

BRANDEIS - BARDIN
INSTITUTE

SPECIFIC PLAN



CITY OF SIMI VALLEY

CIVIC
ENGINEERING
CORPORATION

REVISED EFFECTIVE 1/21/93

ADOPTION

Planning Commission		City Council		Effective Date
Resolution No.	Date	Ordinance No.	Date	
SVPC 120-89	October 3, 1984	591	December 3, 1984	January 3, 1984

AMENDMENTS

Amendment No.	Planning Commission		City Council		Effective Date
	Resolution No.	Date	Ordinance No.	Date	
1	SVPC 11-91 and SVPC 57-91	2/6/91 and 7/31/91	765	11/25/91	12/26/91
2	SVPC 86-92	9/2/92	789	12/21/92	1/21/93

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I. INTRODUCTION

A. Purpose and Intent

The purpose of the Brandeis Bardin Institute Specific Plan is to provide design objectives, performance standards, and guidelines for development of a 100-acre business park in an orderly, efficient and attractive manner and to insure that a high quality of development shall occur as the end result of the planning process.

The quality and character of the proposed project is of importance to the City of Simi Valley and the Brandeis-Bardin Institute, the previous property owner of record.

The Specific Plan process provides an opportunity for the City and the Institute to work together in order to prepare a strategy for development.

The adoption of the Specific Plan by the City of Simi Valley is authorized by the California Government Code, Section 65450 through 65507, and when adopted by City Legislative action shall serve both a planning function and a regulatory function.

As adopted, the Plan shall establish the type, location and character of development permitted while also providing for design flexibility and changing market conditions within the framework of the overall plan.

B. Location

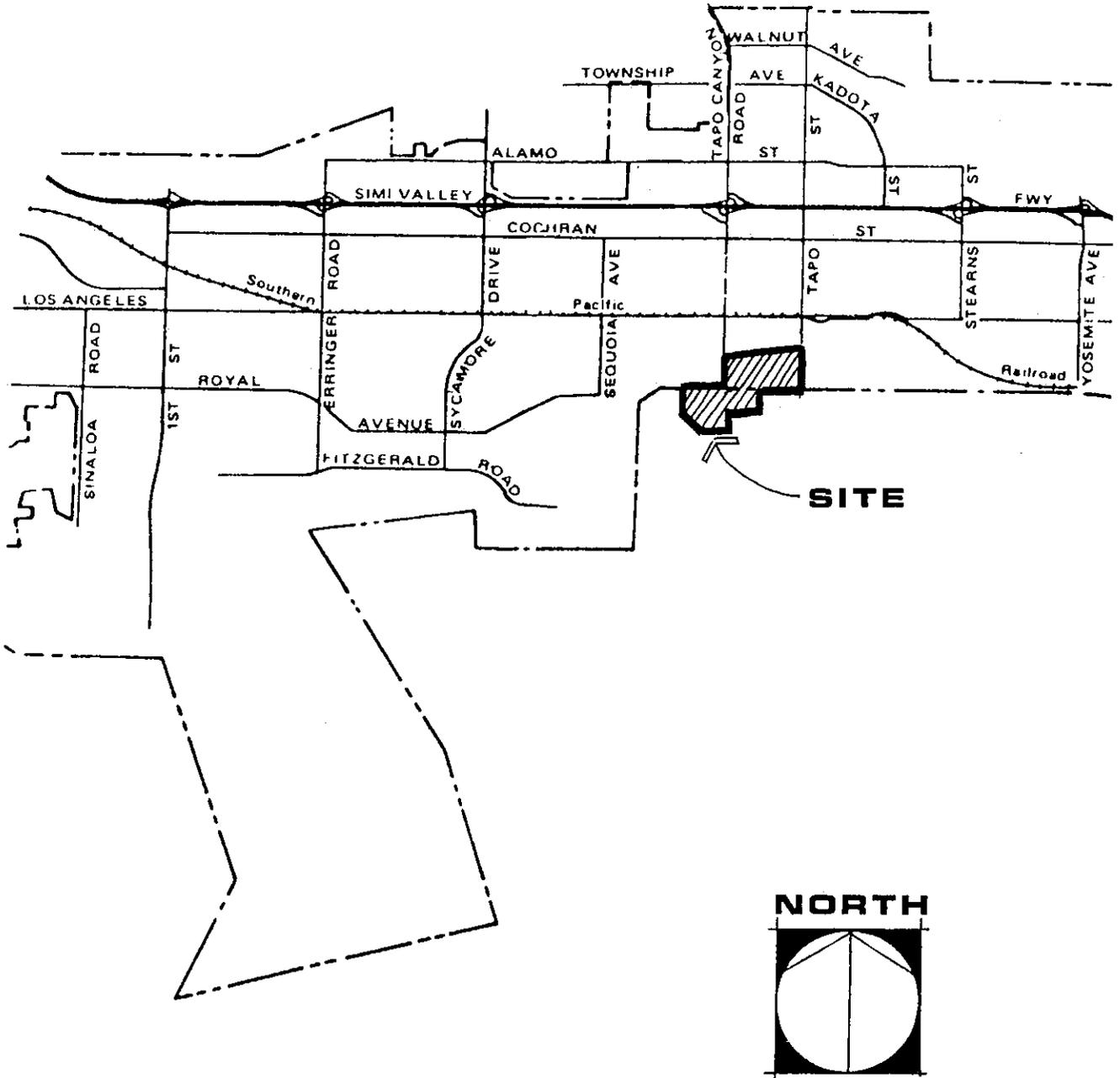
The subject property consists of approximately 100-gross acres located south of the Arroyo Simi at the entrance to the Brandeis-Bardin Institute. The property is bounded on the north by the Arroyo simi, on the west by a line 1,000 feet west of Tapo Canyon road and on the south and east by Institute property. Approximately 40 of the 100-gross acres is proposed for development (See location map, Exhibit I).

C. Community Setting/Planning Context

In April of 1984, the Simi Valley City Council adopted a General Plan Amendment for the subject property. A "Business Park" and use a category was established for the area requiring the preparation of a Specific Plan for development.

As a logical extension of the Peppertree Industrial area and proposed Heritage Oak facilities, the Specific Plan shall establish development criteria necessary to maintain a relationship between existing business and industrial uses, the residential neighborhood to the north, and Institute related activities conducted by Brandeis.

**LOCATION MAP
SPECIFIC PLAN AREA**



D. Issues, Constraints and Opportunities

In the early planning stages for this project, the Brandeis-Bardin Institute identified a number of issues, constraints and opportunities that would guide the formation of a development plan for the property. In the course of processing an application for a General Plan Amendment, an Environmental Impact Report was prepared identifying additional issues. These issues have been further elaborated upon by city staff and serve as the foundation upon which a responsible plan for development has been prepared.

1. Issues - The major issues that have been raised are
 - a. Project Visibility
 - b. Relationship to adjacent uses
 - c. Traffic circulation & emergency access
 - d. Grading
 - e. Tree retention
 - f. Project security
 - g. Impact upon Institute activities
2. Opportunities and constraints which have been identified are as follows:
 - a. Constraints:
 - 1) Existing trees
 - 2) Calleguas water line
 - 3) Meier Creek crossing/100 year flood plain
 - 4) Hillside areas in excess of 20 percent slope gradient
 - 5) Development costs
 - 6) Alignment of Tapo Canyon Road
 - 7) Limited access
 - b. Opportunities:
 - 1) Unique setting
 - 2) Attractiveness for Corporate Facilities

- 3) Employment opportunities for residents of the city
- 4) Improved entry to area south of Arroyo Simi
- 5) Arroyo Simi as natural buffer area
- 6) Create a coordinated road system through parcels of multiple ownership
- 7) Ensure flexibility to accommodate potential users with both large and small parcel requirements
- 8) Comprehensive planning to reduce incremental development costs
- 9) Coordinated planning with Heritage Oak Business Park. (Adjacent industrial property to the north and west).

II. SPECIFIC DEVELOPMENT PLAN

A. Purpose

The primary purpose of the development plan proposed herein is to implement the City's General Plan through the physical and economic development of the subject property. Included in this plan are design objectives necessary to guide development and create a well-planned business park compatible with adjacent uses and the natural environment. Standards are established in the development plan to guide and regulate site development, circulation, intensity of use, grading and project character.

B. Plan Design and Objectives

1. To site a variety of business and industrial uses in a manner that recognizes physical constraints and accommodates development in a sensitive manner.
2. to protect adjoining uses and the remaining Institute property from potential problems associated with the proposed development.
3. To provide for harmonious design theme for the project which exhibits continuity and a consistent application of performance standards throughout the development.
4. To provide a circulation system designed to facilitate proposed development without conflicting with adjacent land uses.
5. Create a high quality entry theme in conjunction with development of the Heritage Oak property located directly to the west.
6. To provide for necessary utilities and services in an economical manner.

C. Development Plan

The Development Plan identifies the type, location and interrelationship of the various land uses permitted within the study area. The principal land uses identified for development within the Study Area shall be limited to:

- **Business Park**
- **Open Space**

The generalized intent of each of these major user types is described as follows: (see Appendix A for a detailed listing of permitted and conditional uses.)

Business Park: This use area is intended for development of a broad range of industrial and industrial-office activities whose operations are conducted on a high level of site development and

operational performance standards. Development sites within this category will be a varying sizes to accommodate both single and multiple user development.

Principal uses permitted are those identified in the BP, Business Park District identified in Appendix A, and include high technology, manufacturing and assembly, administrative offices, laboratory, research and development facilities and supporting services such as financial and professional offices.

Open Space Overlay: This area is intended to serve as a safeguard for the protection and preservation of natural drainage areas and hillside slopes in excess of 20 percent slope gradient. The Open Space Overlay shall be applied to all parcels or portions of parcels which fall outside of the proposed development areas. A detailed description of the permitted uses in the zone are identified in Appendix A.

The general location of all principal land uses is shown on the Land Use Development Plan, Exhibit II and a Zoning Implementation map is shown in Exhibit III. Exhibit II indicates major land use areas and Development Areas where principal landuses are to occur.

D. Circulation

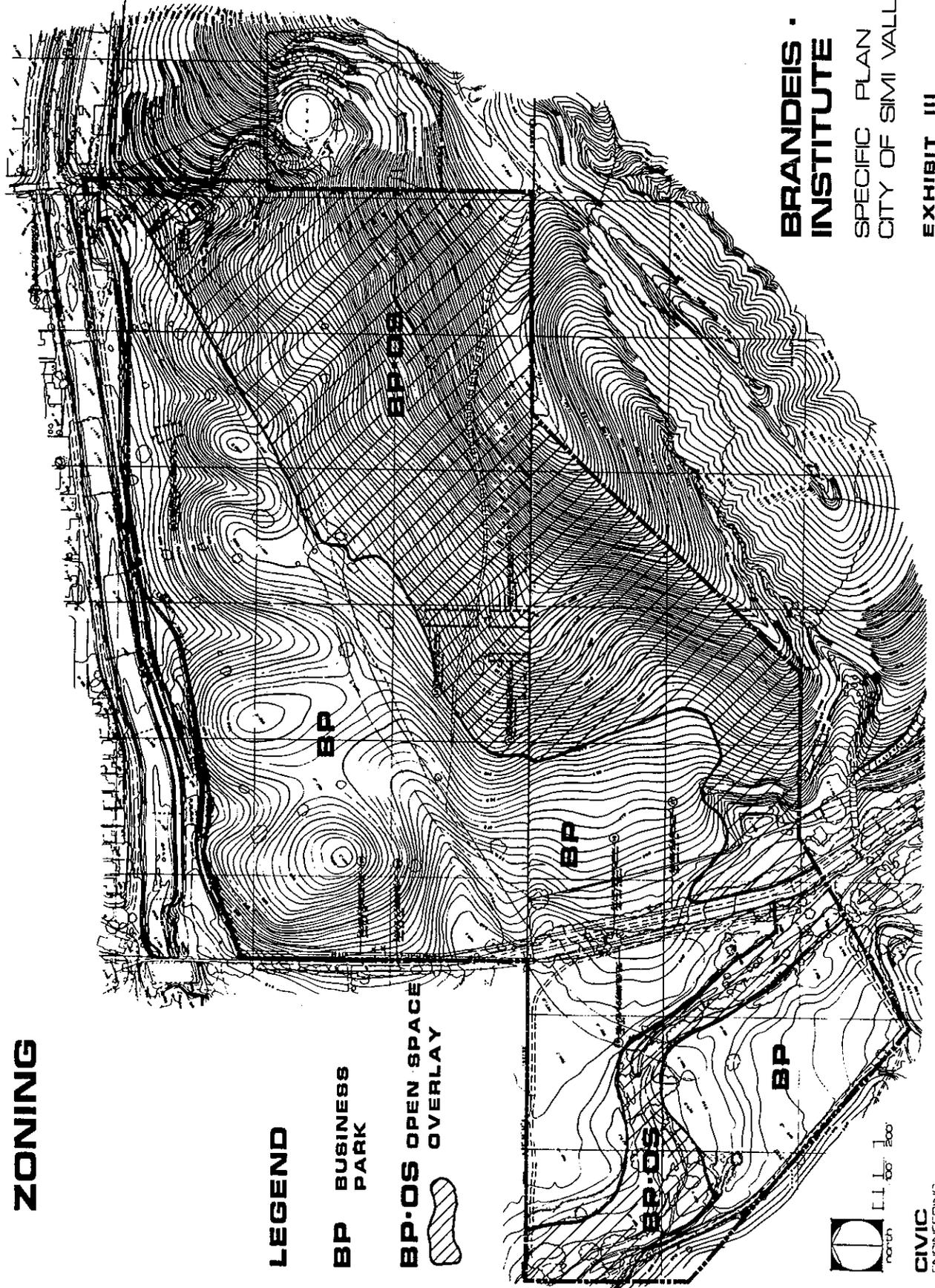
1. Purpose

To define the general form and character of the circulation system necessary to serve the proposed development.

2. Goals

- a. To ensure that the street system is of adequate capacity to serve the proposed development.
- b. To provide a circulation system that enhances the security of the proposed project by limiting access and at the same time providing adequate ingress and egress for public safety.
- c. To provide a circulation pattern that does not adversely impact adjacent residential neighborhoods and is consistent with development in the immediate area. In particular, the development should minimize any traffic impacts along Tapo Street which is a critical street for ingress and egress for local residents.
- d. To ensure that the proposed street geometric and design considers the natural contours of the land, soil type, geologic conditions, drainage patterns, existing trees and prominent natural features.
- e. to provide a system which considers safety features, economy of construction, convenience, and economy of use in its design.

ZONING



LEGEND

BP BUSINESS
PARK

BP-OS OPEN SPACE
OVERLAY

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CITY OF SIMI VALLEY

EXHIBIT III
REVISED EFFECTIVE 12/26/91



- f. To provide for secondary access for project occupants and public service vehicle access.
- g. To provide roadway landscaping which will enhance project design and establish continuity to the overall landscape theme.

3. Design Concept

The street systems shall be located as shown on Exhibit IV. Precise alignment including the design of all local and cul-de-sac streets shall be established as part of the Tentative Tract Map approval process.

The alignment of the "backbone" street system shall be relatively fixed as shown on the Exhibit IV. Additional cul-de-sac streets may be constructed as indicated on Exhibit IV. These streets may be required only if future lot divisions are proposed.

The following streets rights of way are proposed and shall include enriched parkway landscaping outside the rights of way as an easement on adjoining lots (Exhibit V).

Proposed Right of Way:

- * Street A - 60' R/W with 10' enriched parkway.
- * Street B - 60' R/W with 10' enriched parkway.
- * Street C - 82' R/W with 14' median and 20' enriched parkway (Tapo Canyon).
- * Emergency access road (30' easement).

Street Parking: No parking shall be permitted on any proposed public street except for emergency vehicles.

Street Grades: Maximum road grades for public streets shall not exceed 10 percent except where special circumstances shall dictate a variation from this standard.

E. Landscape

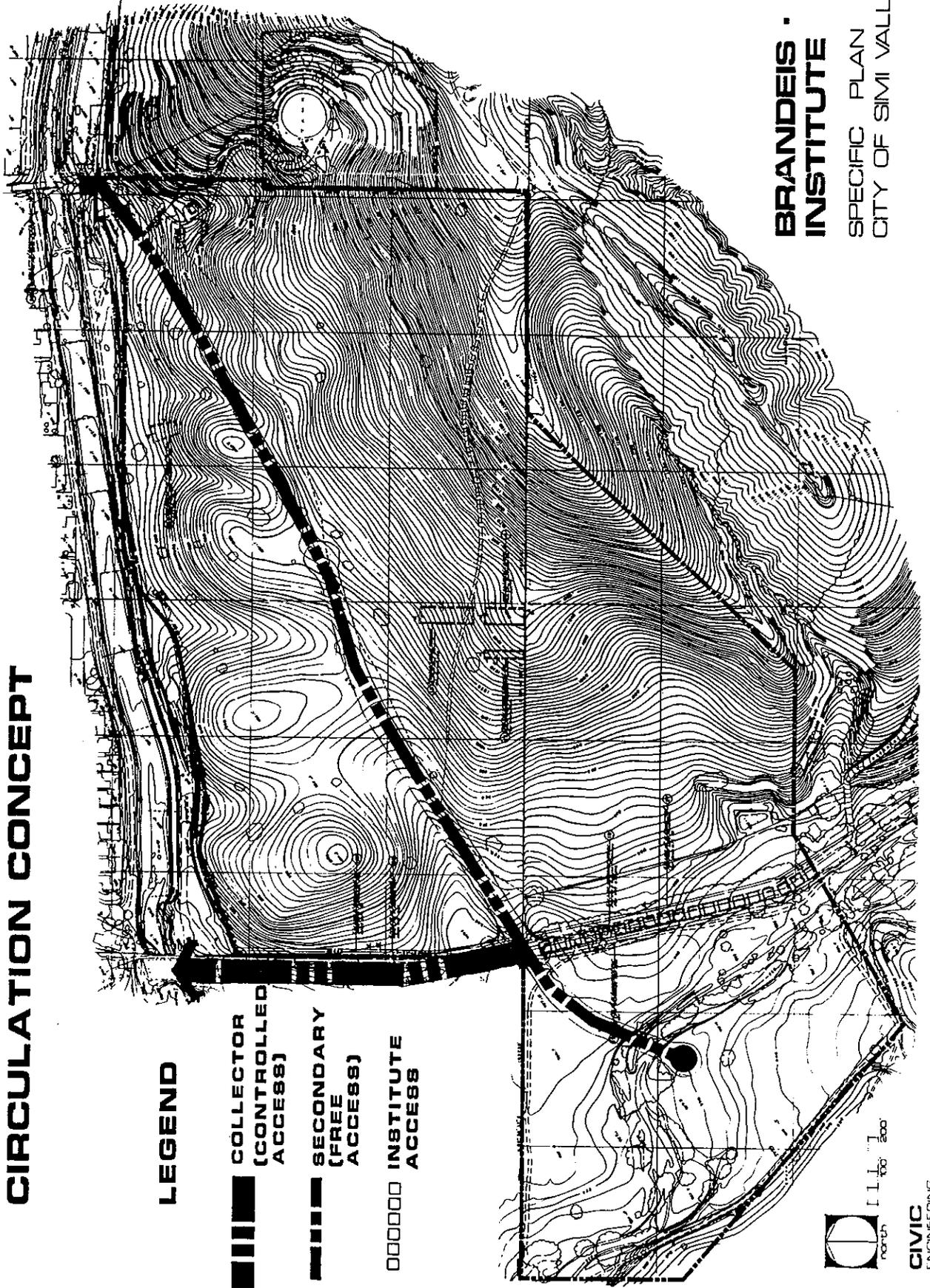
1. Purpose

To establish a Comprehensive Landscape Concept for the Specific Areas.

2. Goals

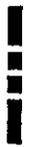
- a. Landscaping shall be designed to establish project identity and to emphasize entrance areas.
- b. Landscaping, berms, slopes, and setbacks shall be used to screen parking and storage areas.

CIRCULATION CONCEPT



LEGEND

 COLLECTOR
(CONTROLLED
ACCESS)

 SECONDARY
(FREE
ACCESS)

 000000 INSTITUTE
ACCESS

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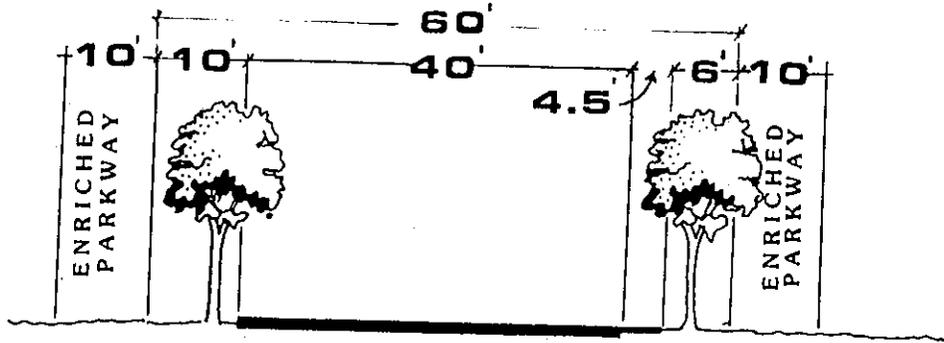
SPECIFIC PLAN
CITY OF SIMI VALLEY

EXHIBIT IV

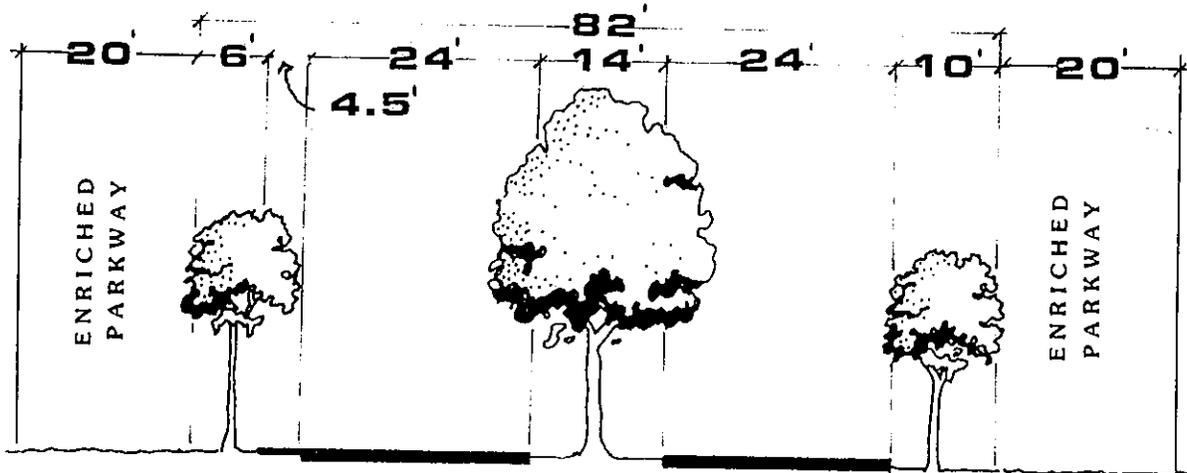


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COLLECTOR STREET



CONTROLLED ACCESS TAPO CANYON



STREET SECTIONS

- c. Fire protection areas shall be established through the use of fire retardant materials and landscape management.
- d. Wherever feasible, native and drought tolerant plant materials shall be used and existing mature trees will be preserved.
- e. Minimum performance standards and a listing of acceptable plant materials shall be established for all planning areas during the review process prior to the issuance of a grading permit.

3. Landscape Concept

The rolling grasslands of the southern portion of the property provide a natural landscape within which an ornamental landscape will be developed, defining the Business Park complex. Within the project area, a number of landscape "zones" (Exhibit VI) are established to provide native vegetation, transitional planting, and formal landscaping as follows:

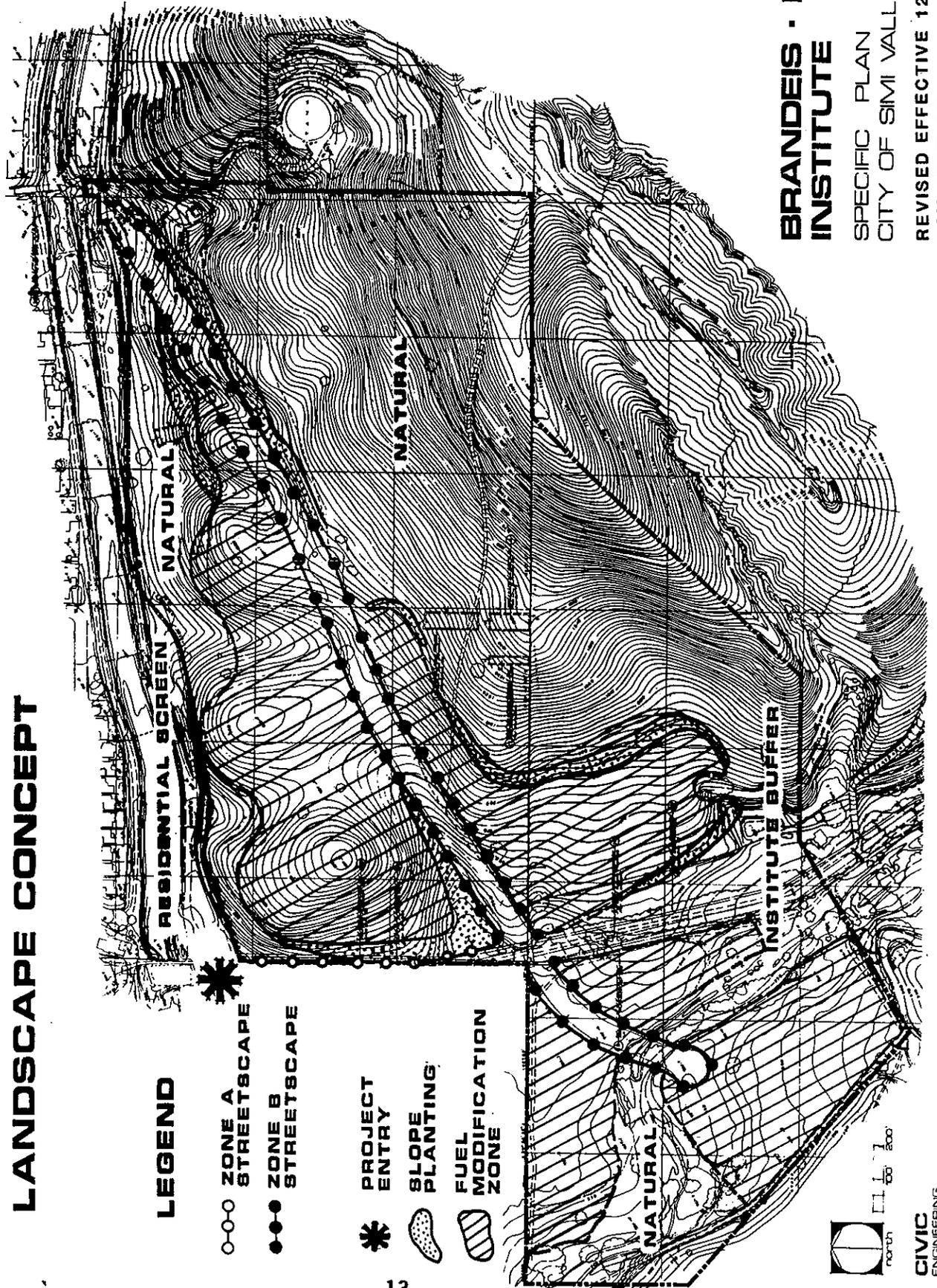
4. Landscape Zones

- a. Zone 1: Natural Grasslands - Within the project boundaries are a number of ridges which are visually significant to the immediate area. These landscapes shall be maintained in natural grasses and shrubs. Slopes that are disturbed within the natural grasslands shall be re-established to blend with surrounding landscapes.
- b. Zone 2: Fuel Modification Zone - Fuel Modification Zones will be created by graduated decreases in native plant densities and the substitution of fire resistant plant near development areas. These shall be provided in favor of standard fire brakes. The pattern of vegetation removal and introduction will be consistent with these principals and those of wildlife habitat conservation.

Fuel Modification Zones shall be established according to the pattern of development in the following way:

The primary zone of Fuel Modification is the development area immediately surrounding the site structures, defined by the extent of grading, and road rights-of-way. When development occurs, these areas will be re-vegetated and/or paved. Vegetation shall comprise irrigated plant materials in intense development areas along with the introduction of fire resistant and drought tolerant materials. In development areas where existing vegetation is retained, a program of thinning, pruning, and select removal (up to 70

LANDSCAPE CONCEPT



LEGEND

- ZONE A STREETSCAPE
- ZONE B STREETSCAPE
- * PROJECT ENTRY
- ☞ SLOPE PLANTING
- ▨ FUEL MODIFICATION ZONE



percent) of high fuel species will be implemented. This zone extends approximately 100 feet from site structures.

Prior to Development in fire hazard areas, a fire suppression plan for each developed area shall be submitted to the Fire Department for approval.

c. Zone 3: Entry Zone - To establish a project identity, two levels of entrance landscape and signing have been established. (Reference Exhibit VII and Exhibit VIII).

1) Project Level Entrance - At the entrance to the area or the intersection of the collector and the secondary access, project wide identification and landscape statement shall be established. This area shall be a community wide common area and shall consist of canopy tree backdrop, annual color foreground, and project monument signage.

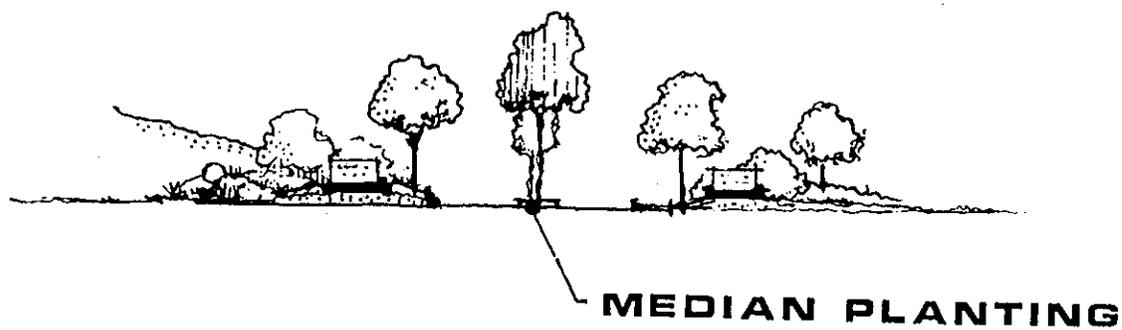
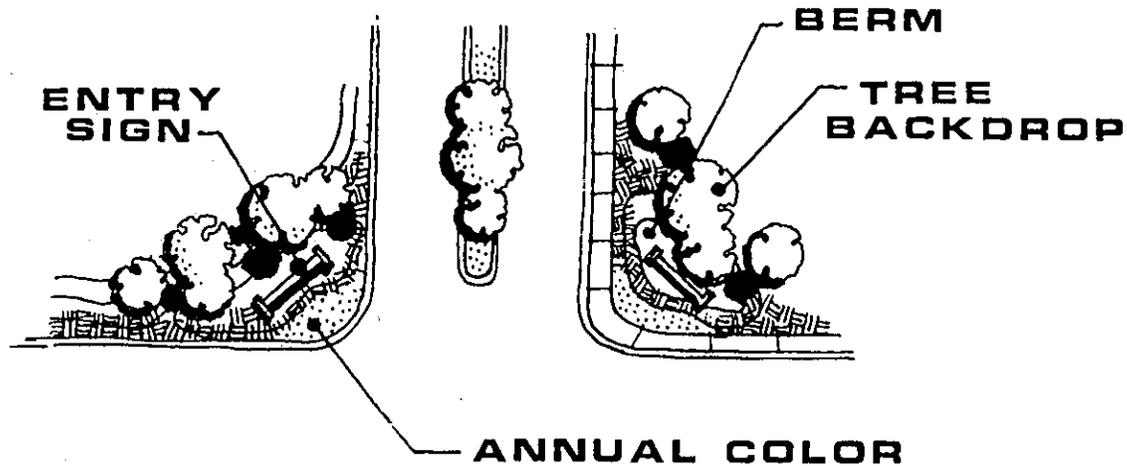
2) Parcel Level Entrance - These entrance areas may provide identification to each parcel. The entrance sign shall be privately owned and maintained and shall consist of an earthen berm, pedestal cantilever sign, tree screening backdrop, and color groundcovers.

d. Zone 4: Residential Screen - The residential screen zone shall be located on the northern fringe of the project area overlooking the Arroyo Simi and residential neighborhood to the north. A landscape screen and buffer area shall be provided to soften and screen the proposed development from residential use. Planted berms and/or special landscaping requirement will screen parking and loading areas within the proposed development so as not to be readily visible from the north. Line of sight drawings will be required during the planned development review process to ensure screening (Exhibit IX).

e. Zone 5: Institute Buffer - In the vicinity of the institute entrance, additional landscaping may be provided to screen the proposed business park from interior areas at the entrance to the canyon adjacent to Meier Creek. The existing window planting theme shall be expanded as necessary to create this buffering effect (Exhibit IX).

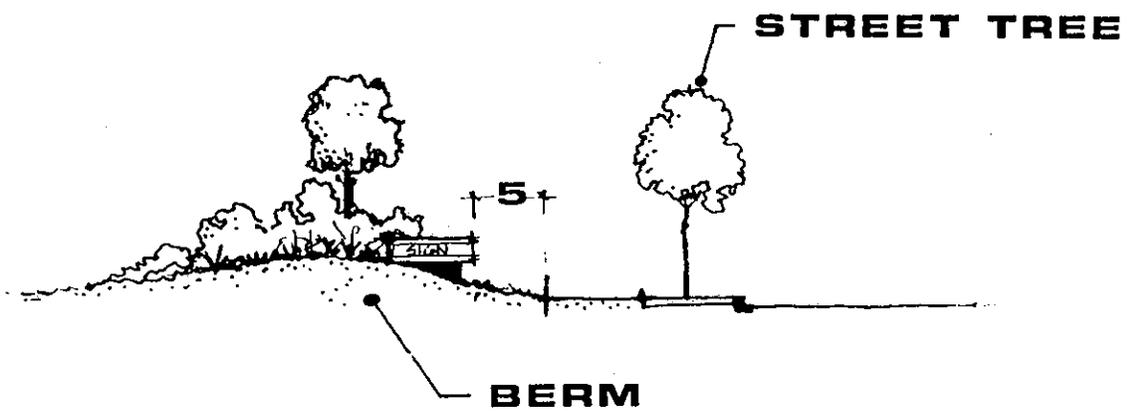
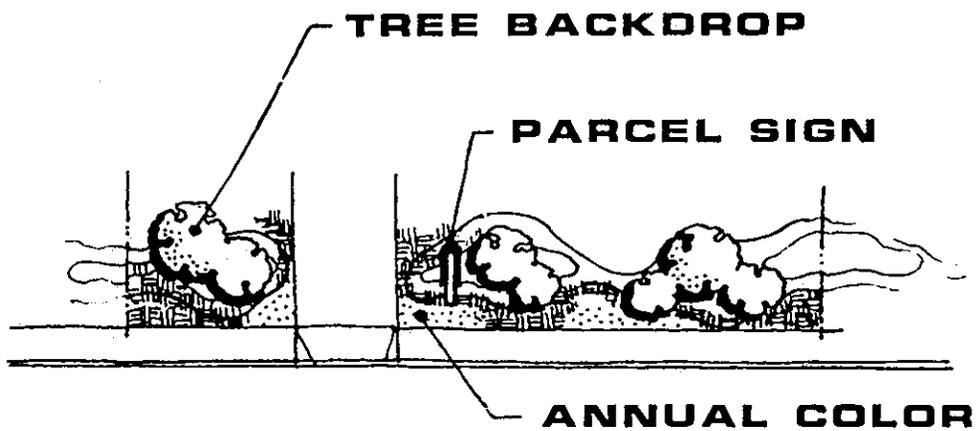
5. Streetscape Zones

A hierarchy of streetscape has been established to accentuate the project entrance and to define the interior land use area circulation system. (Reference Exhibit VI).



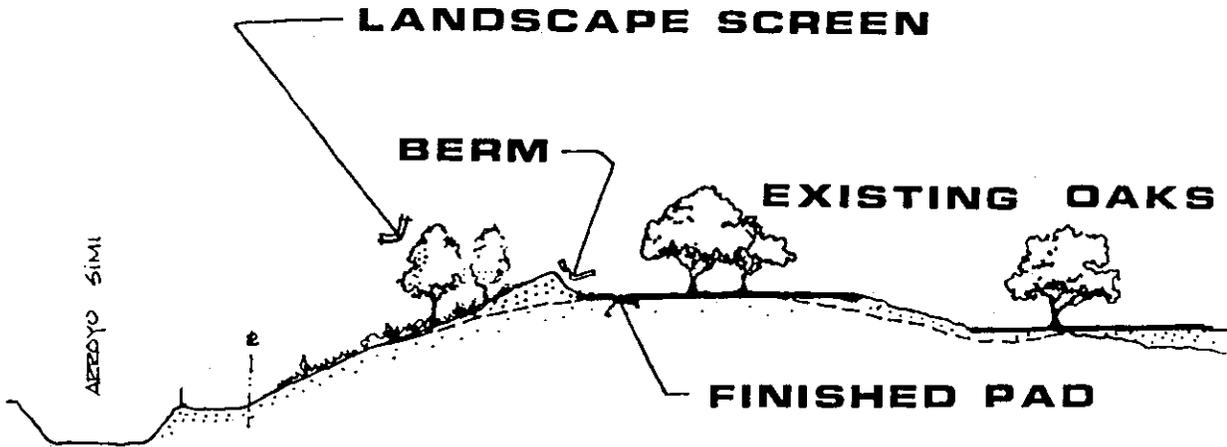
PROJECT ENTRY

TAPO CANYON • SOUTH OF ARROYO SIMI

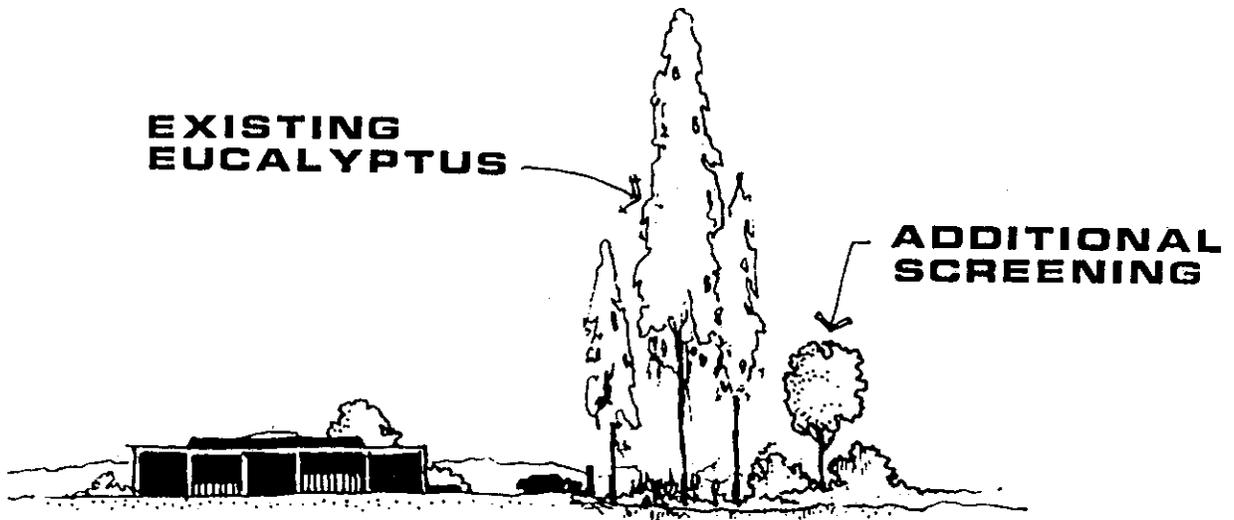


PARCEL LEVEL ENTRY

TYPICAL



ZONE 4 • RESIDENTIAL SCREEN



ZONE 5 • INSTITUTE BUFFER

- a. Zone A: This corridor is the most important landscape feature for both the Brandeis property and the proposed Heritage Oak development to the west. As one enters the area south of the Arroyo Simi, this initial impression is what establishes project identity and sets the stage for the remainder of both projects.

This zone shall consist of a 20' enriched parkway (both sides) with slope planting on the Brandeis frontage consisting of shrubs and groundcover with a formal planting of Pepper trees along the roadway in an effort to re-establish the original planting theme. A similar treatment would be provided on the Heritage Oak frontage. The parkway tree planting shall consist of 8 trees per 100 lineal feet (15 gallon minimum size).

A center median shall also be provided with 6 trees per 100 lineal feet and shall be underplanted with shrubs and flowering groundcover. The shrubs and groundcover shall be provided in a meandering fashion complimented with a hardscape material consisting of river rock from Meier Creek or other suitable material.

- b. Zone B: Collector Streets - This zone provides for the entry corridor theme to be carried over to the remaining proposed public streets.

The landscape theme shall provide an enriched parkway at least 10' in width on both sides of the right of way. This area is to contain a combination of low earthen mounds, shrubs screens, clustered tree strands, groundcovers and turf.

Trees shall be provided a 6 trees per 100 lineal feet on both sides of the street. Massing of trees with contrasting areas of open space is desirable. All trees within Zone B shall be of the same type and color as selected from a preferred tree list. Sixty percent of the street shall be 15 gallon with the remaining trees at 5 gallon minimum size.

No center median is proposed on any collector streets.

F. Grading

1. Purpose

The grading section establishes a rough grading design concept for the ultimate development of the Specific Plan area. The concept takes into consideration constraints of the site, the type of land use proposed, and the visual and environmental qualities of the property.

The grading concept shown in Exhibit X, is intended to illustrate the extent of proposed grading, identify approximate finished grades, and finished cut and fill slopes. The grading concept was conceived as a result of the analysis of site constraints, opportunities, and intended design objectives.

As specific development is proposed on individual lots, minor variation in pad configuration, elevation, drainage, patterns, and slope areas may occur. This shall be permissible provided that the proposed grading is consistent with the intent of the master grading concept contained herein and as shown on Exhibit X.

2. Grading Design Concept

The grading design concept addresses three basic design objectives:

- To provide a grading concept sensitive to the natural features of the site.
- To generally limit grading to slopes of less than 20 percent.
- To retain existing oak trees that are located within the proposed development area.

To achieve these objectives, the grading design within the proposed performance standards for two types of grading

- Pad Area Formation - Pad areas for lot development shall be controlled by the location and elevation of existing oak trees and a restriction upon development exceeding 20 percent slope.

An example of this application is illustrated on Exhibit XI.

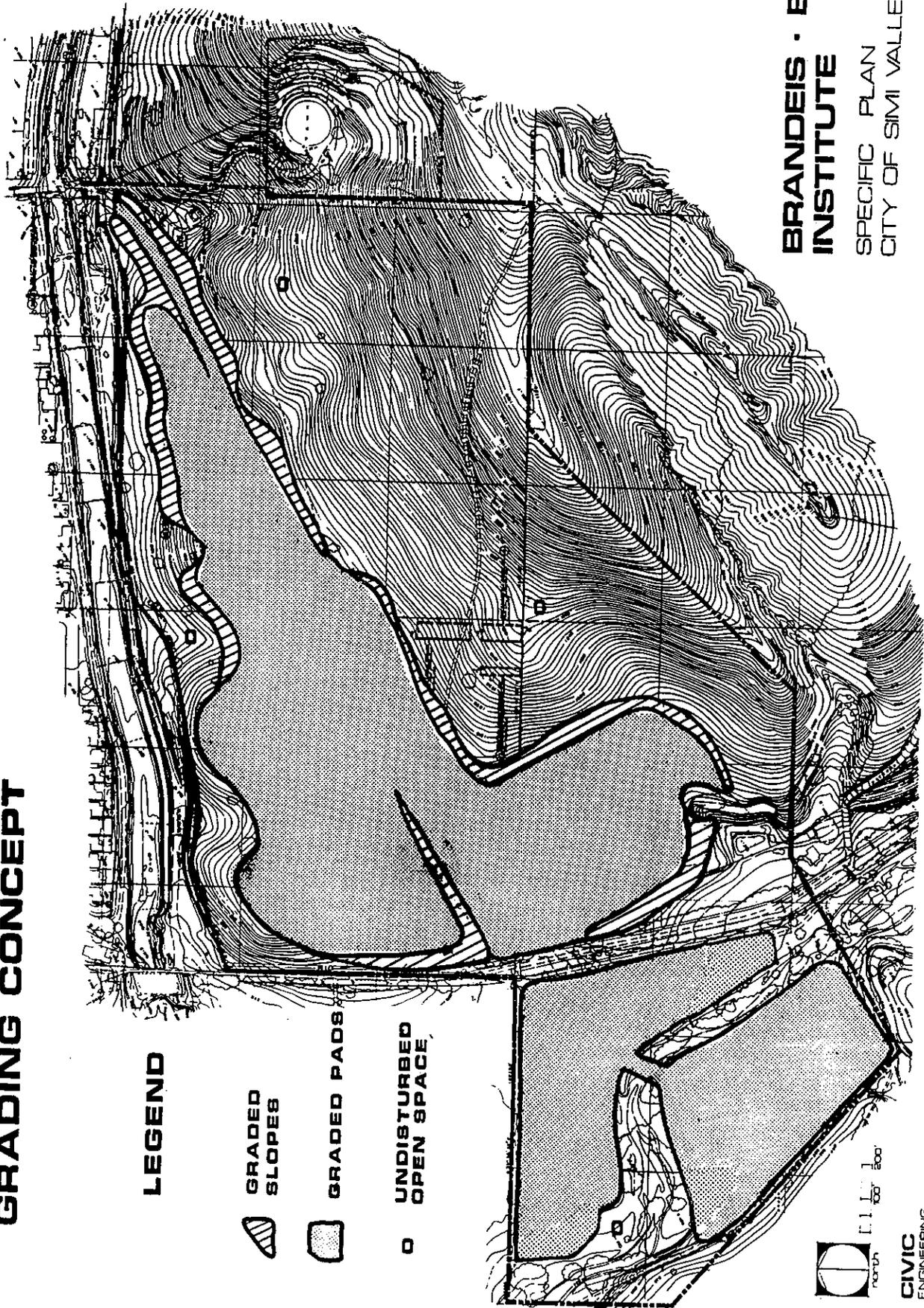
- Slope Criteria - Manufactured cut and fill slopes should be kept to a minimum and in no event should exceed 30' in height. Where cut and fill slopes are created the principles of contour grading should be utilized. Manufactured slopes should blend with the natural undulating slopes at a radius consistent with the natural terrain. Slope faces should be rounded and shaped to simulate a natural condition.

G. Visual

1. Purpose

The following guidelines are provided to maintain the visual quality of the site and to enhance the project.

GRADING CONCEPT



LEGEND

 GRADED SLOPES

 GRADED PADS

 UNDISTURBED OPEN SPACE



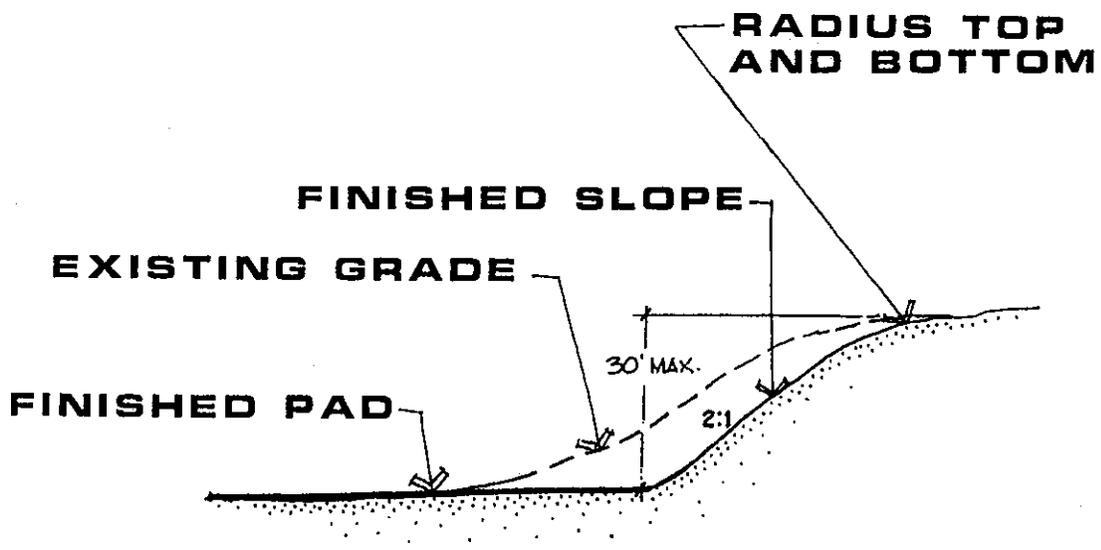
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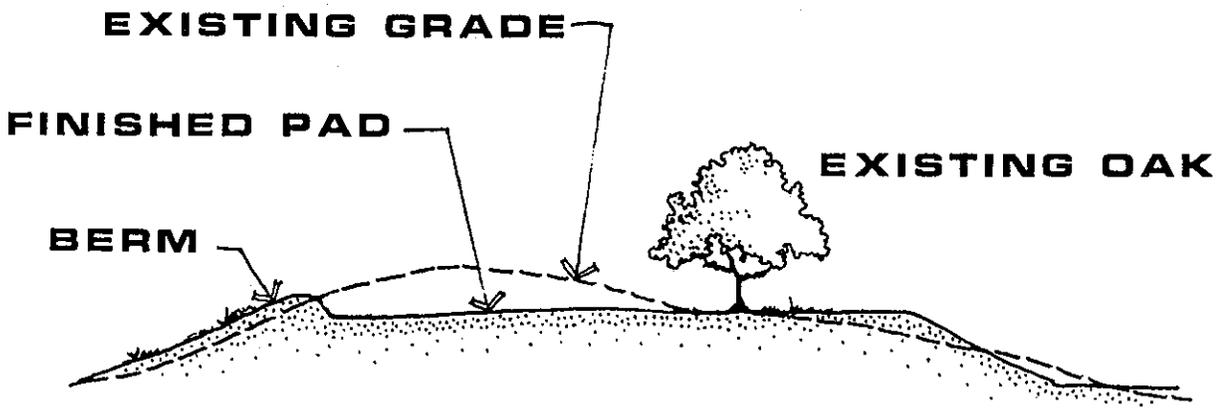
SPECIFIC PLAN
CITY OF SIMI VALLEY

EXHIBIT X

REVISED EFFECTIVE 12/26/91



SLOPE GRADING



PAD AREA GRADING

GRADING DETAILS

2. Goals

- a. To preserve the major ridgelines and slope areas (over 20 percent) which are visible from the valley floor.
- b. To minimize the visual impact upon the residential area located to the north of the project.
- c. To maintain existing grades at all major oak trees scheduled for preservation.
- d. To allow the proposed development to create a unique environment that will contribute to the visual quality of the site.

3. Design Standards

The visual quality of the project shall depend upon successful execution of development within the context of design standards set forth in the Specific Plan.

Standards relating to Landscaping, Architectural Performance and Grading are addressed in Section III.

H. Development Phasing & Public Service Facilities

The proposed development shall be served by a utility infrastructure and street as described in this section.

A conceptual plan for many sanitary sewers, water and drainage "backbone" facilities is shown on Exhibit XII. These facilities must be constructed and extended into the project area in order to serve the proposed development.

1. SEWER: A sewer system shall be installed to serve all proposed lots. The interior system shall be gravity flow up to the point where the Heritage Oak Property abuts the subject property. Heritage Oak and Brandeis are currently discussing two alternatives for a common connection to the existing trunk line in Royal Avenue. Either a continental bridge shall be constructed across the Arroyo Simi to the west or a force main shall be constructed to allow a line to cross the Arroyo at the existing Peppertree Bridge and also connect to the existing line in Royal Avenue.
2. WATER: A water trunk system for business use as well as for fire protection shall be installed as indicated on Exhibit XII.

If adequate water pressure cannot be supplied by the existing source to meet fire flow requirements or the necessary duration, on site storage capacity shall be provided with a tank located adjacent to the proposed development, screened from view, as shown on Exhibit XII.

INFRASTRUCTURE

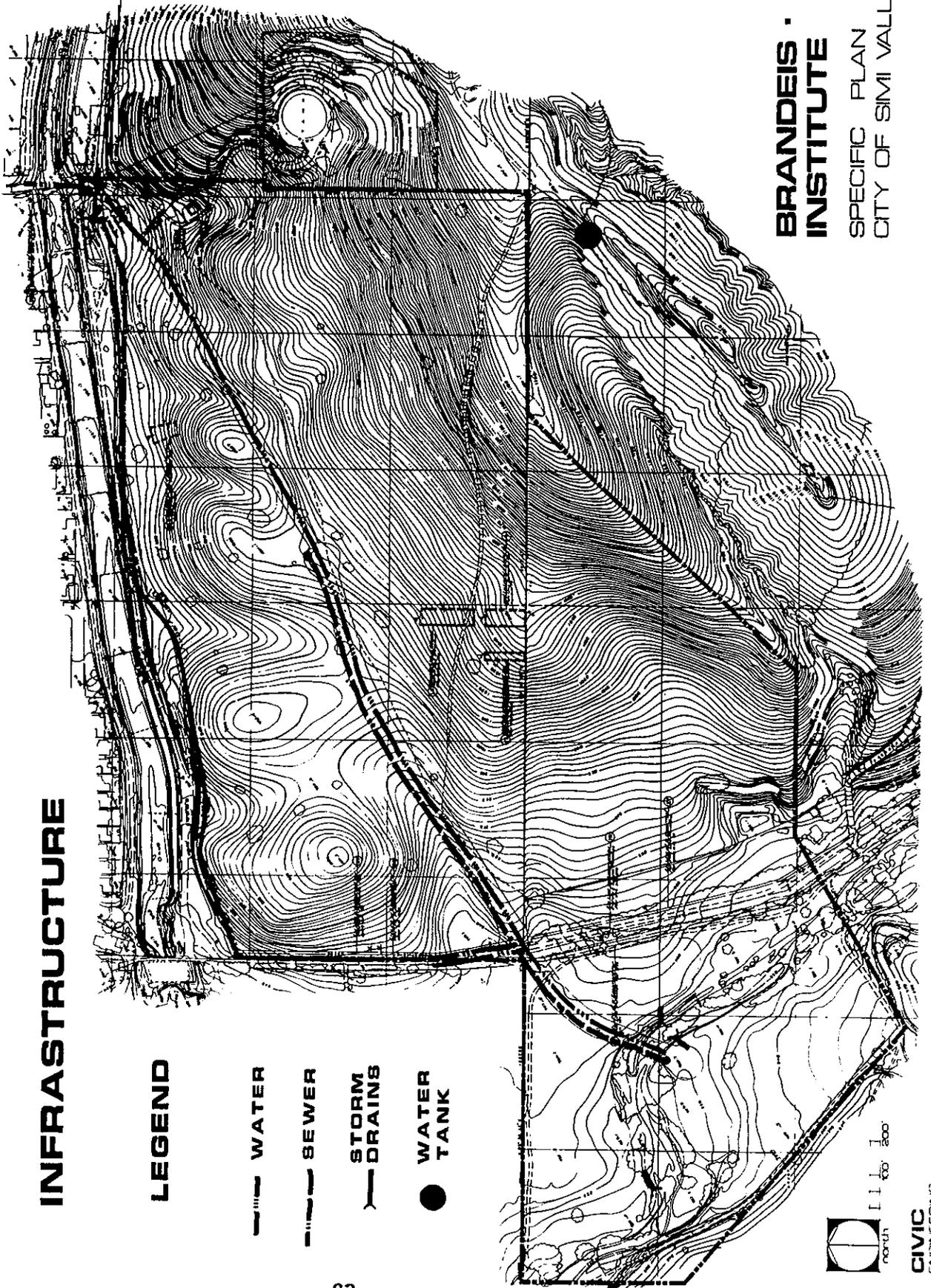
LEGEND

— WATER

— SEWER

— STORM DRAINS

● WATER TANK



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EXHIBIT XII



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3. DRAINAGE: Runoff created by the proposed project and natural terrain shall be contained by a storm drain and flood control system designed to the satisfaction of the Ventura County Flood Control District, the Public Works Department of the City of Simi Valley, and the California Department of Fish and Game.

Channel stabilization measures shall also be required along Meier Creek to stabilize slope banks and protect existing riparian trees currently threatened by severe undercutting during storm conditions. An approved "soft channel, hard channel or soft/hard channel" improvement shall be constructed to the satisfaction of the VCFCD, the Public Works Department of the City of Simi Valley and the California Department of Fish and Game.

4. STREET SYSTEM: The circulation Exhibit IV indicates the proposed street system which consist of the southerly extension of Tapo Canyon Road, a public street connection between Tapo Street and Tapo Canyon Road, and a bridge over the Arroyo Simi at Tapo Street. The Tapo Street connection will serve as a secondary emergency access road, as well as a day-to-day direct access to Los Angeles Avenue.

III. DEVELOPMENT STANDARDS

A. Purpose

The purpose of this section is to establish specific standards and guidelines which will be followed in the development of individual lots within the specific plan area. Standards and guidelines are designed to be compatible with the proposed land use categories.

B. General Provisions

1. Street Standards

- a. Objectives: Standards for streets in this Specific Plan are intended to achieve the following objectives.
 - 1) To provide for adequate circulation of vehicular and pedestrian traffic.
 - 2) To provide access for emergency vehicles necessary to serve the project area.
 - 3) To provide the most economical construction and maintenance of streets within the project area.
- b. Relationship to Establish Standards: Street standards provide herein may conflict with the City's present design standards. Should this occur, the standards as approved during the planning review process shall take precedence.
- c. Right of Way and Cross-Section Design: Right-of-Way and Cross-Section Design shall be in accordance with the section indicated in Exhibit V. The 82 feet entrance section shall preclude parking and provide a 14 foot landscape median in lieu of parking lanes. The location of this entrance treatment is indicated on Exhibit VI.
- d. Improvement Phasing: Phasing of street improvements shall be permitted provided that no half-street improvements are proposed. The Tapo Street bridge and the public street connection between Tapo Canyon Road and Tapo Street shall be completed prior to the occupancy of any building constructed in excess of the 400,000 square foot limit, or completed one year after construction of the bridge has begun, whichever is first.
- e. Geometrics: The design of all streets shall incorporate horizontal and a vertical curves adequate to provide safe vehicular travel. Vertical alignment for respective facilities shall be limited as follows:

60' ROW maximum grade = 6 percent
60' ROW maximum grade = 6 percent

- f. Sidewalk, Curb, Gutter Standards: Sidewalks shall be a minimum clear width of four and one-half (4½) feet located adjacent to the curb (on one side of the street) and shall be constructed of Portland Concrete Cement. Concrete curbs shall be provided and shall be constructed with an integral gutter. All improvements shall conform to the City's Standard Specification for Public Works Construction.
- g. Cul-de-Sac Standards: Cul-de-Sac shall have a minimum radius of 45 feet.

Maximum length of a cul-de-sac without a second emergency access shall be 800 feet or established by the Ventura County Fire Protection District during the planning review process.
- h. Construction Standards: All streets shall be constructed so as to carry the anticipated traffic load without significant deterioration over the design life of the roadway.
- i. Street Lighting: All public streets shall be provided with a level of street lighting design to protect the health, safety and welfare of those working in and passing through the Specific Plan area.
- j. Driveways: Driveways and drives shall be designed to a grade and alignment that will provide the maximum of safety and convenience for vehicular, emergency, and pedestrian use in a manner which will not interfere with drainage or public use of the sidewalks and/or street area. Driveways shall have a minimum width of 25 feet. Maximum grade of drives shall be 10 percent.
- k. Street Trees: Street trees shall be provided as a part of the streetscape landscaping described in Section II.
- l. Private Street: Private streets shall be considered on a case by case basis and are subject to design approval by the Director of Environmental Services and the City Engineer. Basic design criteria shall consider the capacity to carry anticipated traffic loads in a safe and efficient manner.
- m. Curbside Parking: In order to help facilitate emergency access, parking shall be prohibited on all dedicated public streets. Bicycle lanes shall be provided in lieu of parking and the lanes shall be appropriately striped and identified in accordance with city standards.

2. Storm Drainage

The design of storm drainage facilities shall ensure the acceptance and disposal of storm runoff without damage to the proposed streets or to adjacent properties.

Storm water conveyance structures may include piping, concrete boxes, and line or unlined open channels. The determination of specific design applications shall be based on drainage area, channel configuration, existing upstream and downstream improvements or adopted improvement plans, and shall be arrived at in consultation with appropriate responsible public agencies.

3. Grading Design

The intended grading techniques are illustrated in several exhibits which are included within this text. Specific reference is made to exhibits X and XI.

- a. All manufactured cut and fill slopes shall be a maximum of two horizontal to one vertical (2:1). Cut and fill slopes shall be constructed to eliminate sharp angles of intersection with the existing terrain and shall be rounded and contoured as necessary to blend with the natural topography to the maximum extent possible.
- b. The angle of the graded slope shall be gradually adjusted to the angle of the natural terrain.
- c. Angular forms shall not be permitted. The graded form shall reflect the natural terrain.
- d. The toe and crest of all cut and fill slopes in excess of (5) feet vertical height but not greater than (10) feet vertical height, shall be rounded with vertical curves.
- e. The toe and crest of any slopes in excess of (10) feet vertical height, excepting the toe of any slopes within twenty-five (25) feet of a structure, shall be rounded with vertical curves or radii no less than (10) feet and designed in proportion to the total of the slope.
- f. Where cut and fill slopes exceed 200 feet in horizontal length, the horizontal contours of the slopes shall be curved in a continuous, undulating fashion with varying radii to reflect the natural terrain.
- g. The siting of the proposed structures on any project site shall be such that maximum concealment of a created cut slope is accomplished.
- h. Erosion control: All manufactured slopes, shall be landscaped or otherwise protected from the effects of

storm runoff erosion. Irrigation facilities shall be required to provide for proper maintenance of the landscaped areas.

- i. Street layout and design shall consider the natural and manmade constraints of the land, soil types, geologic conditions, drainage patterns, existing trees, and major features of the site.
- j. All grading shall be reviewed and approved by the Director of Environmental Services and the Director of Public Works prior to issuance of a grading permit and/or zone clearance to ensure conformance with the intent and purpose of the Specific Plan.

4. Utilities

- a. Utility easements shall be provided as required to facilitate an appropriate service network within the study area.
- b. All utility lines shall be underground consistent with the City policy. No pipe, conduit, cable, line or water, gas, sewage, drainage, electricity, or any other energy or service line or facility shall be installed or maintained upon any lot (outside of any building) above the surface of the ground, except for hoses, movable pipes used for irrigation or other purposes during construction, or transformers or high voltage lines of such capacity to preclude undergrounding.
- c. Group transformers with utility meters where possible shall be screened with vegetation and screen walls.
- d. In order to provide for the future telecommunication needs of high technology user, adequate easements shall be provided within the enriched parkway areas for cable/conduit use.

5. Solar Access

- a. Design objective is to preserve roof-top and south wall solar access.
- b. Major streets shall be oriented east-west within development areas wherever possible.
- c. Building orientation within development areas shall maximize south facing solar access.
- d. Building height and bulk shall consider shadow patterns on adjacent properties.
- e. Accessory structures and walls shall not be located so as to diminish south wall solar access.

- f. Tree species within on-site landscape areas shall be selected for height, crown shape, and leaf types which do not significantly diminish south wall or roof-top solar access. Existing on-site trees may be exempted or selectively cut as appropriate.

C. Site Development Standards

1. Building Envelope Standards

a. Minimum site size

The minimum site size, defined as "The Net Pad Area of a Particular Lot," shall be determined by land use category.

<u>Land Use</u>	<u>Minimum Size</u>
Business Park	60,000 square feet
Support Commercial	40,000 square feet

There is no minimum parcel size required for individual industrial commercial condominiums units.

b. Lot Size Adjustment

Initial lot size shall be determined during the Tentative Tract Map review process. Any subsequent lot size adjustment or increase in number of lots to meet market demand shall be subject to minimum lot size standards contained herein, and shall be subject to review and approval by the Director of Environmental Services.

c. Building Setbacks

The purpose of this section is to encourage varying street setbacks which promote visual diversity along street frontages.

Street setbacks for all commercial and industrial uses shall be determined as follows:

<u>Building Height¹</u>	<u>Setback²</u>
Up to 30'	25' minimum
30' to 35'	30' minimum
36' to 48'	80% of building height (30' minimum)
48'+ ³	100% of building height

Definitions/Footnote on next page.

Definitions/Footnote

¹Height of building is the vertical distance above the reference datum measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitch or hipped roof. The reference datum shall be selected by either of the following, whichever yields a greater height of the building:

- a) The elevation of the highest adjoining sidewalk or ground surface within a five (5) feet horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten (10) feet above lowest grade.
- b) An elevation ten (10) feet higher than the lowest grade when the sidewalk or ground surface described in item a) above is more than ten (10) feet above lowest grade.

²Setbacks shall be measured from the property line to the wall of any structures, excluding overhangs or architectural projections.

³Requires a Special Use Permit.

All non-street (rear and side yard) setbacks for buildings shall be 0 feet except when the building is located in a direct line of site from the existing residential neighborhood located north of the Arroyo Simi. For these lots directly visible from the north, the rear yard setback shall be at least 20 feet from the edge of the development pad. When a building not exceeding 48 feet in height is adjacent to residential or transient lodging structure, the non-street setback shall be 45 feet. For buildings in excess of 48 feet in height adjacent to residential lodging structure, the non-street setback shall be equal to the structure height.

d. Height and Bulk

Structures exceeding 48 feet shall be subject to the provisions of Appendix B and other requirements as may be determined during the planning review process.

Height and bulk shall not unduly block views and/or solar access of adjacent buildings and properties.

2. Off-Street Parking and Loading Standards

These regulations are intended to ensure that sufficient off-street parking and loading facilities are provided so as to

prevent traffic congestion and aid in the efficient conduct of business.

Any parking standards not addressed within this section, shall be subject to the City of Simi Valley parking codes and ordinances.

a. Parking Spaces Required

Parking standards within the Specific Plan Area shall be as follows:

- 1) Required spaces shall be provided at the rates listed below:

Industrial/manufacturing - Three (3) spaces/1000 square feet of gross floor area.

Warehouse - Subject to the City of Simi Valley parking codes and ordinances. The parking requirements for specific tenants versus speculative construction may vary from the parking standards and shall be subject to the approval of the Director of Environmental Services.

Office, Administration and Research and Development - Four (4) spaces/1000 square feet of gross floor area.

Restaurants and other establishments for the sale and consumption of food and beverages on or off the premises - One (1) space per one hundred (100) square feet of gross floor area.

Hotels and Motels - One point six (1.6) spaces/unit if combined with banquet and meeting rooms, one point two (1.2) spaces/unit if not banquet or meeting rooms. Restaurant and non-hotel office or commercial areas shall be calculated separately.

Commercial - One (1) space\250 square feet of gross floor area.

Commercial Recreation - One (1) space/35 square feet of gross floor area or three (3) spaces per lane, table or court.

Religious Organizations including churches, temples, synagogues, and other buildings used for religious worship - one (1) space per four (4) fixed seats in the main worship area or other assembly area, whichever is greater. Eighteen (18) linear inches of bench shall equal one fixed seat. Where fixed seats are not provided,

parking shall be required at one (1) space per thirty-five (35) square feet of assembly area.

2) Parking Stall Size

Standard parking stalls shall be a minimum of nine (9) feet in width by twenty (20) feet in length.

Stall may be reduced in length by two (2) feet where stalls are adjacent to a planter area of a minimum seven (7) feet in depth or when next to a sidewalk of the same minimum width. This allows for a two (2) foot overhang of the auto into the planter or walk area. If the planter or walk has parking on both sides, both parking rows may be reduced in length by two (2) feet if the planter or sidewalk is increased from seven (7) to nine (9) feet in depth. This allows for an appropriate two (2) feet overhang by cars on both sides of the planter or walk and a net usable planter or walk depth of five (5) feet. See Exhibit XIII.

In projects with twenty (20) or more required parking spaces up to twenty five percent (25%) of all required parking stalls may be devoted to compact car use. Minimum stall dimensions shall be seven and one half (7½) feet in width by fifteen (15) feet in length.

3) Handicapped Parking Requirements

Handicapped parking spaces shall be provided in accordance with requirements of the California Code of Regulations.

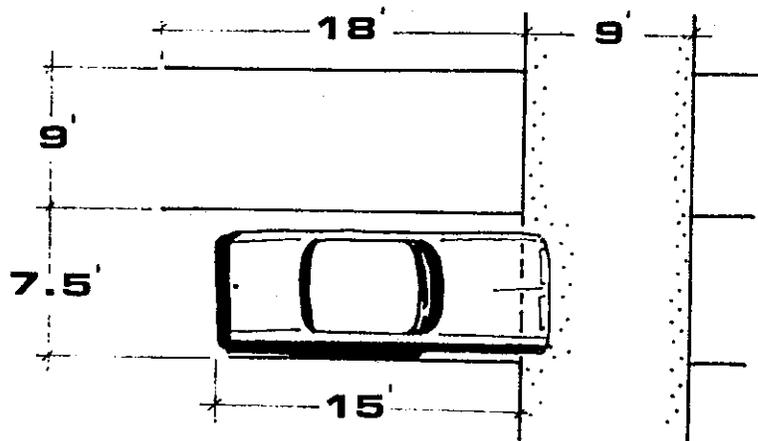
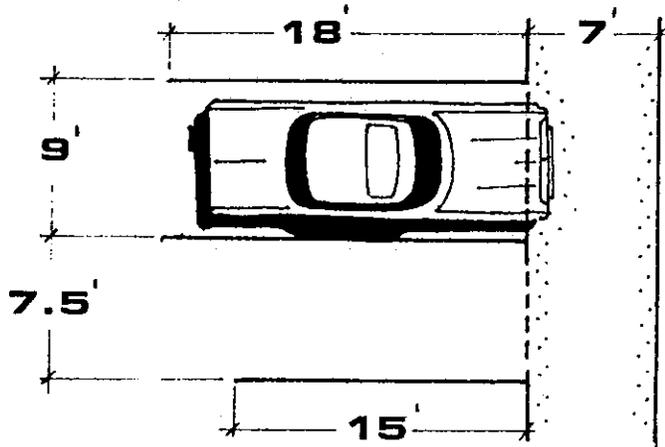
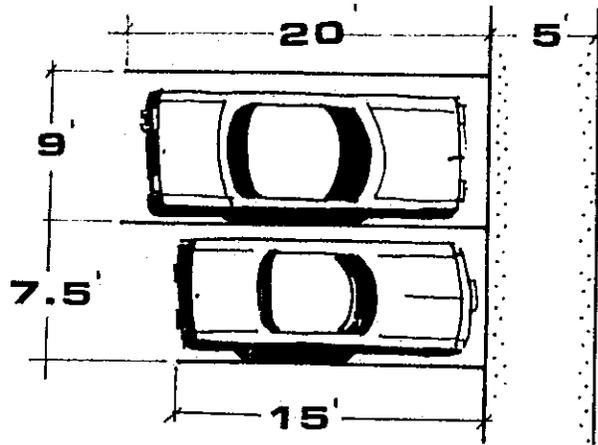
4) Bicycle Parking Requirements

Bicycle parking facilities shall be provided in projects with 20 or more required parking spaces. One bicycle rack or other secure device for bike storage shall be provided for each twenty (20) required parking.

5) Double Counting

At the discretion of the Deputy Director/Current Planning of Environmental Services or the Planning Commission, whichever has jurisdiction, where two (2) or more permitted uses pursuant to this plan are combining parking facilities and the business hours of such uses do not overlap, the minimum space requirement may be reduced by up to twenty-five percent (25%) of the sum of the requirements of the various uses computed

**STANDARD/COMPACT STALL W/
VARYING WALK/PLANTER WIDTHS**



STANDARDS

separately, provided that a minimum of twenty (20) parking spaces are provided.

b. Loading Requirements

When any main building is constructed, enlarged or increased in capacity, or when a change in use creates an increase in the amount of off-street loading space required, additional off-street loading space shall be required.

A fraction of a space greater than one-half ($\frac{1}{2}$) shall be counted a whole space.

For a multi-tenant buildings, the loading space requirement shall be based upon the total square footage of the structure and not the number of tenants.

1) Spaces Required

Requirements for uses not specifically listed herein shall be based upon the requirements for comparable uses listed and upon the particular characteristics of the use as determined by the Director of Environmental Services.

Use	Floor Area Square Feet	Berths Required
Restaurants and other eating and drinking places	less than 4,000	0
	4,000 - 20,000	1
	20,001 - 50,000	2
	(each additional 50,000)	(1 space)
Administration office medical, professional office personal and financial services hotels and motels hospital and sanitariums commercial recreation	less than 10,000	0
	10,000 - 100,000	1
	100,001 - 200,00	0
	(each additional 100,000)	(1 space)
Warehouse, storage facilities manufacturers, other industrial uses and retail	less than 5,000	0
	5,000 - 30,000	1
	30,000 - 80,000	2
	80,001 -150,000	3
	(each additional 100,000)	(1 space)

2) Dimensional Requirements

All off-street loading facilities shall comply with the following minimum dimensions:

Uses	Berth Width	Berth Length	Berth Height	Turning Radius
Heavy Commercial and Industrial Uses	12'	50'	14'	45'
Commercial and Commercial Office	11'	35'	13'	40'

c. Location of Parking/Loading Facilities:

Required parking and loading facilities shall be located on the same site as the use requiring such facilities. Upon City approval, by the Director of Environmental Services up to 20 percent (20%) of the required parking may be located off-site. Such off-site parking areas may be not located further than 700 feet from the facility which it serves. this distance is measured from the parking area to the building which is being served. An exception to this requirement is if the employer provides a private means of transferring employees from the parking areas to the job site. Examples of which would be van pools, trams or buses

Loading facilities shall not be located in any required setback areas.

Sufficient space for turning and maneuvering loading vehicles shall be provided on the site.

Loading areas shall be set back a minimum of 50 feet from the street frontage property lines.

Loading spaces shall be located and designed that trucks shall not back into public street or alley nor shall a loading area be designed to required the use of a public right-of-way for access to a loading dock.

No part of an alley or street shall be used for loading excepting areas designated by the City for loading.

No area may be utilized and counted both as a required parking space and a required loading berth space.

No loading areas shall be located adjacent to a public street or a transient loading facility.

d. Landscaping/Screening

A minimum landscaped area of 10' in depth shall be provided adjacent to all public streets within the "Specific Plan" area.

All parking and loading areas shall be visibly screened from public streets by landscaped berms, walls, fences, landscaping, or a combination of the above.

Screening materials shall be at least 3' in height for walls, fences, or berms; mature growth of landscaping shall be at least 3' in height unless used in conjunction with a earthen berm meeting the minimum height requirement. Berm slopes shall not exceed a two to one (2:1) ratio.

Landscape islands of a minimum six (6) feet width shall be provided at the ends of all parking rows and at a maximum intervals of every 15 parking spaces on an average within each row. Placement of landscape areas shall be determined during the planned process.

3. Landscaping Requirement

a. Landscape coverage - The minimum landscape coverage of a project's net developable pad area shall be as follows:

Light Industrial	12½%
Professional Office	15%
Commercial	15%

b. Landscape Design - Landscape materials shall enhance the major architectural design element through the coordinated use of flower and leaf colors, tree forms, plant material masses and lighting.

Grouped masses of plant material shall be designed to complement architectural elevation and roof lines through color, texture, density and form on both the vertical and horizontal planes.

The preservation of existing mature trees and their integration into introduced landscape materials shall be required where feasible. This may require modifying on-site grading so as not to disrupt root systems. Review of landscape plans shall occur during the site plan review process.

Utility services and enclosures shall be screened from views from streets and adjacent properties with landscape materials and barrier treatments.

c. Streetscapes - In order to achieve a uniform landscape theme within the business park, the front yards of

individual lots shall have an established landscape materials pallet consistent with the Specific Plan. Landscape treatment shall be as shown on Exhibits VI, VII, VIII.

- d. Landscape Maintenance - A permanent automatic sprinkler system shall be installed in all required landscape areas, graded slopes and raised planters which shall be capable of providing the amount of irrigation for the particular type of plant material.

Graded but undeveloped areas proposed for future development or partially built out properties will be maintained in a weed-free condition, and in areas of major visual impact, will be bermed and temporarily landscaped.

- e. Landscape Installation - Landscaping in accordance with the plans submitted must be installed before occupancy of the building.
- f. Fuel Modification Zones - Fuel Modification zones shall be provided as shown in Exhibits VI and VII in accordance with Section II.E.4.a.

4. Fencing and Walls

Fences and walls shall be utilized to visually screen and/or physically enclose outdoor storage areas, loading docks and ramps, transformers, storage tanks and other appurtenant items of poor visual quality.

Fences and walls and/or landscaping may also be used on the perimeter of properties to define property limits, separate use areas, and provide on-site security. Fencing, walls, and other structural barriers shall be designed of similar materials, colors, and general style as the primary buildings on a site.

Fence and wall heights shall generally be as tall as those objects or areas they are intended to visually screen; however, no fence or wall shall exceed three (3) feet in height within any required front setback area, or exceed six (6) feet in height within any required side or rear setback area. Fences in required setback areas which are at least fifty percent (50%) see through and do not obstruct visibility of drives, walks, trails, or streets may be allowed subject to the planning review process. An example would be a wrought iron and pilaster fence. Chain link fencing is precluded. Note, sound attenuation barrier may be exempted from these standards upon City approval.

5. Outdoor Storage and Refuse Storage Areas

Outdoor storage areas shall be screened from view off the property by the use of fencing, walls, and dense landscaping.

Outdoor storage areas shall be permitted only in rear and side lot areas which are not adjacent to a public street. Storage areas shall be setback a minimum of 70 feet from the street property lines.

All refuse storage areas all be located in an easily accessible area for collection.

6. Architectural Standards

a. Exterior Material and Colors:

Colors, materials, and finishes shall be coordinated in all exterior elevations of the buildings to achieve a total continuity of design within each project.

Building materials, colors, and textures shall be compatible with those of adjacent or nearby buildings. In general, subdued earthtone colors are recommended for the plan area.

The use of prefab, all metal panels for sheathing of buildings is prohibited from the Business Park and office-commercial category. This is not to preclude the use of metal detail within architecturally designed buildings such as "Cortin" steel. Where used, metal buildings shall be architecturally designed to be compatible with the Land Use category and shall be subject to all applicable City ordinances.

All screening from public view, such as storage spaces, loading docks, and equipment, shall be architecturally integrated with the surrounding building design through the use of concrete, masonry, wood, or other similar materials.

b. Signing

Signs shall be used for the purpose of identification and direction. The design of permitted signs shall be architecturally integrated with the building design. The design of identification and directional signs including the location, materials, colors, copy and the method of signing, size and construction shall be approved by the City in accordance with the existing sign ordinance except as noted herein.

Identification signs are restricted to advertising only the person or company located on the lot. Moving or flashing signs are prohibited. Internally lit signs are preferred.

Each parcel shall have not more than one identification ground sign on each street frontage. Parcels with multiple tenants may utilize a directory sign, provided

that it conforms with all other provisions of this section.

All ground signs shall be located at least five (5) feet away from any property line and shall not exceed a height of ten (10) feet measured vertically from the base at ground level to apex of the design.

The area of each directional sign may not exceed four (4) square feet. Maximum height shall be five (5) feet. The sign area shall be used for direction purposes only.

Unless identifying a building or building complex, no signs may be placed above the first floor to advertise establishments, goods or services.

c. Lighting

A lighting plan describing the exterior illumination layout and fixture selection must be approved prior to the issuance of a zone clearance.

Lights shall not be placed to cause glare or excessive light spillage on neighboring sites. A uniform light color is preferred for the area. The use of high pressure sodium lights is preferred. Low pressure sodium lighting is prohibited.

Light standards shall not exceed 20 feet in height and in no case shall they exceed the height of the buildings on-site.

All parking lot and driveway lighting should provide uniform illumination. Accent illumination is recommended at key points such as entrances, exits, loading zones, and drives.

Concealed light sources are recommended.

Security light sources shall be kept in operation at night.

The design of light fixtures and its structural support shall be architecturally compatible with the surrounding buildings.

d. Equipment Screening

All roof and ground mounted equipment shall be screened from public view on all sides within all land use categories.

All screening shall be architecturally integrated with the building design and a roof parapet wall shall be used to screen roof mounted equipment.

Line of sight drawings indicating views from the residential area to the north may be required to determine the adequacy of proposed screening of equipment and outdoor storage.

IV. RELATIONSHIP TO THE GENERAL PLAN

A. Specific Plan Requirements

General Plan of the City of Simi Valley designates the subject property in a Business Park Land Use Category. Since there is no Business Park zone, the Specific Plan serves as the vehicle which establishes performance standards for development. The adopted Specific Plan shall serve both a planning and regulatory function.

B. Provision of the Specific Plan

1. The Specific Plan provides for a package of comprehensive standards which will ensure a high quality of development and a unified design theme throughout the project area.
2. The plan provides a sensitive approach to site grading which preserves native trees and a large portion of the study area in its natural conditions.
3. A primary circulation network is provided which established a uniform streetscape and entry theme to identify and define the development
4. Performance standards have been established which require design solutions that minimize the impact of development upon adjoining uses.

C. Relationship to the Land Use Map

The Land Use Map of the General Plan designates the area of the Specific Plan for Business Park use. It is expected that permitted development will be consistent with the character of adjacent development at Pepper Tree Industrial Park and the proposed Heritage Oak development. The proposed project is also consistent with the goals and policies contained in the General Plan relating to industrial and Business Park development.

D. Relationship to the Land Use Element

The proposed project is consistent with the goals and policies contained in the General Plan relating to Industrial and Business Park development. The Land Use Element addresses design from the standpoint of community appearance, project design and community land use patterns.

Policies relating to land use patterns include the promotion of cost efficient development, reduction of transportation distances and air pollution, insurance of compatibility between uses, and protection of the natural scenic character of the hillsides, major watercourses and tree forms. The Specific Plan provides for an extension of Tapo Canyon Road south of the Arroyo Simi. Standards have been incorporated into the Plan which provide for the preservation of natural areas above twenty percent (20%) slope, protection of the Meier wash channel, and preservation of existing trees. Landscaping

and design standards are provided, which will minimize conflicts between land uses.

General Plan policies relating to community appearance include retention of a low suburban profile, preservation of existing mature trees and the preservation of hillsides in a natural state. Development standards are contained within the Specific Plan which address exterior building materials, building heights, equipment screening, fencing and walls, and landscape screening. Standards for the preservation of hillsides and existing trees are also contained therein.

Project design policies contained in the General Plan required that development respect and enhance the normal features of the land by minimizing the amount of grading and modification of the existing terrain, and by taking advantage of passive and active solar heating and cooling opportunities. Projects should also be designed to provide a harmonious relationship with adjoining land uses, to provide for a variety of building types, styles and setbacks, and to ensure the safety of the general public. Development standards contained in the Specific Plan require that grading be accomplished in a manner which will blend with the surrounding terrain, that landscape screening be provided between the business park and the single family residential neighborhood to the north, and establish architectural and design standards for future construction.

E. Relationship to the Conservation/Open Space

The Specific Plan establishes approximately forty nine percent (49%) of the project area in some form of open space. This area is primarily natural open space. Considerable attention has been given to preserving natural landforms as integrated features of the plan so that the perception of natural open space is maintained. The use of reclaimed water, if economically feasible, will be pursued. Significant oak trees will be preserved where feasible and replacement trees will be provided in accordance with the City's adopted tree preservation ordinance.

Chapter IV of the General Plan (March 1980) contains policies addressing the preservation of open space and natural features, including the following applicable sections:

- "1. The natural features and open space qualities of the hills and canyons shall be preserved.
 - In general, lands having a slope in excess of 20% natural grade shall be kept in permanent open space uses.
 - Watersheds, watercourses shall be maintained in their natural state to the fullest extent possible.
 - Uses permitted in open space areas which require grading or other alteration of the land shall be planned to minimize the amount of grading and ensure that

downstream properties and watercourses are not adversely affected by siltation or chemical runoff."

F. Relationship to the Circulation Element

Transportation and traffic circulation policies and implementation measures are contained in the General Plan, beginning on Page 7.6 and in Appendix D. Precise planning to assure future continuity and alignment of roadways consistent with General Plan Policies is required of proposals in presently undeveloped areas at the time of proposed development submittal. The Specific Plan provides for an adequate vehicular and pedestrian circulation system, which includes the extension of Tapo Canyon Road, a provision of a bridge over the Arroyo Simi at Tapo Street, and a street connection between Tapo Canyon and Tapo Street.

G. Relationship to Recreation

The Recreation Element of the General Plan establishes policies relating to the acquisition, development and maintenance of property to be used for recreation purposes. The Rancho Simi Recreation and Park District has the responsibility of providing park and recreation facilities and programs within the District's boundaries. One of the City's responsibilities is to review developments to assure that land easements are provided or the ultimate development of the Master Trail System. A segment of that trail system will be provided along Meier Wash within the western portion of the property. The Specific Plan also provides for bicycle and pedestrian routes within the development, with passive recreation opportunities available within open space areas of the site.

H. Relationship to the Safety and Seismic Safety Elements

Guidelines for evaluating development project and establishing programs to provide for public safety are contained in the General Plan. Natural hazards including flooding, fire and seismic activity are addressed. The Specific Plan addresses the above guidelines and policies by 1) establishing development standards for property adjacent to Meier Wash to ensure that building does not occur within or affect the boundary of the 100-year floodplain, 2) by establishing a fuel modification landscape zone which reduces the risk of fire hazard, and by providing a secondary all-weather access road to the property, and 3) by limiting development to those areas below twenty percent (20%) slope gradient which will avoid potential soils and geologic problems.

I. Relationship to Scenic Highway Element

The General Plan indicates that the City should pursue a program of its own Scenic Roads System within its Planning area. Tapo Canyon Road, south of Royal Avenue, is identified as a candidate for a scenic road designation. Standards for landscaping, setbacks, medians, parkways, signing, grading, architectural and land use review shall be designated as appropriate for each scenic-designated street. The Specific Plan provides for a 14-foot wide landscaped median on Tapo Canyon road between "A" street and the Arroyo Simi.

In addition, a 20-foot wide enriched landscaped parkway is to be located along either side of Tapo Canyon Road. Major ridgelines within the project boundaries, which are visible from the valley floor, will be preserved in their natural state. Development of the project will maintain a low profile theme to avoid conflicting with the scenic backdrop to the south.

J. Relationship to Noise Element

The City has adopted a Noise Element which establishes noise level standards for exterior and interior residential environments. Noise generated by future development of the business park must be attenuated or reduced in order to meet the requirements of the Noise Element. Because the Specific Plan and Business Park Zone limits the type of uses which can locate on the property, and because of the distance between the project area and the residential subdivision located to the north, no significant noise impacts should occur. The Specific Plan includes requirements for berming and landscape screening between the project site and residential property to the north. Future development will also be located a sufficient distance from the Brandeis-Bardin Institute so as not to create any adverse noise impact on Institute activities.

APPENDIX A
PERMITTED AND SPECIAL USES

The purpose of this appendix is to provide specific guidelines for the interpretation of the various zoning districts and to provide criteria for determining whether or not a specific land use or activity is consistent with the zoning district and the Specific Plan.

(BP) BUSINESS PARK ZONE

A. Purpose

The Business Park zone is intended to provide desirable areas for high-quality, large-scale industrial development, together with supportive and compatible business uses, which are protected by strict development and performance controls.

B. Uses Permitted

In the BP zone the following uses are permitted, subject to the planned development standards in this section and elsewhere in this Specific Plan as specified:

1. Agriculture and grazing, except the raising or boarding of animals.

C. Uses Requiring Planned Development Permits

The uses set forth below are permitted in the Business Park (BP) zone only if a Planned Development Permit is obtained according to the provisions of the Simi Valley Zoning Ordinance.

1. Research, development and testing laboratories and facilities.
2. Manufacture, assembly, testing, and repair of high technology equipment, components, and systems (e.g., computers, optics); provided that such activities are not obnoxious, offensive, or hazardous.
3. Medical laboratories.
4. Professional office buildings only for professional persons, such as doctors, lawyers, and accountants; general business offices, such as the offices of insurance companies, trade associations, manufacturing companies, investment concerns, banks, and trust companies, real estate companies, and other similar uses. Professional office buildings shall not include veterinary office or any kind of retailer wholesale store except as provided as follows:

Commercial activities primarily serving the predominant uses permitted or conditionally permitted in the district (e.g., pharmacy, newsstand); provided that the activity be located within a building occupied by predominant permitted or conditionally permitted uses, that customer access be through the lobby or the interior common areas of the building, and that no sign or other indication of the activity's presence be visible from outside the building.
5. Other similar uses which the Director of Environmental Services finds compatible with the Uses Permitted described herein; consistent with the intent and purpose of the Business Park zone.
6. Warehouse and distribution facilities which are an integral part of one of the aforementioned facilities, provided such uses are fifty percent (50%) or less of the gross floor area of the project.

D. Uses Requiring Special Use Permits

The following uses are permitted subject to the approval of a Special Use Permit according to the provisions of the Simi Valley Zoning Ordinance.

1. Public service and utility structures and facilities.
2. Natural resources and water, exploration or development of, including necessary structures and appurtenances.
3. Hospitals and clinics (excluding animal hospitals and clinics).
4. Commercial recreational facilities (e.g., health clubs, gymnasiums, and tennis facilities).
5. Hotels and motels.
6. Dinnerhouse restaurants and fast foot restaurants.
7. Service stations as part of an office complex or a hotel/motel complex.
8. Business service establishments for such uses as electronic computer service facilities, addressing services, mail order houses or packaging businesses.
9. Warehouses and distribution facilities.
10. Any type of business whose operation is predominately for the repair of products described in the Uses Permitted section of this zone.
11. Multiple story structures exceeding a height of 48'.
12. Religious Organizations including churches, temples, synagogues and other facilities used for religious worship in existing buildings limited up to five (5) years in duration.

Requests for an extension of up to two (2) years beyond the original five (5) year period may be allowed based upon the procedures specified under Section 9-1.1103(h)(3)(iii) and Section 9-1.1103(h)(4)(xiv) of the Development Code.

(OS) OPEN SPACE OVERLAY ZONE

A. Purpose

It is the intent of this zone to provide for preservation and conservation of natural and cultural resources while permitting reasonable use of land. In order to accomplish the proper management of these resources, the criteria and regulations contained in this zone are hereby established as necessary to achieve the preservation and conservation of the City's open space lands.

B. Definition of Open Space

Open Space land is any parcel or area of land or water which is essentially unimproved and devoted to an open space use and which may fall into any of the following categories:

1. Open space for the preservation of natural resources, including, but not limited to, areas required for the preservation of plant and animal life, including habitat for fish and wildlife species; areas required for ecologic and other scientific study purposes; rivers and streams and banks of rivers and streams and watershed lands.
2. Open space used or the managed production of resources, including but not limited to, forest lands, rangeland, agricultural lands and areas of economic importance for the production of food or fiber; areas required for recharge of ground water basins; marshes, rivers, and streams which are important for the management of commercial fisheries; and areas containing major mineral deposits, including those in short supply.
3. Open space for outdoor recreation, including, but not limited to, areas of outstanding scenic, historic and cultural value; areas particularly suited for park and recreation purposes, including access to rivers and streams, and areas which serve as links for recreation, including utility easements and lands, banks of rivers and streams; trails, scenic highway corridors, and other rights-of-way of governmental entities.
4. Open space for public health and safety, including, but not limited to, areas which require special management or regulation because of hazardous or special conditions such as earthquake fault zone, unstable soil areas, flood plains, watersheds, areas presenting high fire risks, areas required for the protection and water quality and water reservoirs, areas required for the protection and enhancement of air quality, all areas in which the terrain bears slopes of more than twenty percent (20%), all areas of a known high groundwater table posing a hazard to the public health and safety and areas required for waste recycling and land reclamation.
5. Open space for a "hard channel".
6. Open space for pedestrian bridges and streets to access the lot behind Meier Creek.

7. Possible improvements over a certain amount of "open space" in the Meier Creek area for research and development facilities subject to the approval of the Director of Environmental Services. This category is provided to promote opportunities to construct buildings of unique architectural design.

C. Permitted Uses

All uses instituted on any lands within the Open Space Overlay zone shall continue to be governed by the provisions of the Specific Plan, including the regulations in the base zones, except that when a permit or other entitlement is required by the provisions of this Specific Plan for the institution of such uses, no permit or entitlement may be approved or issued unless a finding is made by the Director of Environmental Services, the Planning Commission or the City Council when they exercise jurisdiction over the matter that the proposed use is consistent with the Brandeis-Bardin Institute Specific Plan; and the Open Space Plan of the City. "Consistent with" shall mean that the proposed use would not prevent the implementation of the stated purpose, goals, or objectives of the Brandeis-Bardin Institute Specific Plan, and the Open Space Plan of the City, which is embodied in the Open Space Element of the General Plan of the City.

D. Variances

Pursuant to Section 65911 of the California Government Code, variances from the terms of an open space zoning ordinance shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

1. Any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.
2. This section shall be literally and strictly interpreted and enforced so as to protect the interest of the public in the orderly growth and development of the City and in the preservation of open space lands.
3. Once application is made for a variance, all requirements of the City's adopted Environmental Guidelines and Procedures shall be satisfied.
4. Except for the criteria stated in this Section for approving, conditionally approving or denying applications for variances, the procedures contained in Section 9-1.1103(f) of the City of Simi Valley Municipal Code (Zoning Ordinance) shall govern the matters regarding processing of variances, including appeals, fees, hearings and notices.

E. Overlay Boundaries

The Open Space Overlay shall be applied to any parcel or portion of a parcel which falls outside of the development area of a "planning unit" as established by the Brandeis-Bardin Institute Specific Plan Land Use map.

APPENDIX B

MULTIPLE STORY STRUCTURES

The purpose of this appendix is to provide specific guidelines to the City in determining structural setback and development standards for buildings exceeding forty-eight (48) feet or four (4) stories in height.

Multiple story structures. Multiple story structures exceeding forty-eight (48) feet in height are subject to all of the following:

1. Structure shall be equipped with a Fire Department communication system.
2. Structure shall be equipped with an automatic fire sprinkler system.
3. In the event that a structure exceeds seventy-five (75) feet, a heliport shall be provided.

NOTE: Structure height for safety purposes are measured as defined by the California Administrative Code Title 19. Applies to 1, 2, and 3 above.

4. Independent front, rear, internal and side yards with minimum depth equal to the structure height. The Planning commission may deviate from these setbacks standards subject to making appropriate findings relating to an unusual lot configuration, as follows:

Deviation from setback requirements may be allowed because of an unusual lot configuration if one of the following findings are made:

- a. Strict application of the setback requirements applicable to structures that exceed forty-eight (48) feet or exceeding three stories is not possible due to the size or shape of the lot; however, the structure has been designed so that the underlying purposes of the setback requirement (i.e., effect on neighboring structures with respect to light, shadows, visibility, solar energy, ventilation, air, noise, safety and privacy) have been satisfied.
- b. The lot configuration is such that compliance with the setback standards would result in the owner of the property being unable to make a reasonable use of his property in the manner and for the purposes which other property of like property in the same vicinity and zone can be used.

