parking for each unit includes two spaces in a garage, two guest spaces adjacent the garage and approximately 1.3 guest space at the drive curb, comparable to typical subdivisions.

A. Land Use Element

Goal III-1. Preserve and promote the image of the community as a tree-covered valley surrounded by the natural hillsides.

The proposed project would involve low suburban profile residential development on the valley floor. All utilities will be placed underground to protect visual resources. The project land use plan complements the pattern of existing neighborhoods. The land plan includes peripheral walls, internal greenbelts and extensive setbacks on the periphery.

Goal III-2. Promote the efficient mapping of land uses within Simi Valley to minimize land use incompatibility and traffic impacts.

The project site plan incorporates design features which ensure compatibility with adjacent residential neighborhoods. The internal circulation system is integrated at appropriate locations with the arterial street network thereby providing efficient vehicular movement. The project promotes the policy of concentrating development on the valley floor.

Goal III-3. Preserve and protect the hillsides as an important visual and aesthetic resource.

The proposed project involves construction of a low profile residential neighborhood situated on the valley floor.

B. Conservation/Open Space Element

Goal IV-1. Conserve, enhance and protect the natural resources of importance to the Simi Valley area of interest.

The proposed project involves construction of a low profile residential neighborhood situated on the valley floor. As an infill project, it directs growth away from the hills and canyons and thereby helps preserve natural features within the planning area.

Goal IV-2. Preserve the existing plant resources and wildlife habitat and encourage the provision of additional landscaping.

The project site does not contain any significant habitat or landmark trees. Infill valley floor development promotes protection of the wildlife values associated with outlying hillside areas. Project plans include landscaping enhancements along First Street and Royal Avenue.

Goal IV-3. Preserve to the greatest extent feasible, significant archaeological and historical features of the community.

The project site does not contain archaeological or historical features.

C. Housing Element

Goal V-1. To create a balanced community with services and housing opportunities for all economic segments of the community.

As a moderate density residential project, the proposed development fulfills a housing need which satisfies a broad range of housing demand within the community. Project densities are consistent with General Plan growth projections.

Goal V-2. To establish a program to meet the special needs of target groups.

The design of project sidewalks, parking and public areas within the project shall facilitate access by the handicapped as required by State law.

D. Recreation Element

VI-1. Encourage the development of a variety of recreational opportunities accessible to the public.

The project includes the construction of two on-site private residential recreational facilities which complement public programs by fulfilling a local neighborhood need.

E. Circulation Element

Goal VIII-1. Provide for the safe and efficient movement of people, goods and services throughout the City while minimizing the impact of the circulation system on residential areas and the suburban character of the community.

The project's internal circulation network is designed to ensure the smooth and safe flow of vehicles and bicycles by limiting access points to the surrounding arterial network to two appropriate locations. Internal local streets have been designed to discourage through traffic.

Goal VII-2. The City should develop and encourage a transportation management system to assist in mitigating traffic impacts.

This goal is implemented through citywide programs pursued by the City of Simi Valley.

F. Safety Element

Goal VIII-1. Minimize the hazards to public health, safety and welfare and prevent loss of life, bodily injury and property damage resulting from natural and man-made occurrences.

The project site accommodates development in an area void of unnecessary risk to public health and safety. The development will provide adequate infrastructure to project residences from peak storm flows. All essential public services can be provided to the subject property.

G. Community Services Element

Goal IX-1. Provide the public of Simi Valley with the maximum level of community services at a reasonable cost.

This goal is implemented through citywide programs pursued by the City of Simi Valley.

Goal IX-2. Maintain municipal services, public utilities and facilities at adequate levels of service.

The project infrastructure will be developed at a sufficient size to ensure that current standards are met or exceeded. The project shall pay fair share cost into improvement funds collected by the City at time of issuance of building permits.

Goal IX-3. Coordinate with the Simi Valley Unified School District to identify and plan school locations and facilities.

The project site has not been identified as a location for future school facilities and therefore development for residential purposes will not conflict with this goal.

Goal IX-4. Coordinate the phasing of development with the provision of adequate levels of community services.

The project directs growth to the valley floor which is where urban development is encouraged within the City of Simi Valley.

Goal IX-5. Maintain a water supply system capable of adequately meeting normal and emergency demands in the City.

Project demand can be accommodated within the existing capacity of the water storage and supply system.

Goal IX-6. Maintain a sewage disposal system to ensure its adequacy to protect the health and safety of all residents and businesses.

Project demand can be accommodated within the capacity of the sewage system.

Goal IX-7. Maintain a storm drainage system adequate to protect lives and property.

Project infrastructure will protect site development from peak storm flow and any minimal additional run-off can be accommodated within the existing storm drainage system.

H. Noise Element

Goal X-1. The City shall maintain its character as a quiet suburban community.

Noise impacts have been considered as part of project land use decisions and appropriate mitigation to protect future residents from roadway noise have been incorporated into the project design.

I. Economic Development Element

Goal XI-1. Encourage the development of commercial uses which meets the needs of local residents and increases tax revenues for the City.

The project site is planned for residential development consistent with the General Plan Land Use Element.

Goal XI-2. Attract high quality, non-polluting industrial uses that will have a minimal impact on environmental quality and which can utilize the legal labor force and provide positive economic benefits to the City.

The project site is planned for residential development consistent with the General Plan Land Use Element.